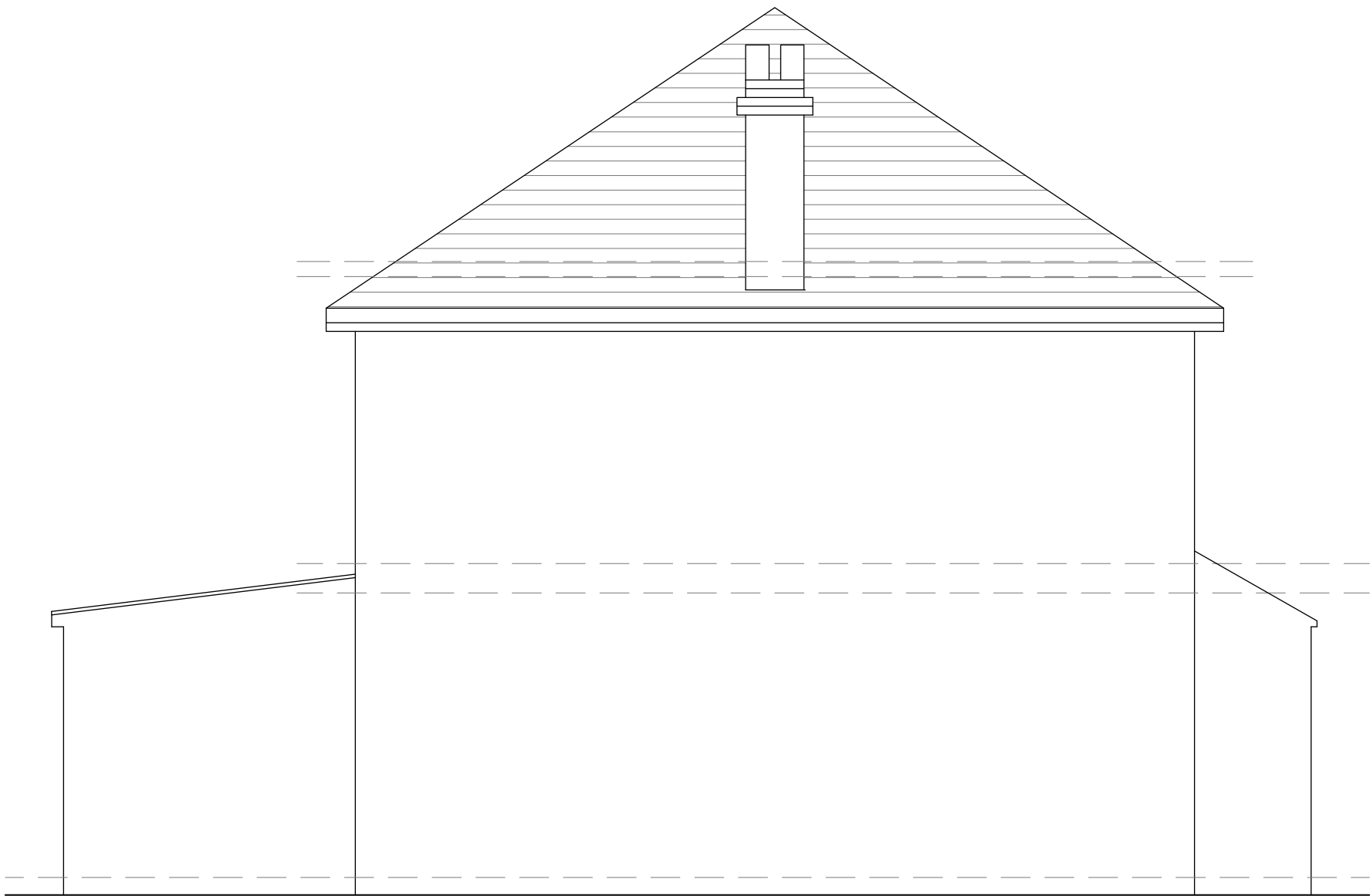




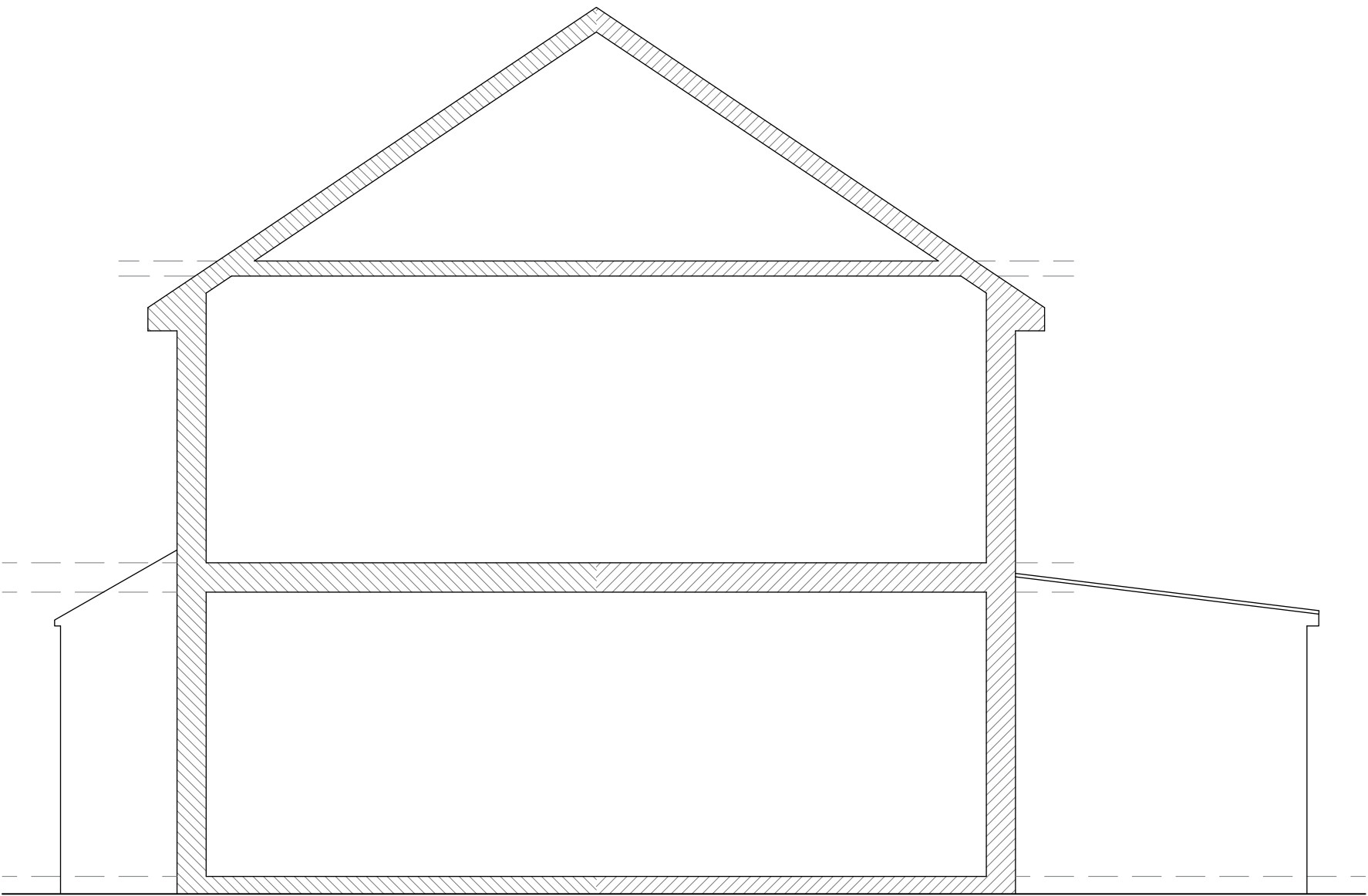
EXISTING  
FRONT ELEVATION



EXISTING  
REAR ELEVATION



EXISTING  
SIDE ELEVATION



EXISTING  
SIDE ELEVATION (PARTY WALL)

