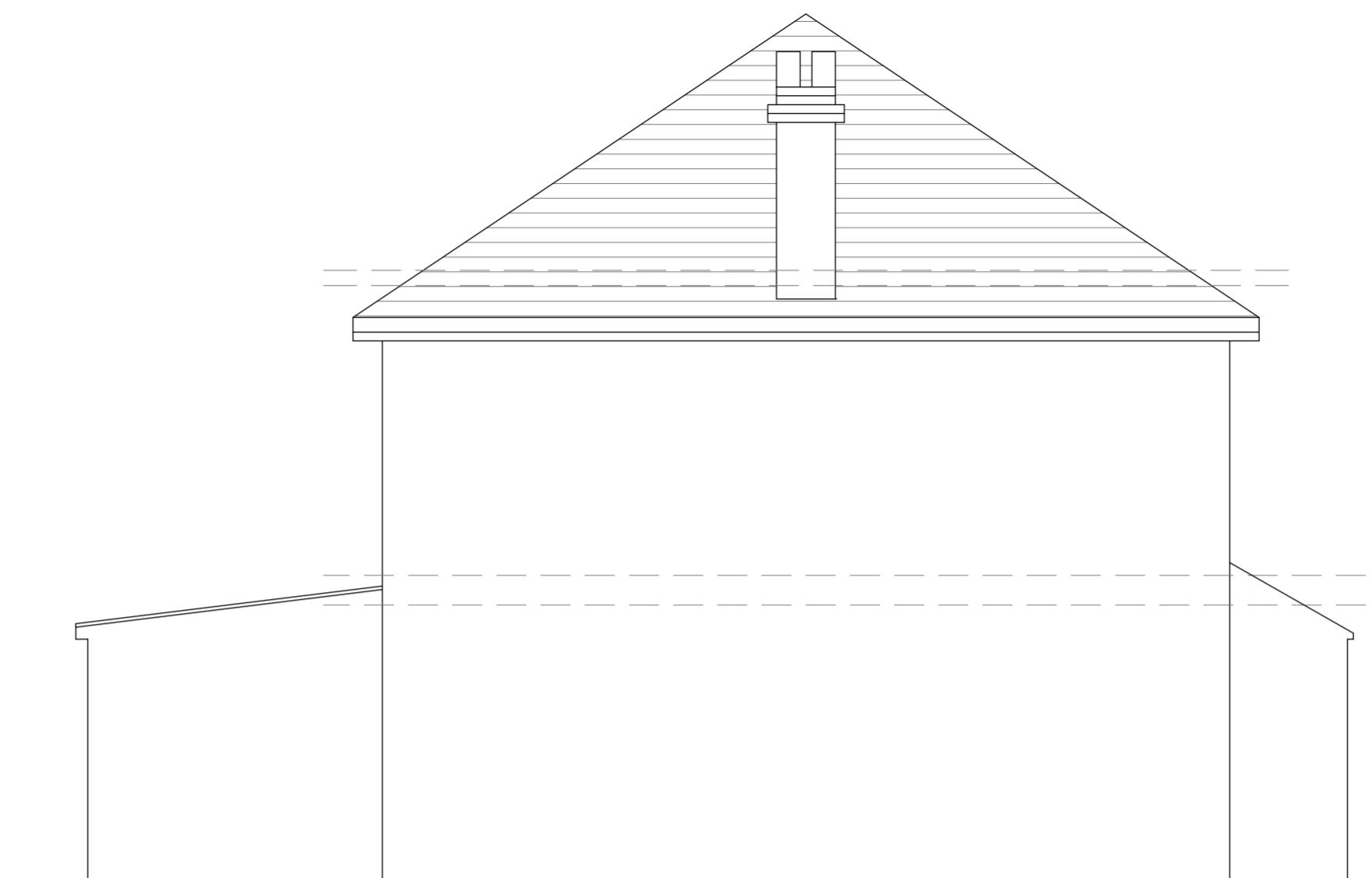




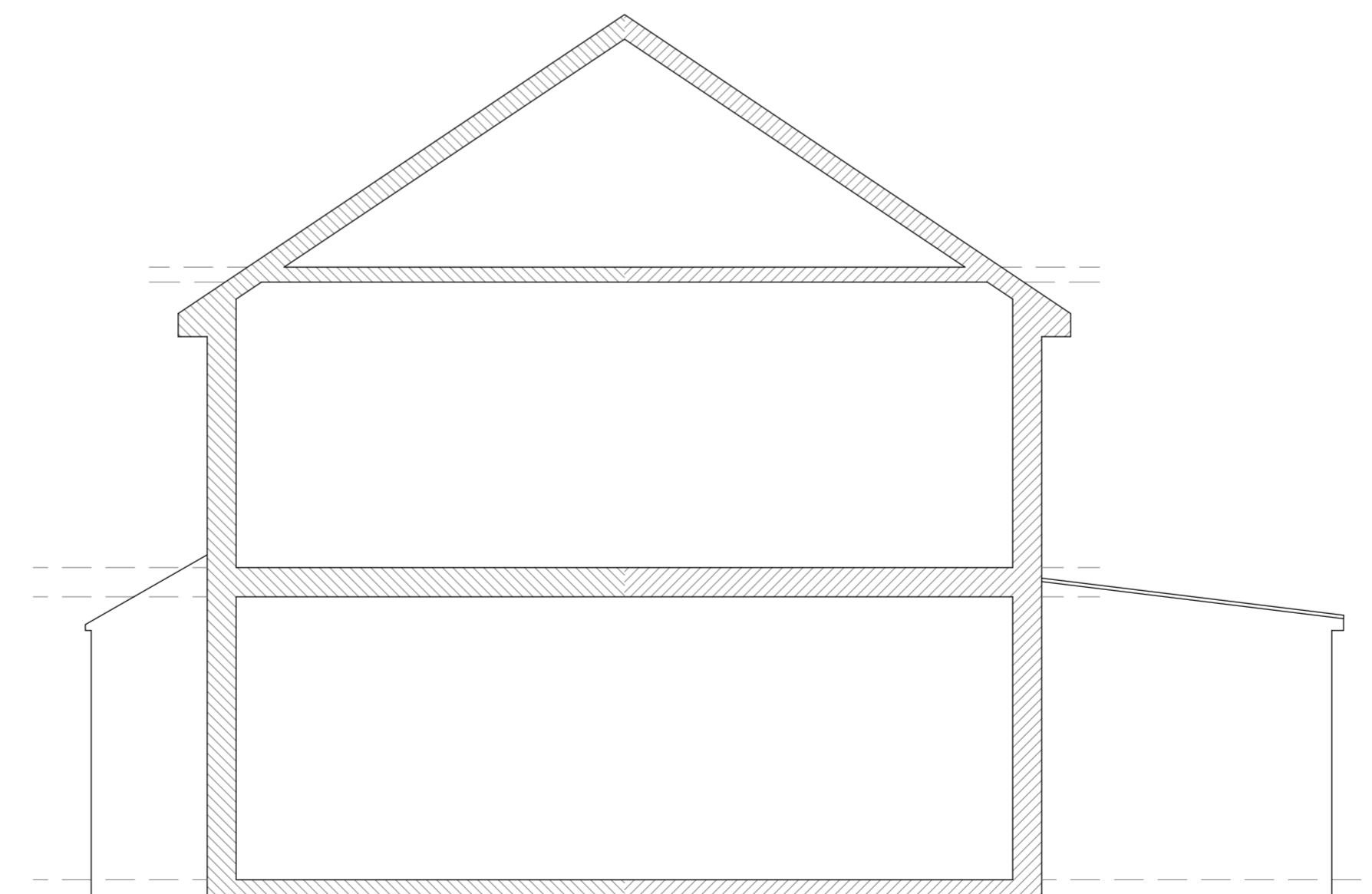
EXISTING
FRONT ELEVATION



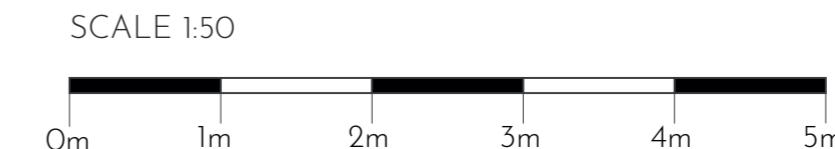
EXISTING
REAR ELEVATION



EXISTING
SIDE ELEVATION



EXISTING
SIDE ELEVATION (PARTY WALL)



