

HSBC Uxbridge, 28 High Street, Uxbridge, UB8 1JN



Structural Engineering Inspection Report

For GB Farrar & Co. Ltd.

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Status:	Information
Revision:	P1
Issue Date:	27-09-2022

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1. Introduction and Basis of Report

Samuely has carried out a search of Buxton Associates Archives confirming multiple site visits were previously carried out to the property in March 2013. The following information regarding the buildings structure has been extracted from the previous structural drawings and archive photos.

The basis of this current report is to establish the structural condition and capacity of the ground floor of the building which is proposed to support new ATMs.

The objective of this report has been to:

- Review previous survey information to understand the general form of the building.
- Review the existing ground floor build-up and condition.
- Review any internal works to the building.
- Report on whether remedial works / strengthening works are required.

This report has been prepared based on a review of previous survey information which is only of a sample of the reasonably accessible areas of the building. Access was available to the ground floor and basement level of the building. We have not carried out any specialist testing or inspected other parts of the property which are covered, unexposed or inaccessible and we are therefore unable to report that any such part is free from defect. Therefore, no responsibility can be accepted for any hidden, latent, or inherent defect which a more detailed examination might reveal.

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2. Property Description and Observations

2.1 Description

28 High Street, Uxbridge, is a 4-storey building (including basement level) constructed in traditional load bearing masonry. It is assumed to have been originally constructed in the Victorian Era. It appears to have always been a bank and currently has banking offices above.

It is part of an end terrace and the external walls at the front, from ground floor to first, are stone clad masonry with render on upper walls. The neighbouring property is also part of the bank and has a glazed front at ground floor level. This has one extra storey.

The ground floor is made up of timber joists where the ATMs are located. Various existing steel beams provide intermediate points of support. The steel beams bear onto various masonry walls in the basement. See details of this in appendices of report.

Internal walls are a mixture of timber stud and load bearing masonry.

2.2 Observations and Proposals

The following was noted:

- From a previous inspection carried out in March 2013 it was noted that the ground floor build-up at the ATMs consists of timber joists with local down-stand steel beams providing intermediate support to the bays. These joists were subsequently doubled up to accommodate a previously proposed ATM rearrangement. See structural drawing in appendices of this report for details.
- It is proposed to remove a line of 4 existing machines and replace with 3 new ones (MFD MX8200SR).
- It is proposed to install a TCR MS500S behind the main ATM line.
- It is proposed to replace 2 external ATM on the front wall (where glazed wall is) with 2 new disabled access compliant ATM MX 5700TE CEN3 R/L (v3).

3. Conclusions and Recommendations

The existing timber floor which was previously strengthened in highlighted green area on structural drawing provides sufficient capacity to support the new ATM configurations typically. However, strengthening works are required in the highlighted red area on the structural drawing to fully accommodate the new ATMs due to their length. See structural drawing for details.

At the proposed TCR MS500S location, it is to be located on previously strengthened joists. Through structural calculation it can be confirmed that the previously strengthened joists are sufficient in providing adequate support to the new machine. GB Farrar to confirm that the existing joists are adequately strengthened as highlighted in the green box on the structural drawing.

Appendix A: Photographs



Plate 1: View of existing joists and downstand beam with local mid pier support.



Plate 2: View of downstand steel beam providing support to timber joists at ground floor.

