



Existing Front Elevation



Existing Side Elevation



Existing Side Elevation



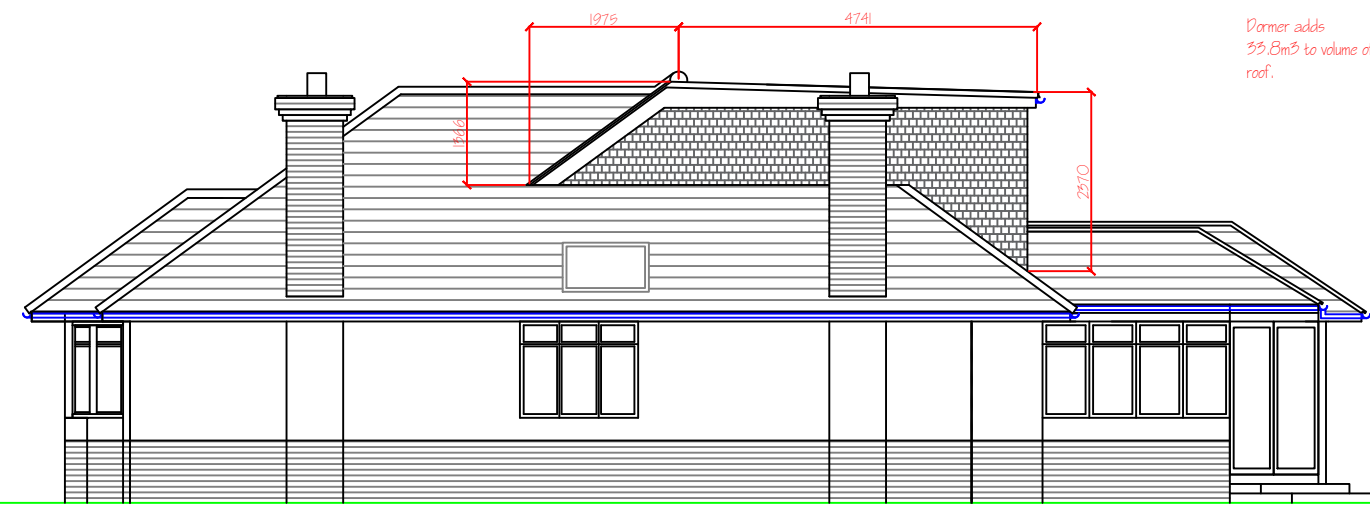
Existing Rear Elevation



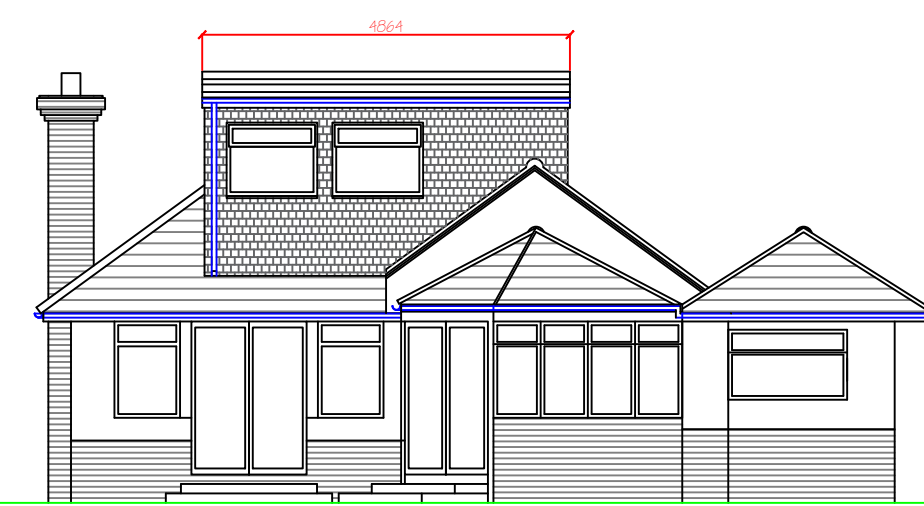
Existing Front Elevation



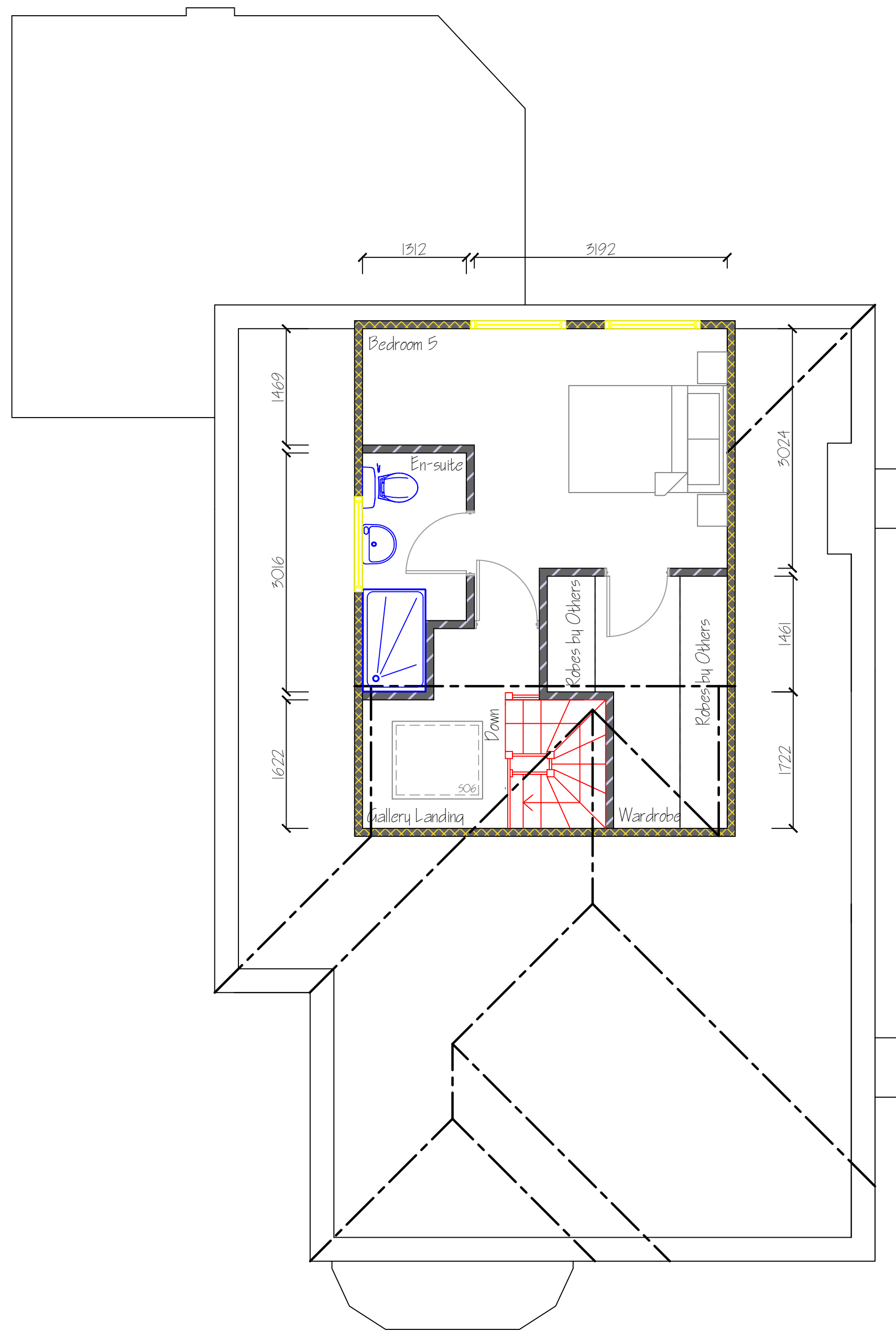
Existing Side Elevation



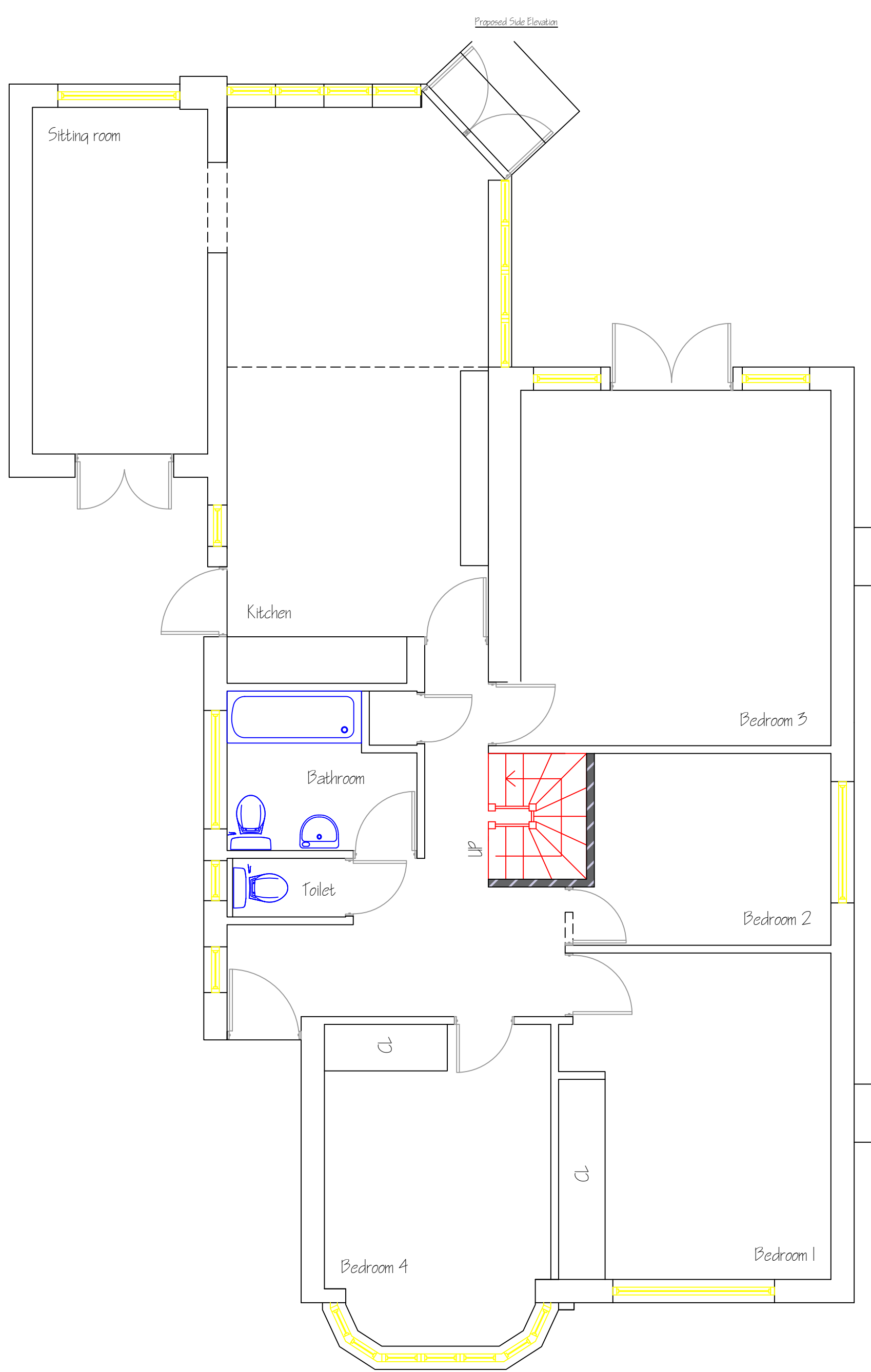
Proposed Side Elevation



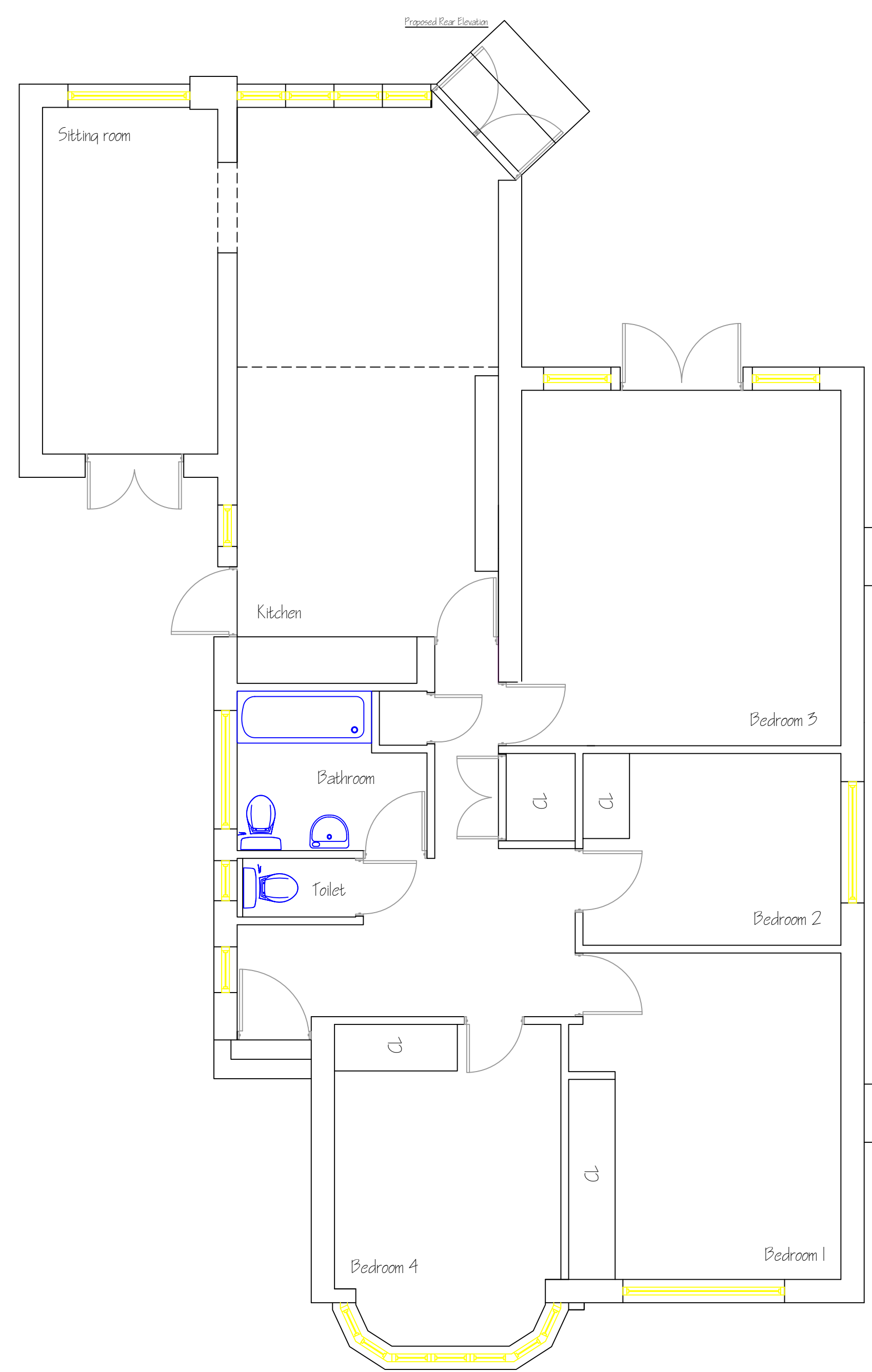
Proposed Rear Elevation



Proposed Loft Conversion Floor Plan



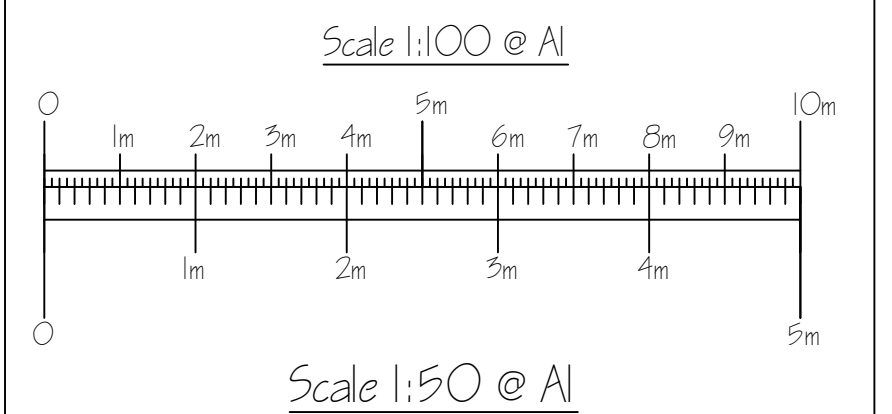