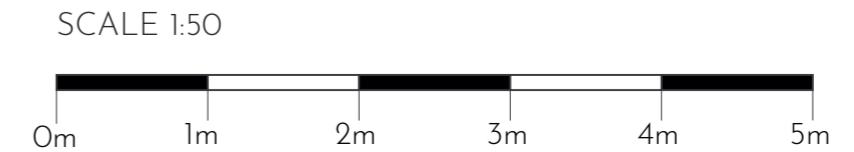
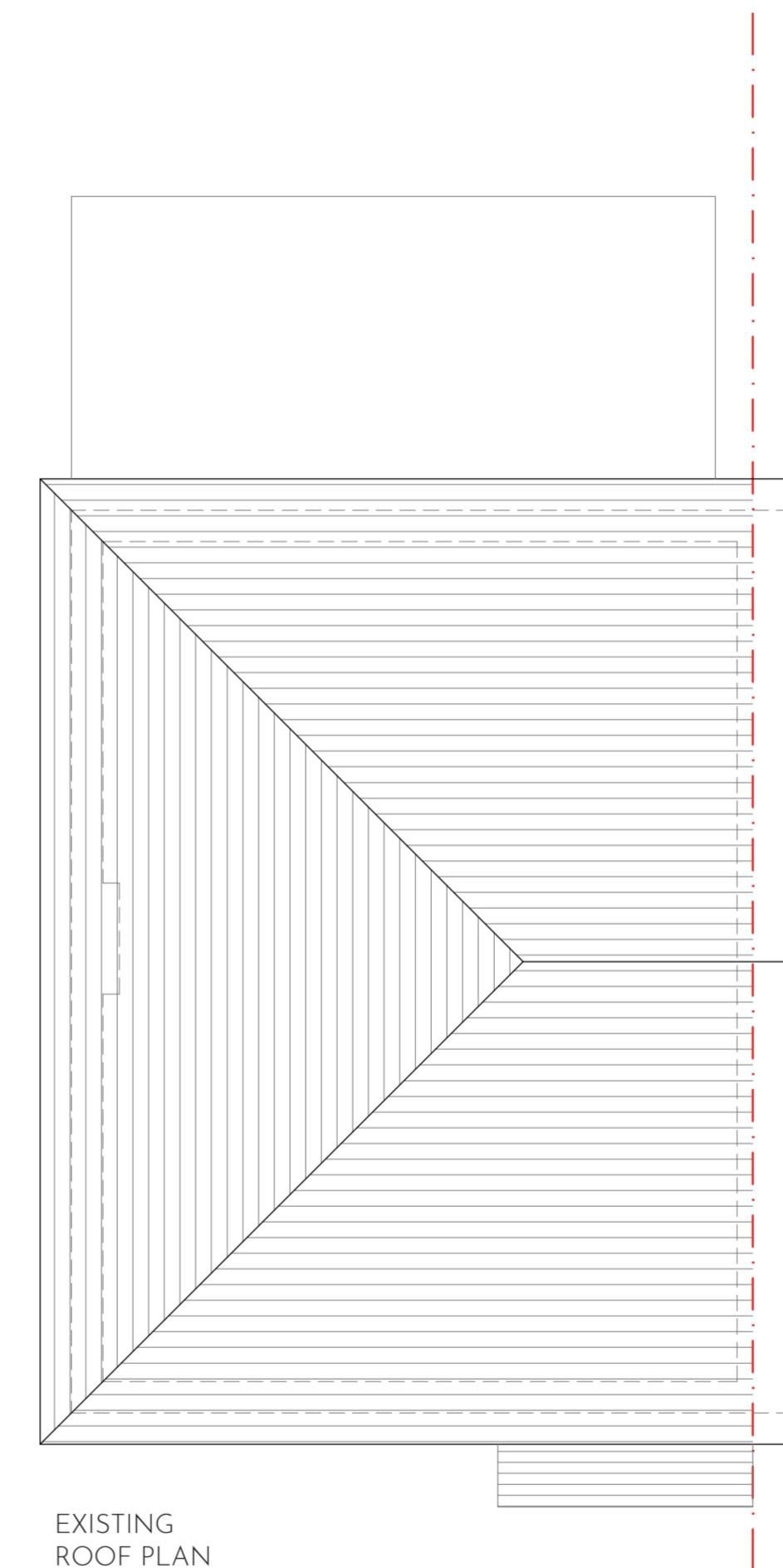
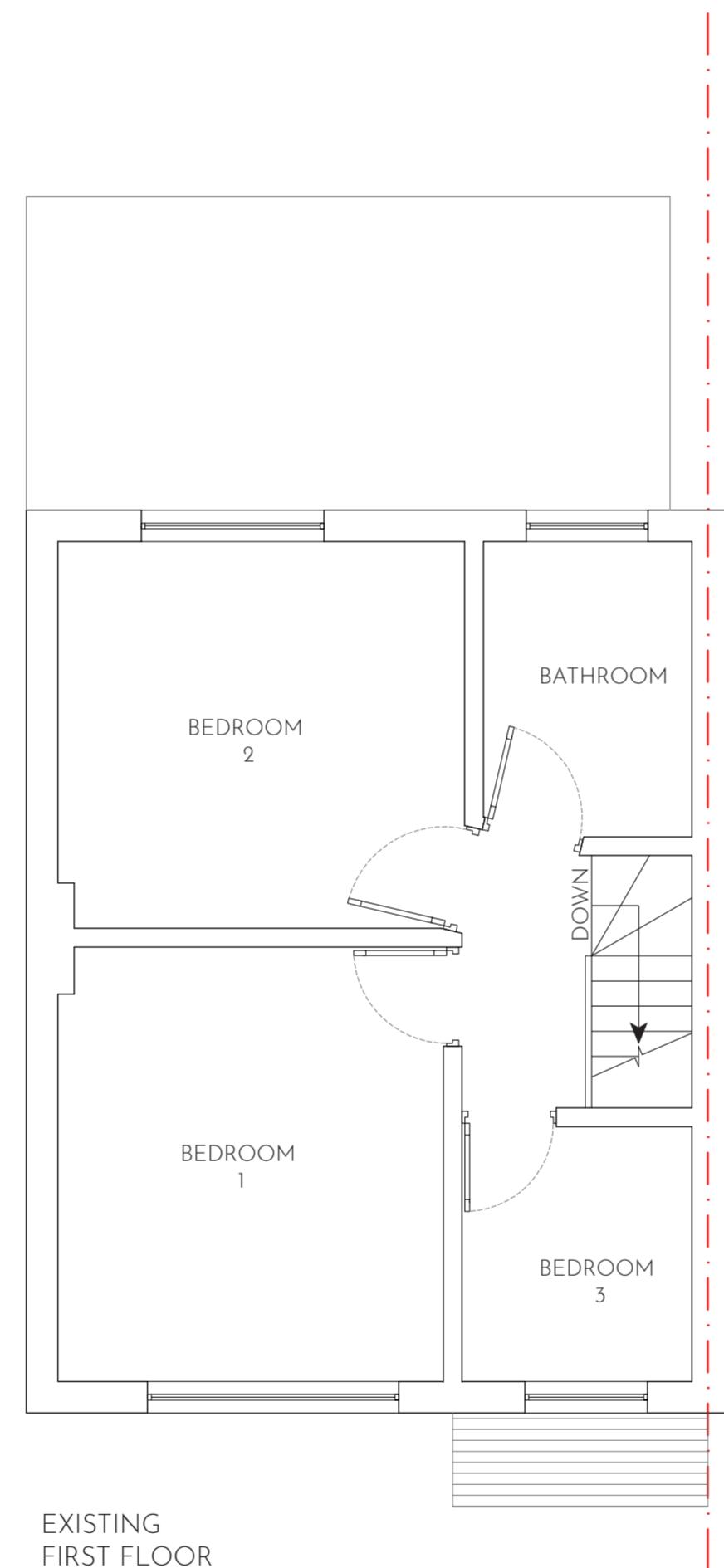
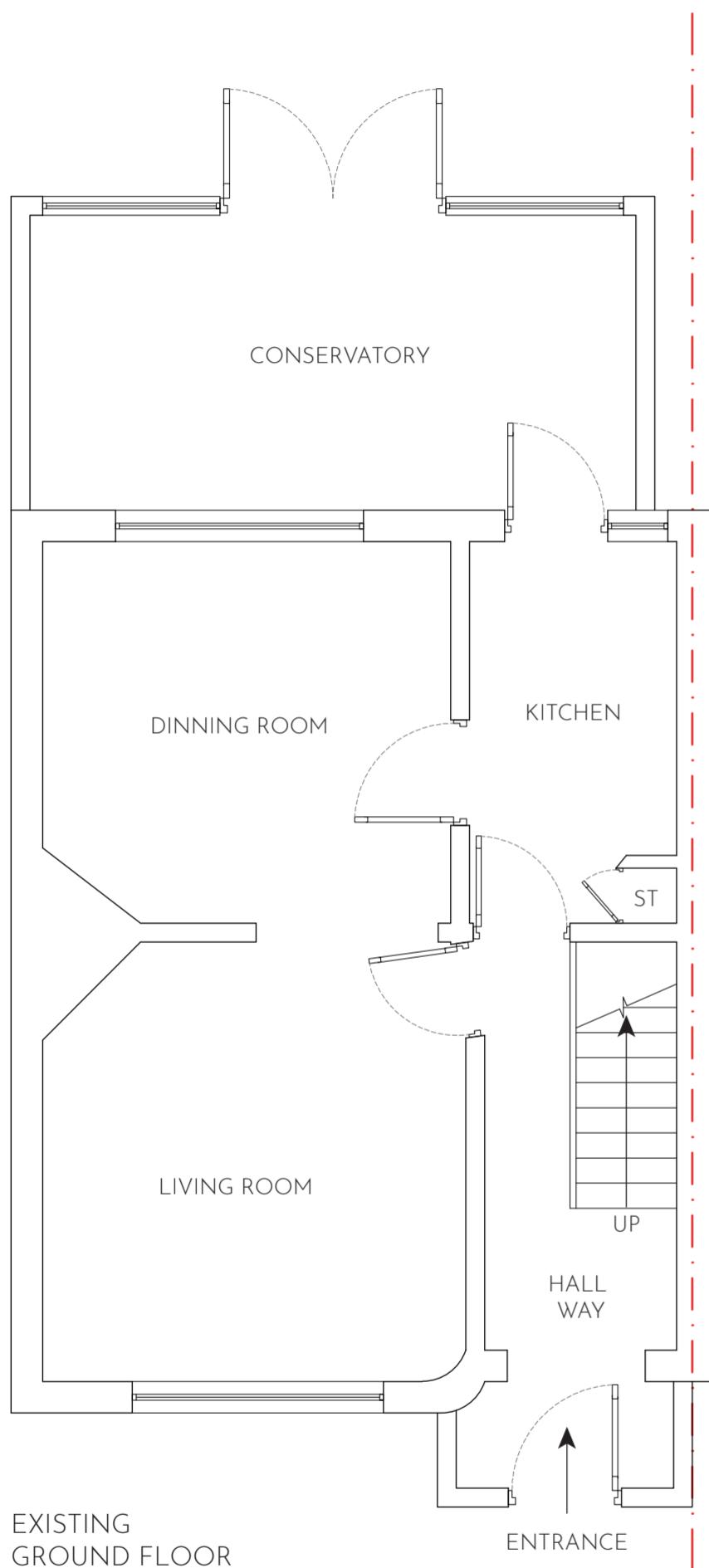
STAGE:	PLANNING
CLIENT:	MR HARJIT KAUR 41 LOTHIAN AVENUE HAYES UB4 0EG
PROJECT:	PROPOSED REAR DORMER CONVERSION WITH HIPPED TO GABEL END
FILE:	DWG/UB40EG/202 EXISTING ELEVATIONS
REVISION:	A
SCALE:	1:50/A2
DATE:	16.05.2025