Appendix B: Original and Proposed Floor Plans

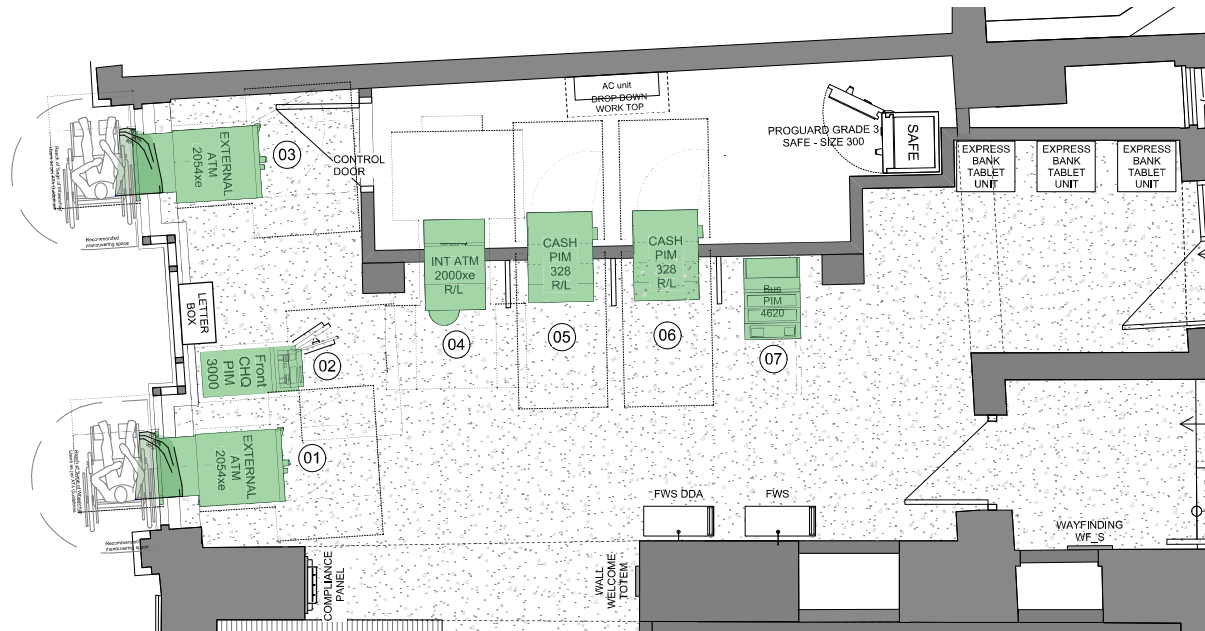
CONTRACTORS MUST CHECK ALL DIMENSIONS ON SITE. ONLY FIGURED DIMENSIONS ARE TO BE WORKED FROM. DISCREPANCIES MUST BE REPORTED TO THE ARCHITECT BEFORE PROCEEDING.
© THIS DRAWING IS COPYRIGHT

LEGEND






















- SELF SERVICE MACHINE BEING REMOVED
- SELF SERVICE MACHINE/EQUIPMENT/FURNITURE BEING RELOCATED
- SELF SERVICE MACHINE NEW EQUIPMENT
- AREA OF REQUIRED ADJUSTMENT TO (EXISTING/PROPOSED)
- INDICATIVE REMOVAL & DELIVERY ROUTE. ACTUAL ROUTE & METHOD STATEMENT SHALL BE PROVIDED BY CENNOX LTD
- EXISTING STRUCTURE
- SERVICE AREA INFRINGEMENT
- NEW SECURE PARTITION
- 01 REFERENCE NUMBER OF MACHINE
- POSITION OF MACHINE ABOVE