SCALE 1:50



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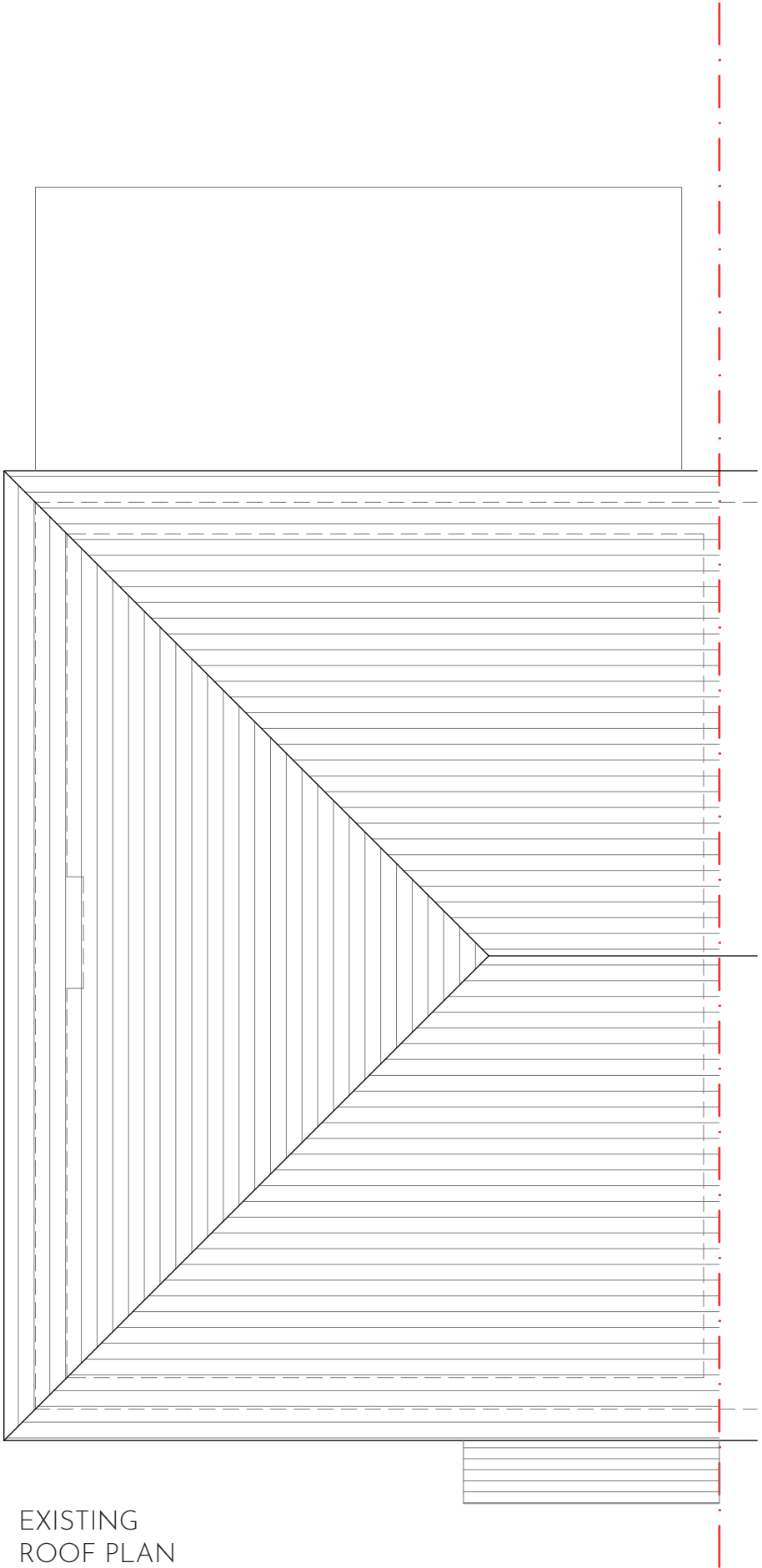
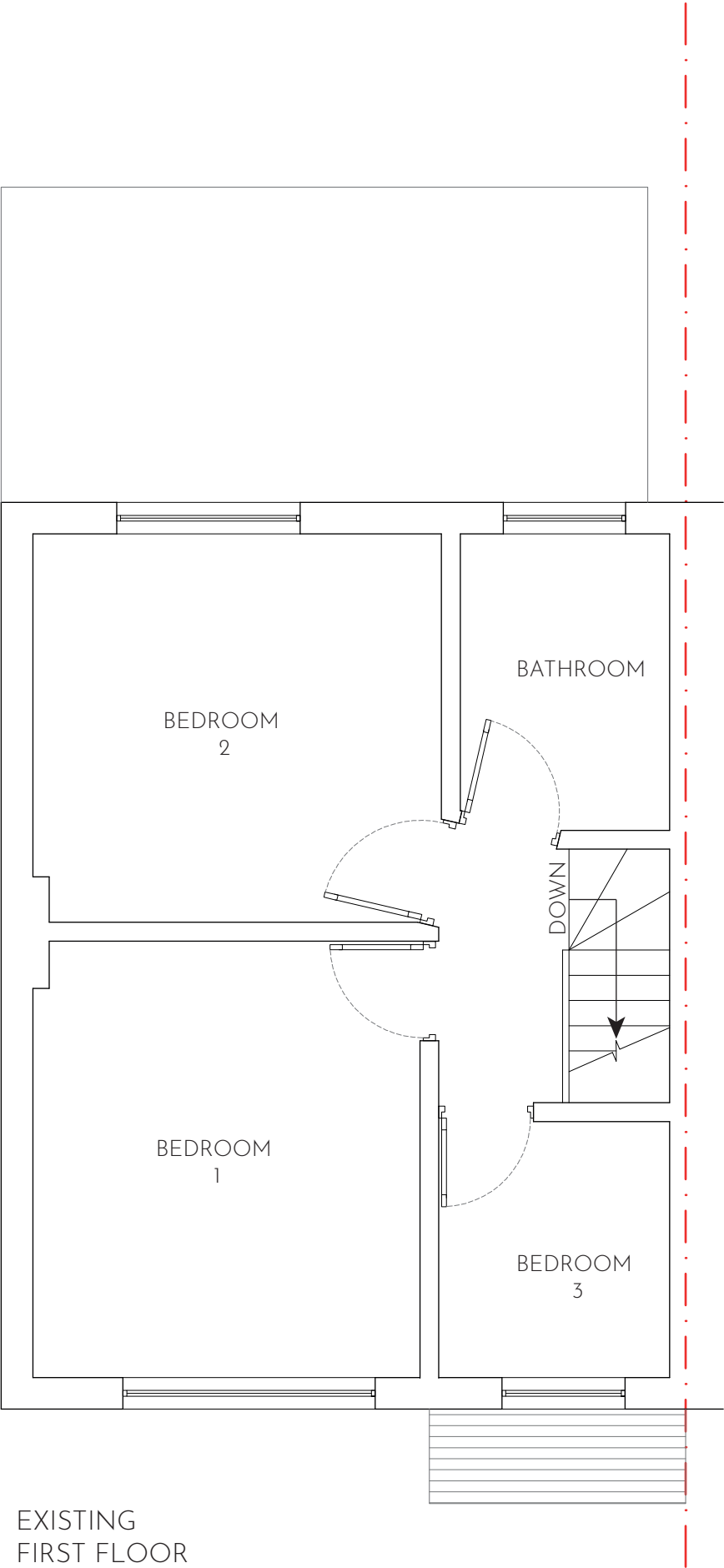
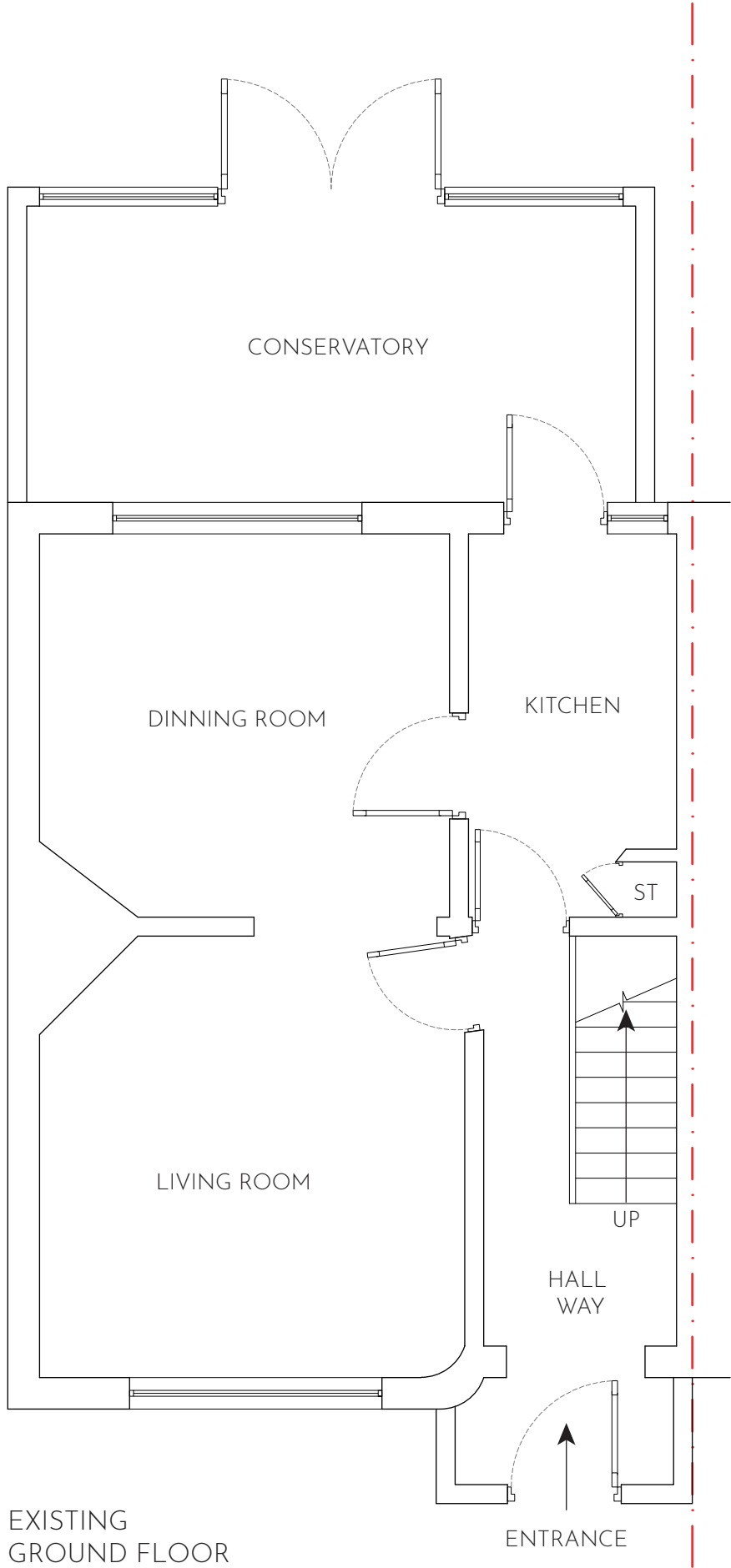
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STAGE:	PLANNING	
CLIENT:	MR HARJIT KAUR 41 LOTHIAN AVENUE HAYES UB4 OEG	
PROJECT:	PROPOSED REAR DORMER CONVERSION WITH HIPPED TO GABEL END	
FILE:	DWG/UB40EG/202 EXISTING ELEVATIONS	
REVISION:	A	DRAWN: VP
SCALE:	1:50/A2	DATE: 16.05.2025
SHEET:	202	