SHEET:

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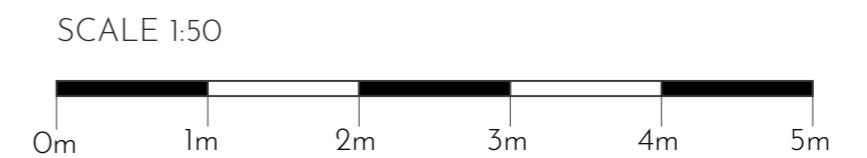
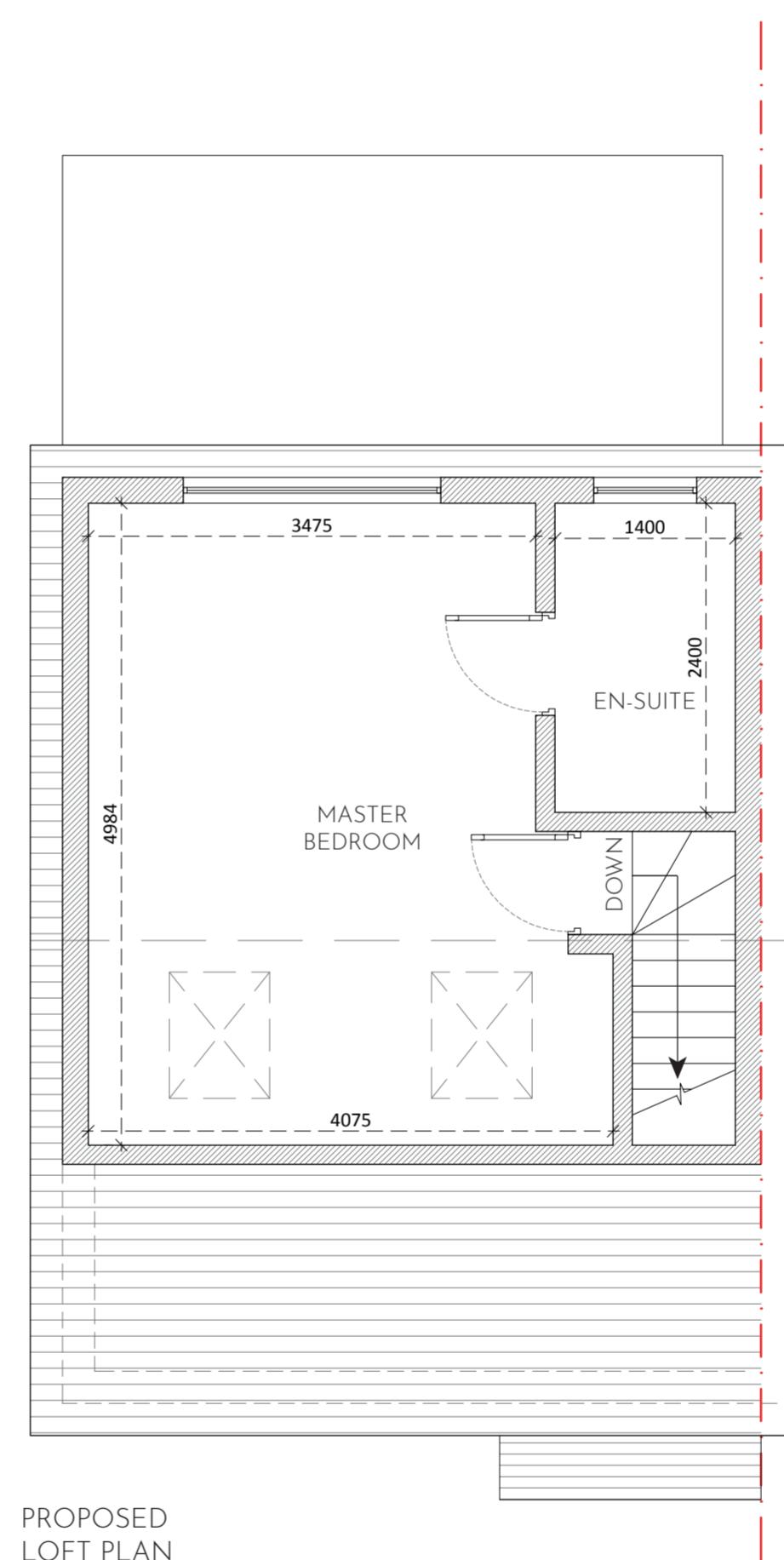
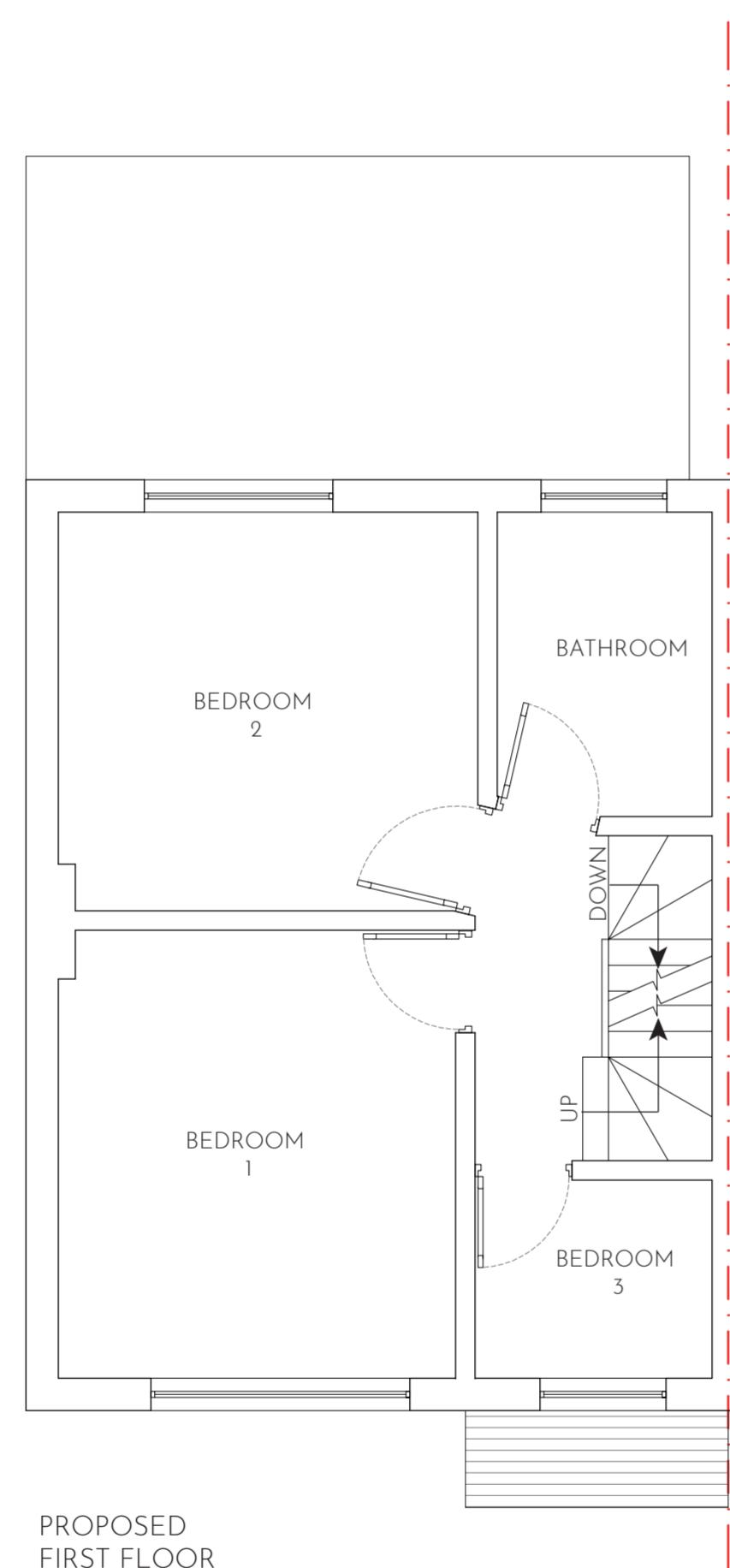