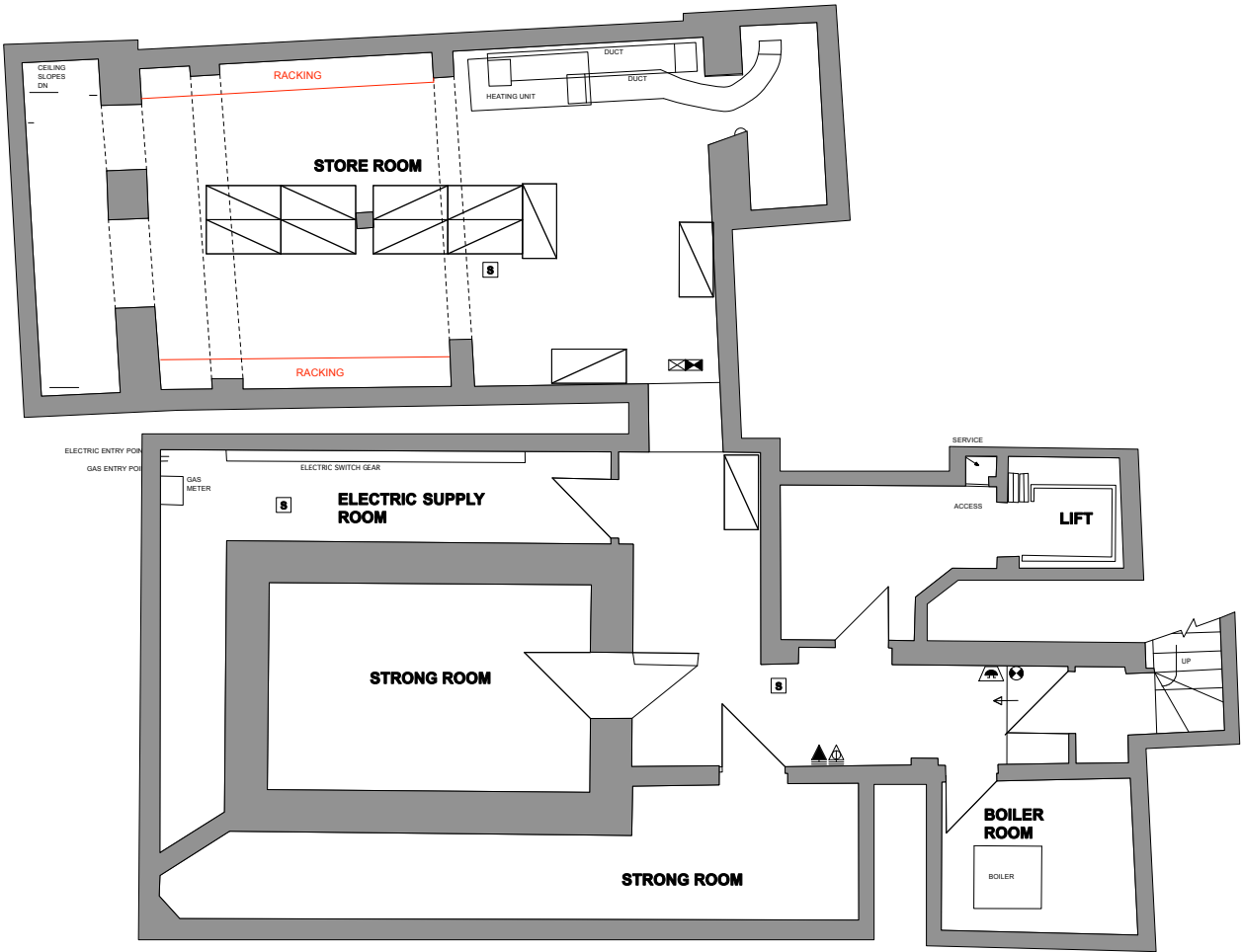
EXISTING SELF SERVICE MACHINES

- 01 - EXTERNAL CASH MACHINE WINCOR 2054xe (RL)
- 02 - CHO PIM 3000 (RL)
- 03 - EXTERNAL CASH MACHINE WINCOR 2054xe (RL)
- 04 - INTERNAL CASH MACHINE WINCOR 2000xe (RL)
- 05 - CASH PIM 328 (RL)
- 06 - CASH PIM 328 (RL)
- 07 - BUSINESS PIM 4710 (RL)

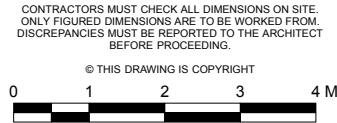


03 Plan of Affected Area
1:50@A3

FIRE SAFETY ITEMS KEY	
FIRE EXTINGUISHING PORTABLE WALL MOUNTED	
FIRE EXTINGUISHER - WATER	
FIRE EXTINGUISHER - FOAM	
FIRE EXTINGUISHER - DRY POWDER	
FIRE EXTINGUISHER - CARBON DIOXIDE GAS	
FIRE EXTINGUISHER - FIRE BLANKET GAS	
FIRE EXTINGUISHING FIXED SYSTEMS	
FIRE EXTINGUISHING DEVICE FIXED SYSTEM - ANY TYPE	
FIRE ALARM DEVICE WARNING EQUIPMENT	
FIXED ALARM DEVICE - WARNING DEVICE BELL	
FIRE ALARM DEVICE - WARNING EQUIPMENT AREA COVERED	
ALARM SOUNDERS	
EMERGENCY LIGHTING	
SMOKE DETECTORS	
FIRE ALARM DEVICE WARNING EQUIPMENT	
FIXED ALARM DEVICE - HEAT DETECTOR	
FIXED ALARM DEVICE - DEVICE SMOKE DETECTOR	
FIXED ALARM DEVICE - FIRE ALARM CALL POINTS MANUAL	
FIRE WARNING SYSTEM ELECTRICAL INDICATOR PANEL	
EMERGENCY LIGHTING	
EMERGENCY LIGHTING ENCLOSED	
DIRECTIONAL EXIT SIGN INTERNALLY ILLUMINATED	
EXIT SIGN INTERNALLY ILLUMINATED	
FIRE PRECAUTIONS	
FIRE PRECAUTIONS VISION PANEL	VP
FIRE PRECAUTIONS GUARDING HANDRAIL	GRL
FIRE PRECAUTIONS HANDRAIL	HRL
EMERGENCY FASTENING DEVICE COMPLETE WITH APPROPRIATE SIGNAGE	
FIRE SAFETY SIGNS	
FIRE ACTION SIGN	
FIRE EXIT	
FIRE EXIT DIRECTIONAL	