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SCALE 1:50



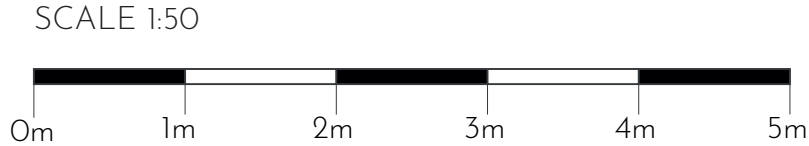
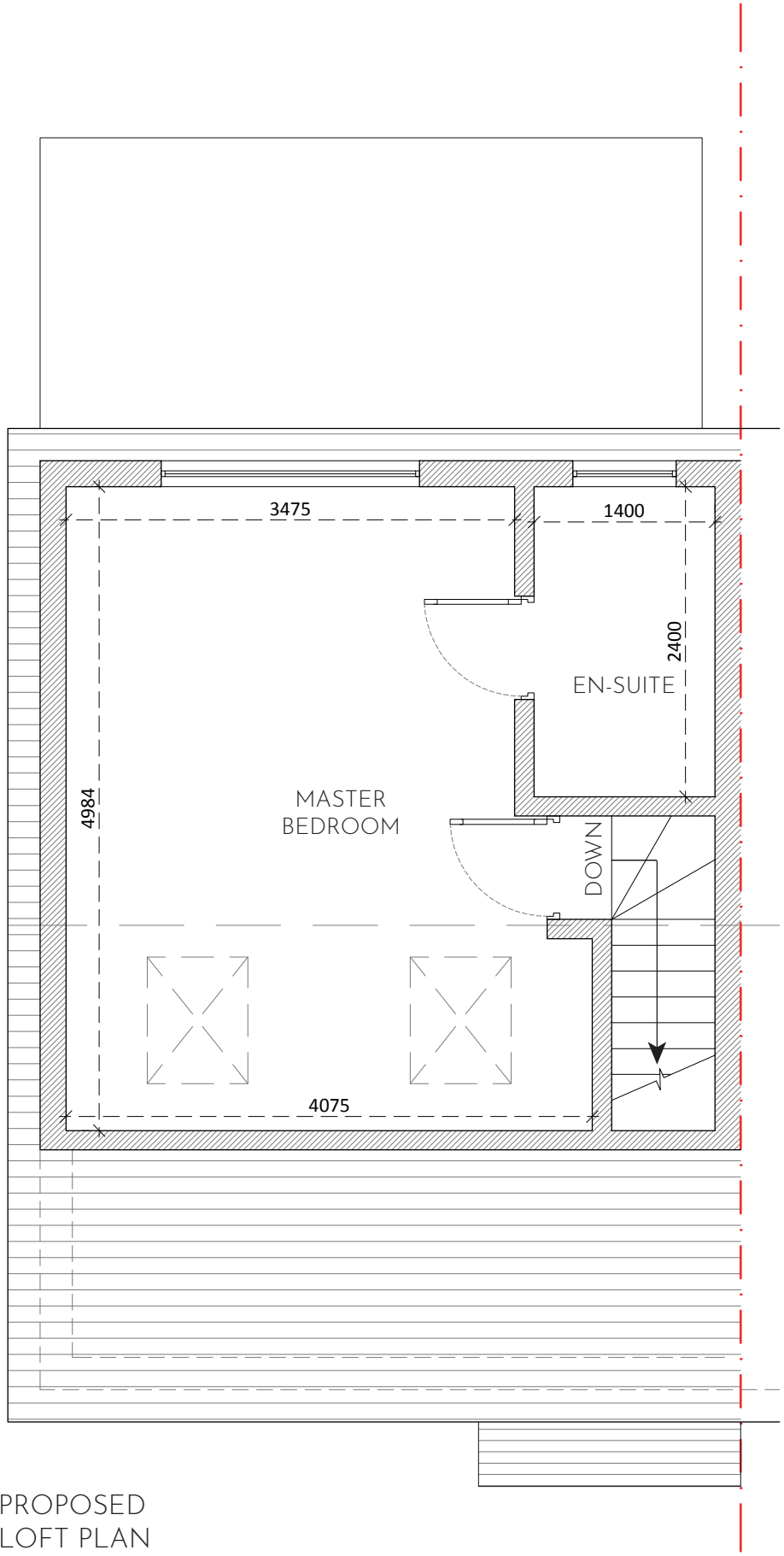
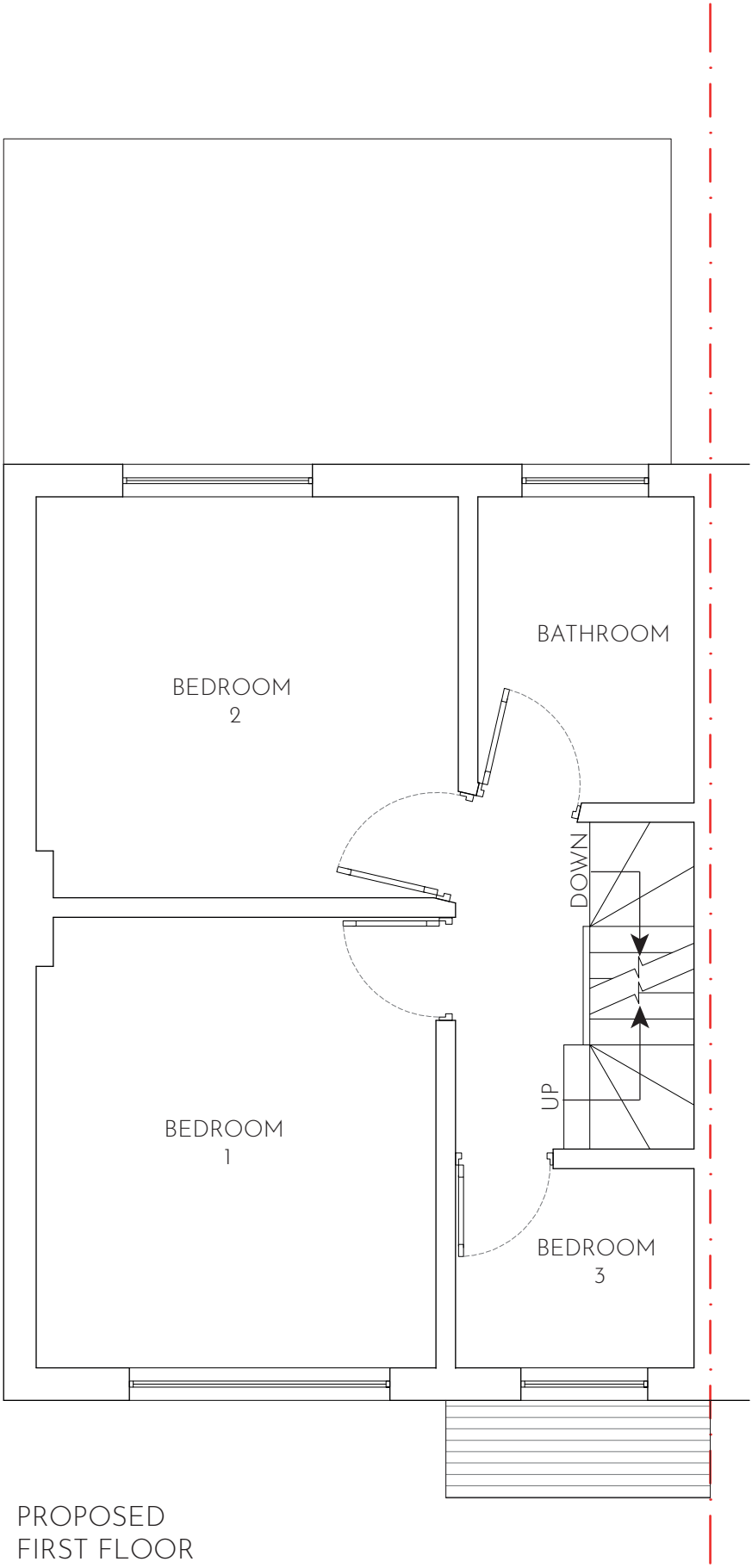
STAGE:	PLANNING	
CLIENT:	MR HARJIT KAUR 41 LOTHIAN AVENUE HAYES UB4 OEG	
PROJECT:	PROPOSED REAR DORMER CONVERSION WITH HIPPED TO GABEL END	
FILE:	DWG/UB40EG/203 PROPOSED PLANS AND ELEVATIONS	
REVISION:	A	DRAWN: VP
SCALE:	1:50/A2	DATE: 16.05.2025

SHEET:

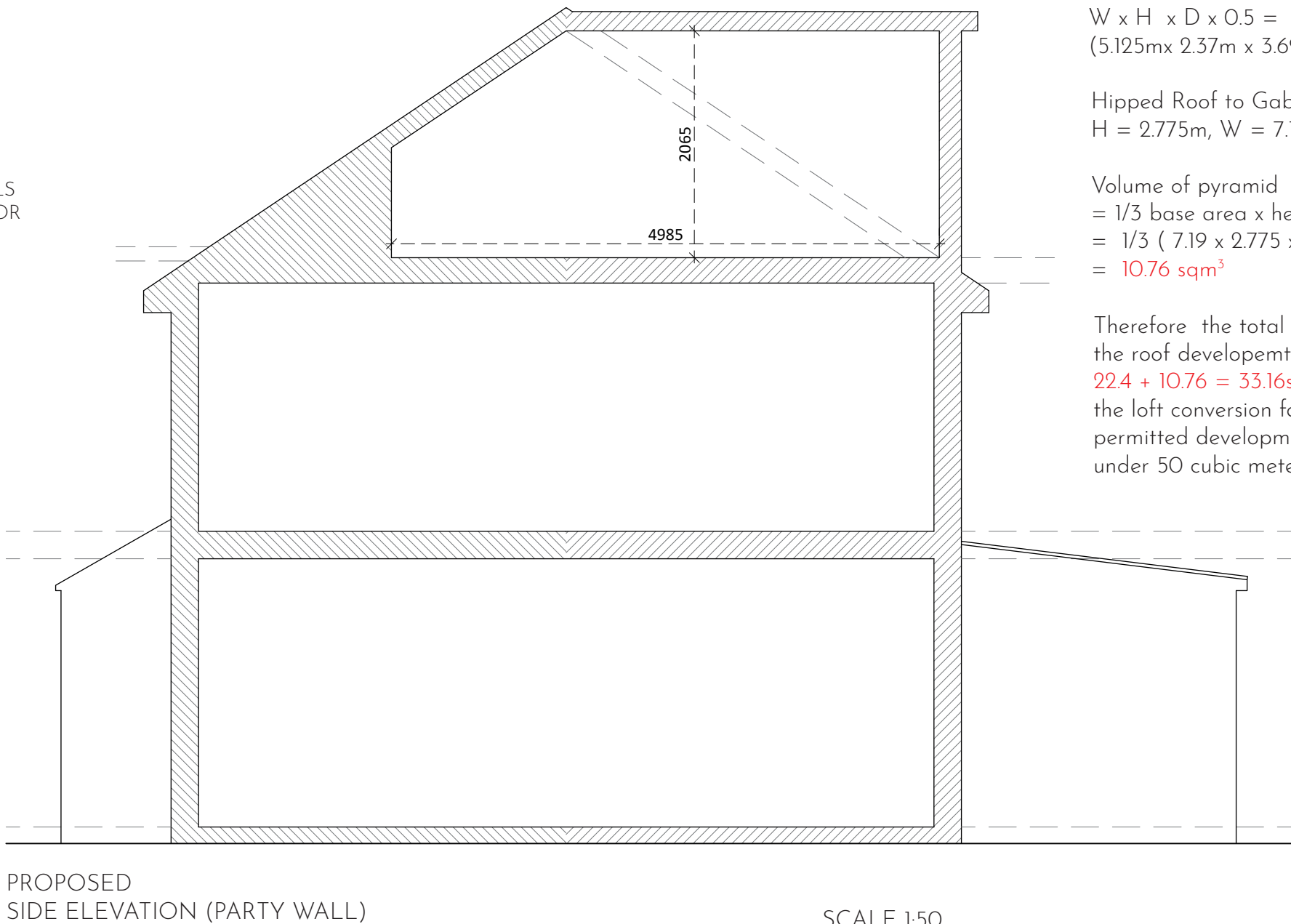
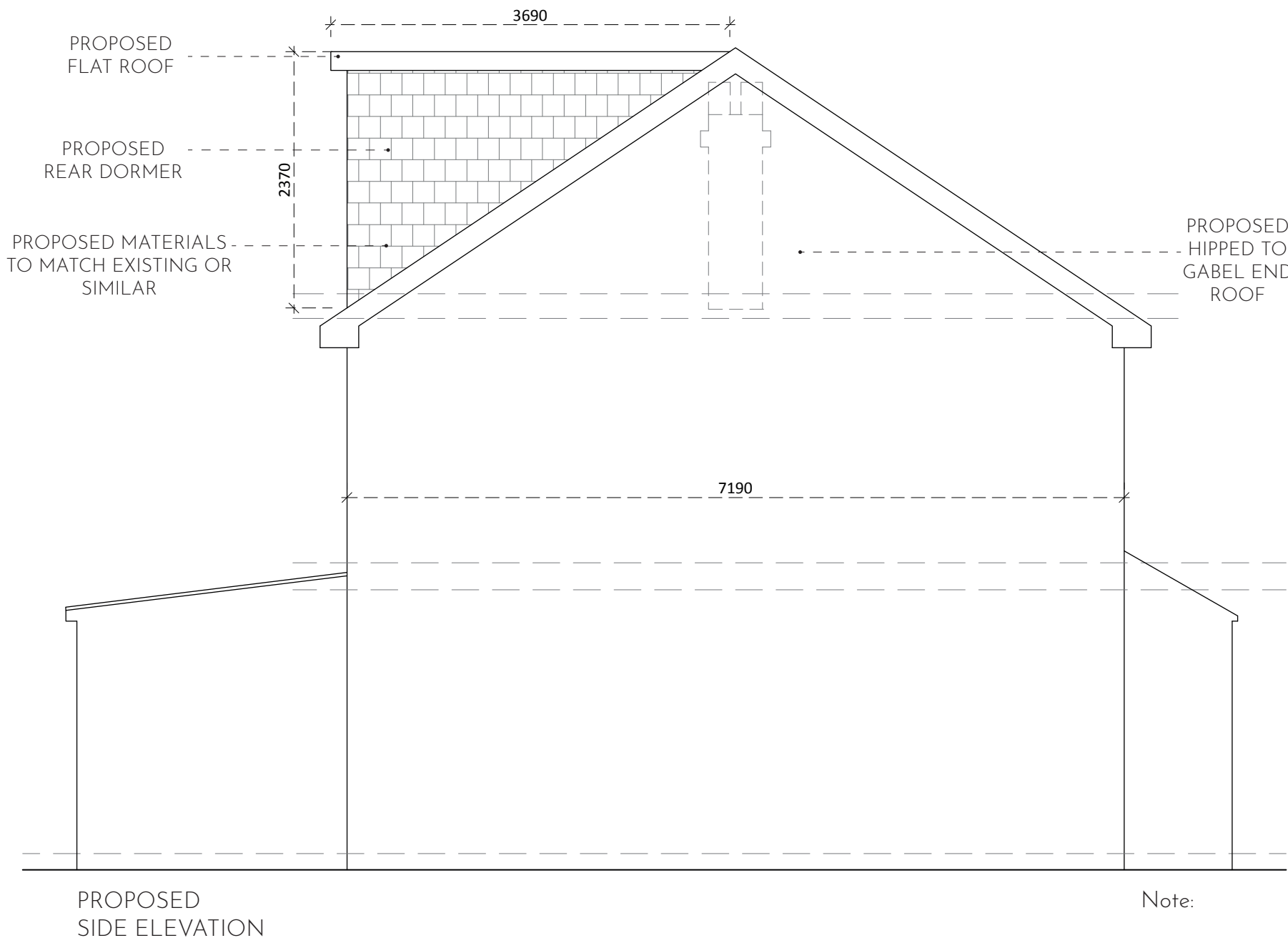
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STAGE:	PLANNING	
CLIENT:	MR HARJIT KAUR 41 LOTHIAN AVENUE HAYES UB4 OEG	
PROJECT:	PROPOSED REAR DORMER CONVERSION WITH HIPPED TO GABEL END	
FILE:	DWG/UB40EG/204 PROPOSED PLANS	
REVISION:	A	DRAWN: VP
SCALE:	1:50/A2	DATE: 16.05.2025
SHEET:	204	