STAGE:	PLANNING	
CLIENT:	MR HARJIT KAUR 41 LOTHIAN AVENUE HAYES UB4 0EG	
PROJECT:	PROPOSED REAR DORMER CONVERSION WITH HIPPED TO GABEL END	
FILE:	DWG/UB40EG/203 PROPOSED PLANS AND ELEVATIONS	
REVISION:	A	DRAWN: V.P
SCALE:	1:50/A2	DATE: 16.05.2025
SHEET:	203	

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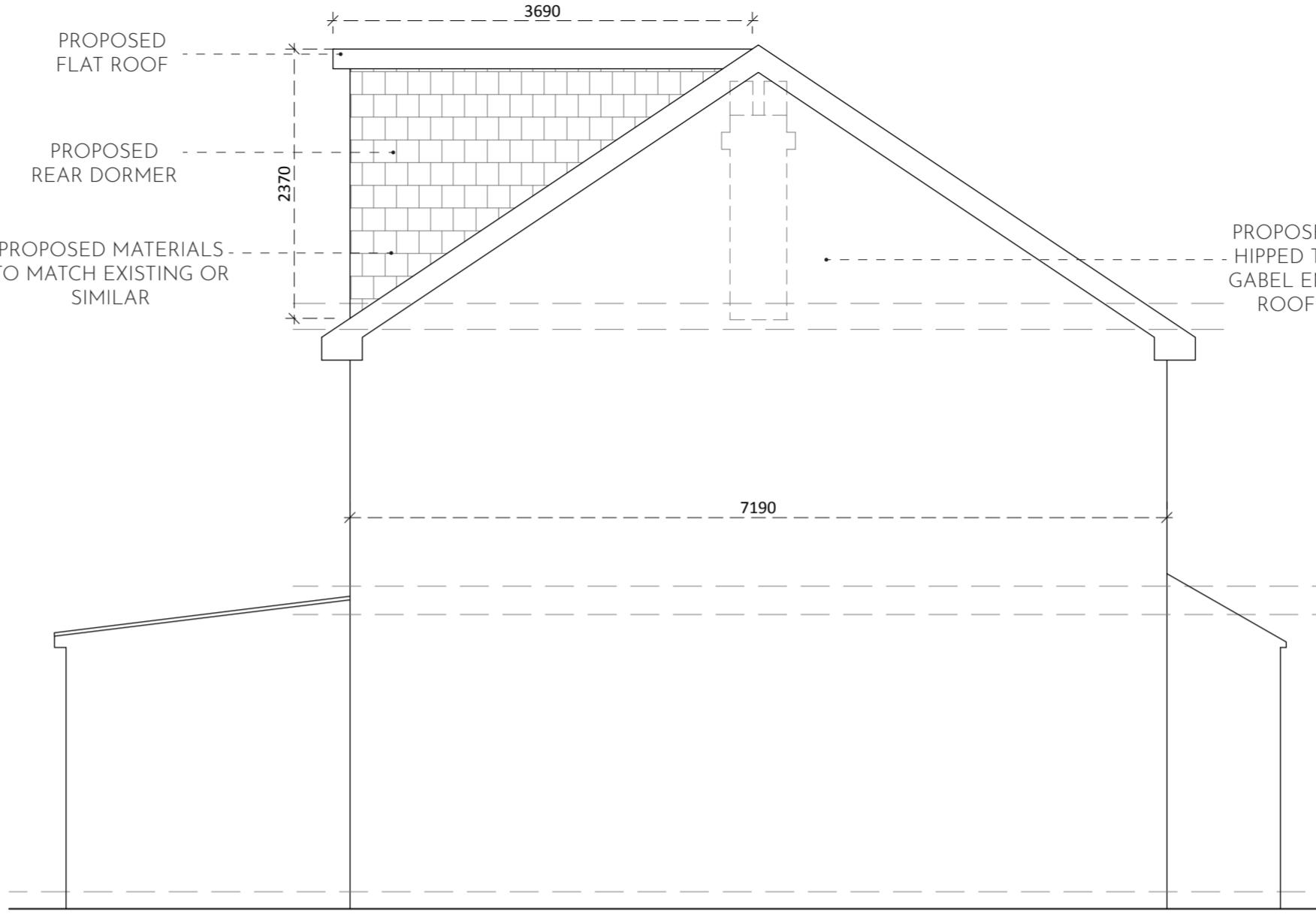


STAGE:	PLANNING	
CLIENT:	MR HARJIT KAUR 41 LOTHIAN AVENUE HAYES UB4 0EG	
PROJECT:	PROPOSED REAR DORMER CONVERSION WITH HIPPED TO GABEL END	
FILE:	DWG/UB40EG/204 PROPOSED PLANS	
REVISION:	A	DRAWN: V.P
SCALE:	1:50/A2	DATE: 16.05.2025
SHEET:		

PROPOSED ROOF LIGHTS WOULD NOT PROTRUDE MORE THAN 0.15 METERS BEYOND THE PLANE OF THE SLOPE OF THE ORIGINAL ROOF WHEN MEASURED FROM THE PERPENDICULAR WITH THE EXTERNAL SURFACE OF THE ORIGINAL ROOF