EXISTING BASEMENT PLAN



063



EMPLOYERS REQUIREMENTS

REVISION	DRN	DATE
A. Alterations following scoping visit	AJB	02/11/2011
B. Alterations following new scoping visit & appointment of ISG	KRC	13/02/2013



PROJECT
HSBC UXBRIDGE
2011 Refresh - PIN GB7352
27 High Street - Town Centre
Uxbridge - UB8 1JN

EXISTING BASEMENT PLAN

SCALE	1:100 @ A3	DATE	November 2011
	1:50 @ A1		

DRAWING No.	DRAWN BY	A Bell
	Contractor Design by A&Q	
11 154 ER 01	REVISION	B

A&Q PARTNERSHIP (LONDON) LTD
THE LUX BUILDING, 2-4 HOXTON SQUARE, LONDON N 1 6 NU
Tel: 020 7613 2244 Fax: 020 7613 2642 Email: london@aqp.co.uk
ARCHITECTURE DESIGN MASTERPLANNING INTERIORS

LEGEND

- SELF SERVICE MACHINE BEING REMOVED
- SELF SERVICE MACHINE/EQUIPMENT/FURNITURE BEING RELOCATED
- SELF SERVICE MACHINE NEW EQUIPMENT
- AREA OF REQUIRED ADJUSTMENT TO (EXISTING/PROPOSED)
- INDICATIVE REMOVAL & DELIVERY ROUTE. ACTUAL ROUTE & METHOD STATEMENT SHALL BE PROVIDED BY CENNOX LTD
- EXISTING STRUCTURE
- SERVICE AREA INFRINGEMENT
- NEW SECURE PARTITION
- REFERENCE NUMBER OF MACHINE
- POSITION OF MACHINE ABOVE

EXISTING SELF SERVICE MACHINES

- 01 - EXTERNAL CASH MACHINE WINCOR 2054xe (RL) (REMOVED)
- 02 - CASH PM 3000 (RL) (REMOVED)
- 03 - EXTERNAL CASH MACHINE WINCOR 2054xe (RL) (REMOVED)
- 04 - INTERNAL CASH MACHINE WINCOR 2000xe (RL) (REMOVED)
- 05 - CASH PM 328 (RL) (REMOVED)
- 06 - CASH PM 328 (RL) (REMOVED)
- 07 - BUSINESS PM 4710 (RL) (REMOVED)

REPLACEMENT SELF SERVICE MACHINES

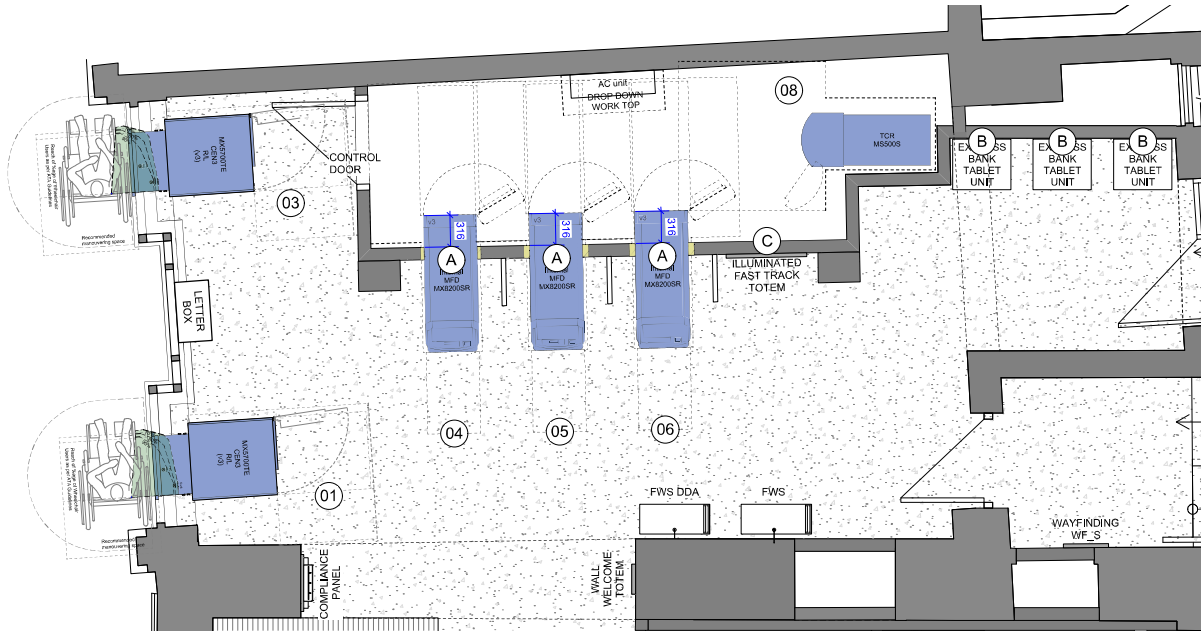
- 01 - EXTERNAL ATM (RL) HYOSUNG MX5700TE CENIII
- 03 - EXTERNAL ATM (RL) HYOSUNG MX5700TE CENIII
- 04 - INTERNAL MFD (RL) HYOSUNG MX8200SR CENIII
- 05 - INTERNAL MFD (RL) HYOSUNG MX8200SR CENIII
- 06 - INTERNAL MFD (RL) HYOSUNG MX8200SR CENIII
- 08 - TCR (FL) HYOSUNG MS500S CENIII