Note:

Total Cubic Volume of the proposed Loft conversion is:

$$W = 5.125m \quad H = 2.37m \quad D = 3.69m$$

$$W \times H \times D \times 0.5 = (5.125m \times 2.37m \times 3.69m) \times 0.5 = 22.4 \text{ sqm}^3$$

$$\text{Hipped Roof to Gable End Volume} \\ H = 2.775m, W = 7.19m, D = 3.595m$$

$$\text{Volume of pyramid} \\ = \frac{1}{3} \text{ base area} \times \text{height} \\ = \frac{1}{3} (7.19 \times 2.775 \times 0.5) \times 3.595 \\ = 10.76 \text{ sqm}^3$$

Therefore the total volume for the roof developemt is  $22.4 + 10.76 = 33.16 \text{sqm}^3$  the loft conversion falls within permitted development as it is under 50 cubic meters

SCALE 1:50



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STAGE:	PLANNING	
CLIENT:	MR HARJIT KAUR 41 LOTHIAN AVENUE HAYES UB4 OEG	
PROJECT:	PROPOSED REAR DORMER CONVERSION WITH HIPPED TO GABEL END	
FILE:	DWG/UB40EG/205 PROPOSED ELEVATIONS	
REVISION:	A	DRAWN: VP
SCALE:	1:50/A2	DATE: 16.05.2025
SHEET:		