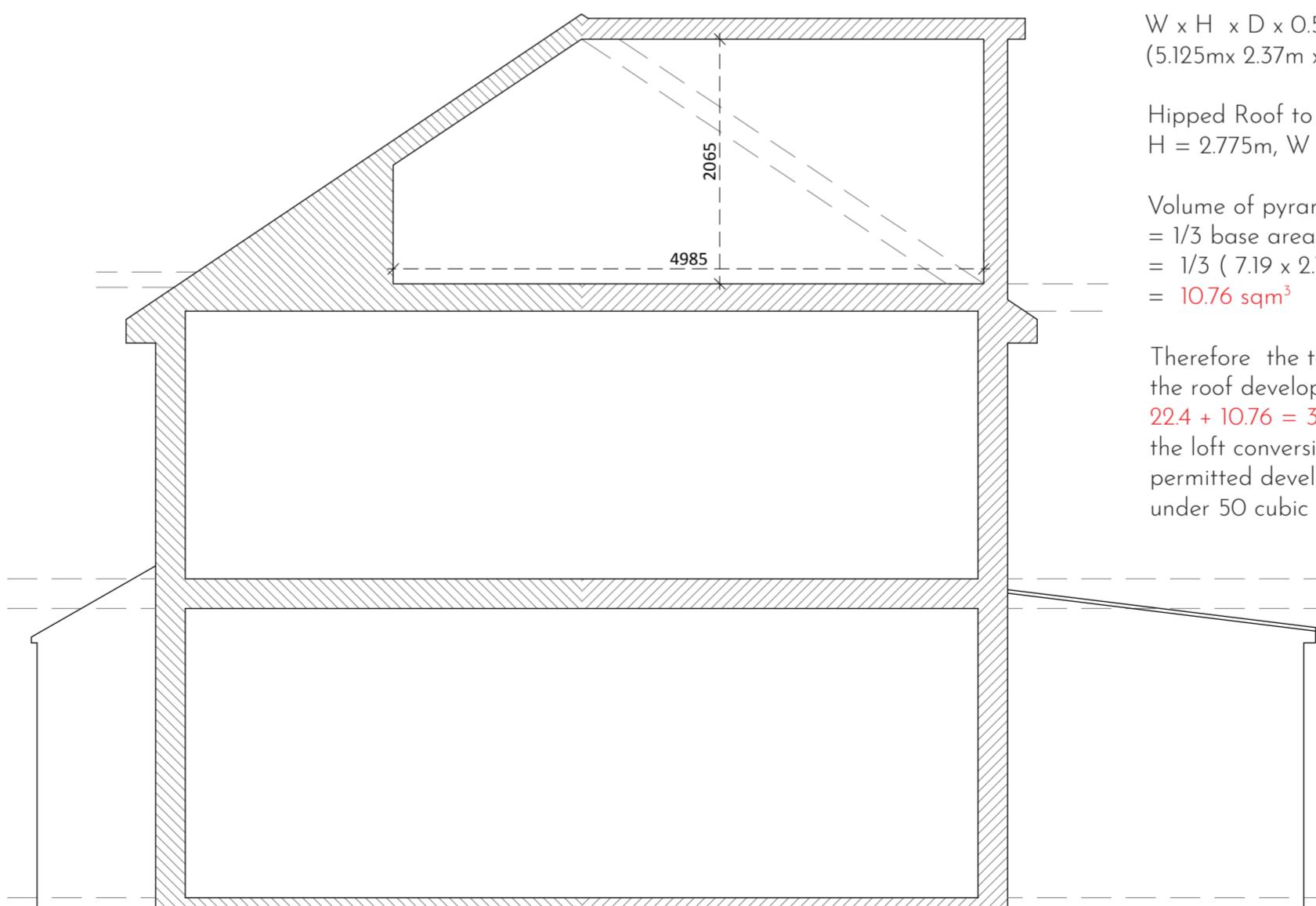
PROPOSED
FRONT ELEVATION



PROPOSED
SIDE ELEVATION

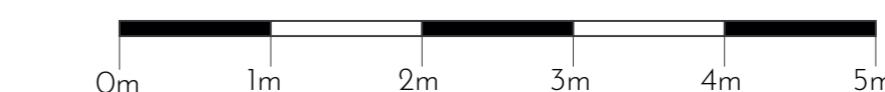


PROPOSED
REAR ELEVATION



PROPOSED
SIDE ELEVATION (PARTY WALL)

SCALE 1:50



SPARROW DESIGN & BUILD
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Note:

Total Cubic Volume of the proposed Loft conversion is:

$$W = 5.125m \quad H = 2.37m \quad D = 3.69m$$

$$W \times H \times D \times 0.5 = (5.125m \times 2.37m \times 3.69m) \times 0.5 = 22.4 \text{ sqm}^3$$

Hipped Roof to Gable End Volume
H = 2.775m, W = 7.19m, D = 3.595m

$$\begin{aligned} \text{Volume of pyramid} \\ = 1/3 \text{ base area} \times \text{height} \\ = 1/3 (7.19 \times 2.775 \times 0.5) \times 3.595 \\ = 10.76 \text{ sqm}^3 \end{aligned}$$

Therefore the total volume for the roof development is
 $22.4 + 10.76 = 33.16 \text{ sqm}^3$
the loft conversion falls within permitted development as it is under 50 cubic meters

STAGE:	PLANNING	
CLIENT:	MR HARJIT KAUR 41 LOTHIAN AVENUE HAYES UB4 0EG	
PROJECT:	PROPOSED REAR DORMER CONVERSION WITH HIPPED TO GABEL END	
FILE:	DWG/UB40EG/205 PROPOSED ELEVATIONS	
REVISION:	A	DRAWN: V.P
SCALE:	1:50/A2	DATE: 16.05.2025
SHEET:	205	