SECURITY NOTES

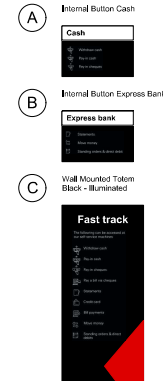
- PLEASE REFER TO THE SECURITY DESIGN PRINCIPLES SECTION WITHIN THE "PROJECT EMERALD DESIGN STANDARDS & PRINCIPLES DOCUMENT VERSION 1.0 NOVEMBER 2021"

SCOPE OF WORKS

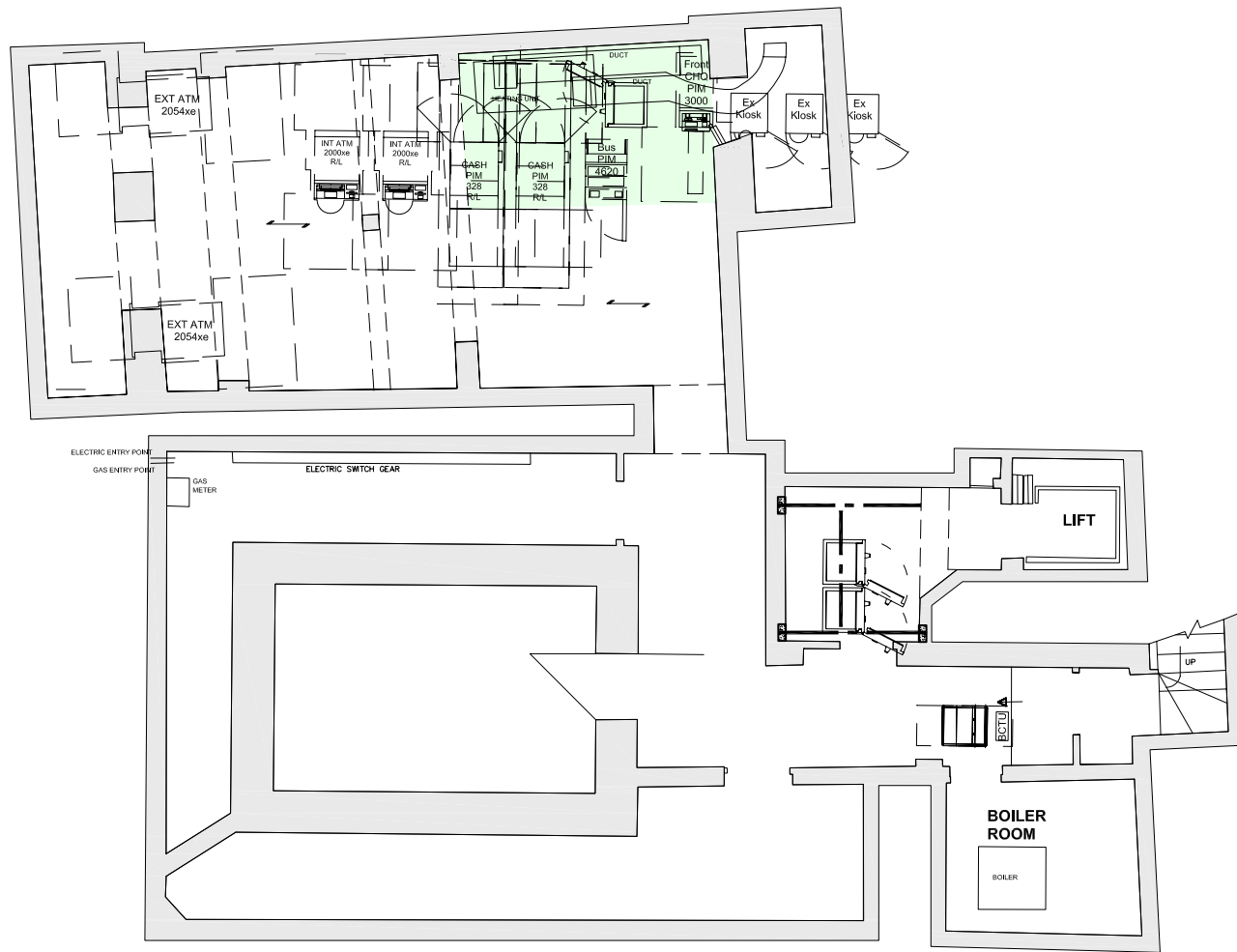
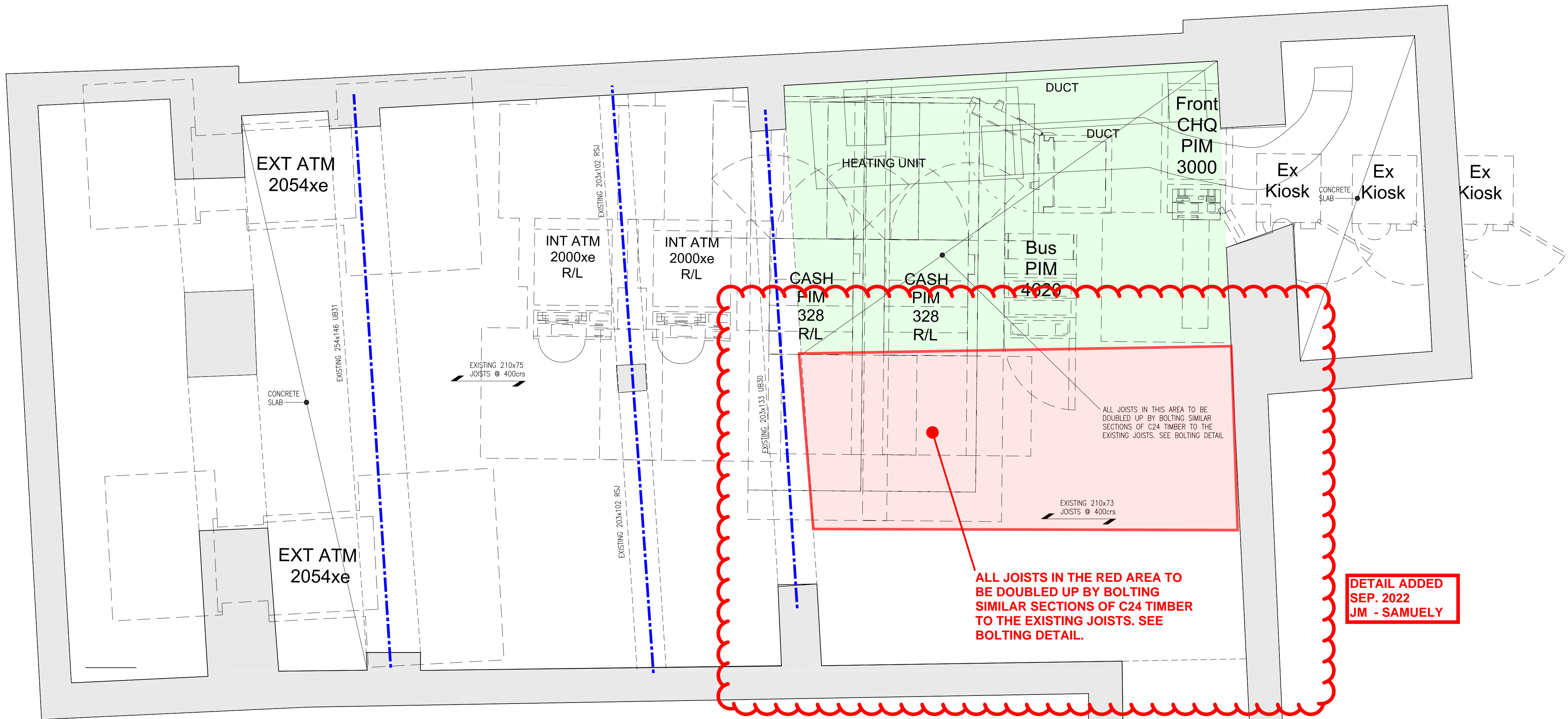
- ENLARGE ALL EXISTING APERTURES TO SUIT NEW MFD
- EXISTING POWER & DATA SOCKETS TO BE RELOCATED WHERE APPROPRIATE TO SUIT NEW APERTURE
- EXPRESS MACHINE WALL TO BE FINISHED IN BLACK FOLLOWING MFD INSTALLATION
- FLOORING TO BE MADE GOOD FOLLOWING MACHINE REMOVAL WHERE APPROPRIATE WITH NEW VINYL TO MATCH EXISTING INTERFACE LEVEL. SETT COLLECTION TEXTURED STONES LVT A00304 EMPERADOR GRAY (LRV 19.6) NON-DIRECTIONAL INSTALLATION
- EXISTING MAGNETIC SIGNS TO BE RETAINED OVER MFDs & EXPRESS BANK TABLETS WITH NEW FACES APPLIED
- EXISTING APERTURES TO BE INFILLED WITH SECURE PARTITION. POWER & DATA TO BE PROVIDED TO TCR POSITION
- STRUCTURAL ENGINEER REQUIRED TO ASSESS LOADS ON SLAB DUE TO BASEMENT BELOW
- NEW ILLUMINATED FAST TRACK TOTEM TO MACHINE WALL
- RETAIN EXISTING FINIS
- REMOVE EXISTING SAFE