Proposed Ground Floor Plan



Existing Ground Floor Plan

Development to be constructed in accordance with the Permitted development for householders Class B & C

- * A volume allowance of 40 cubic metres additional roof space for terraced houses
- * A volume allowance of 50 cubic metres additional roof space for detached and semi-detached houses
- * No extension beyond the plane of the existing roof slope of the principal elevation that fronts the highway
- * No extension to be higher than the highest part of the roof
- * Materials to be similar in appearance to the existing house
- * No verandas, balconies or raised platforms
- * Side-facing windows to be obscure-glazed; any opening to be 1.7m above the floor
- * Roof extensions not to be permitted development in designated areas
- * Roof extensions, apart from hip to gable ones, to be set back, as far as practicable, at least 20cm from the eaves
- * Any roof light alteration to project no more than 150 millimeters from the existing roof plane.
- * The roof enlargement cannot overhang the outer face of the wall of the original house.



ADDRESS:
70 The Chase, Pinner, HA5 1SN

PROPOSAL:
Conversion of loft space to form habitable room, incorporating rear dormer window a 1x roof light to the front elevation.

CLIENT:	Mr and Mrs Barnfield		
CONTRACT No:	1490/ VI		
DATE:	16th December 2021		
SCALE:	1:100 & 1:50 @ A1		
L.A:	London Borough of Hillingdon		
DWG No:	01	Drawn By:	SDO

AMENDMENTS:	DATE:
A: Revision to loft plan layout	16/12/21