03 Plan of Affected Area
1:50@A3



Appendix C: Buxton Associates - Structural Drawing – Ground Floor Plan



LOCATION PLAN

NOTES:

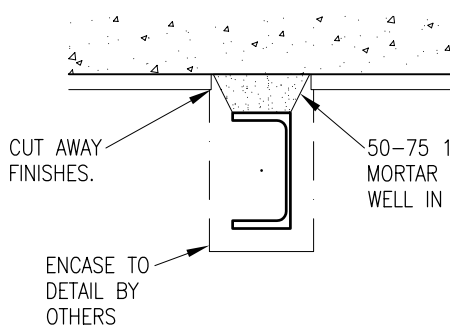
- DO NOT SCALE FROM THIS DRAWING.
- ALL DIMENSIONS TO BE CHECKED ON SITE BY THE CONTRACTOR.
- WHERE DISCREPANCY OCCURS BETWEEN SPECIFICATION AND DRAWINGS THE ENGINEER MUST BE NOTIFIED IMMEDIATELY.

CDM NOTES:

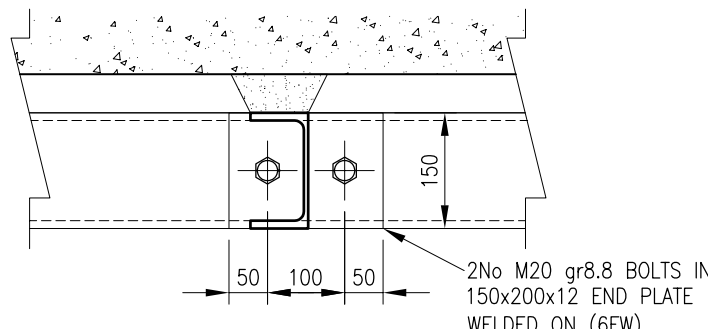
- USE SUITABLE SPREADERS WHEN TRANSPORTING HEAVY EQUIPMENT OVER SUSPENDED FLOORS.

BASEMENT SHOWING STRUCTURE OVER

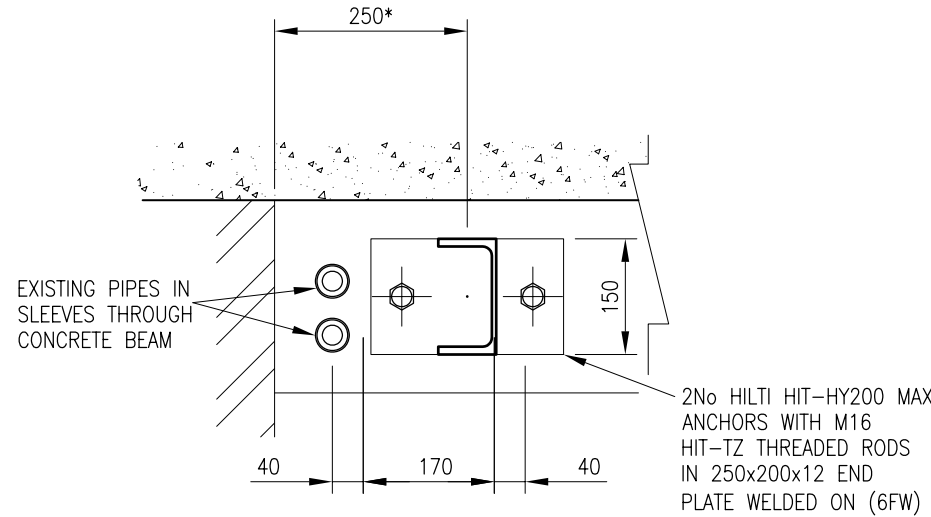
1:20



SECTION A-A
1:10

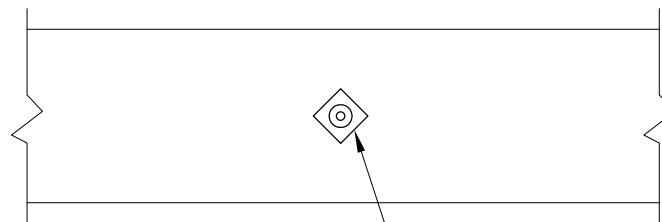


SECTION B-B
1:10



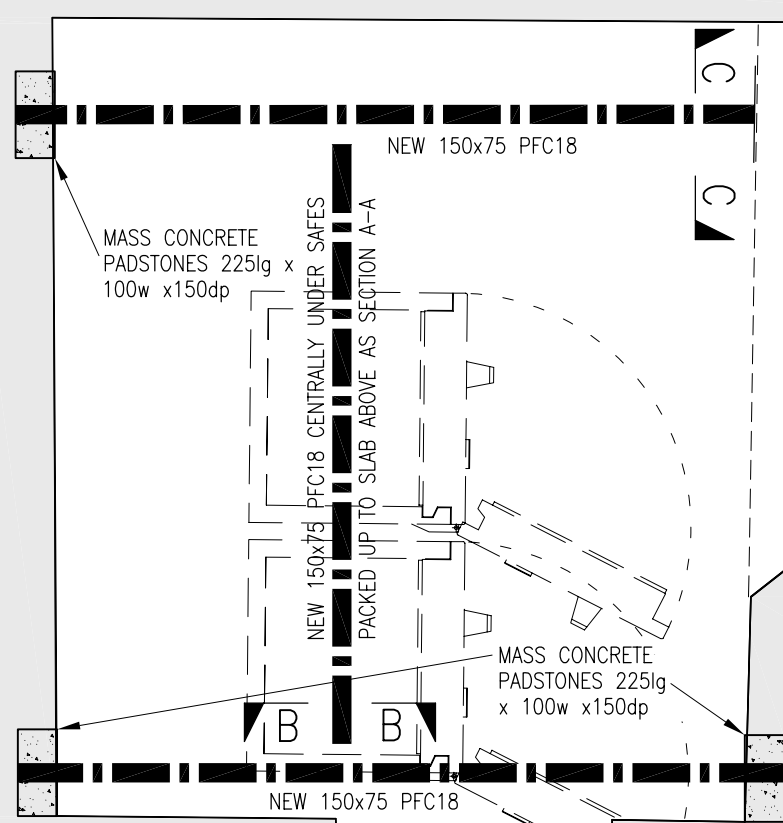
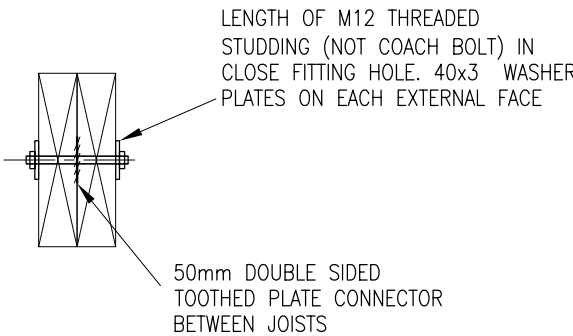
SECTION C-C
1:10

* NOMINAL CLEARANCE FROM WALL MAY BE ADJUSTED TO FACILITATE INSTALLATION, ETC.



TIMBER BOLTING

DETAIL OF TIMBER BOLTING
1:10



C1	CONSTRUCTION ISSUE	16/9/13	DD	DD
P2	SAFE SUPPORTS ADJUSTED TO AVOID ELECTRICAL SERVICES.	4/3/13	MV	DD
P1	PRELIMINARY	4/3/13	MV	DD
REV	DESCRIPTION	DATE	BY	CHK

BUXTON ASSOCIATES
CONSULTING STRUCTURAL ENGINEERS

Calhite House, 23a Willow Lane
Mitcham, Surrey, CR4 4TU
T: 020 8288 4845
F: 020 8288 4847

CLIENT:

HSBC

CONTRACT:

27 HIGH STREET,
UXBRIDE UB8 1JN

TITLE:

BASEMENT

SCALE: 1:20 @ A1	ENGINEER: DD	DRAWN BY: MKV
DATE: MARCH 2013	CHECKED BY: DD	APPROVED:

DRAWING No:	REVISION
5204/02	C1