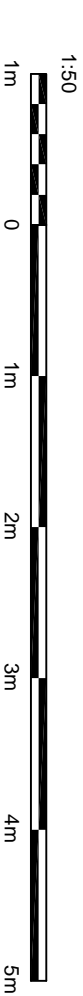
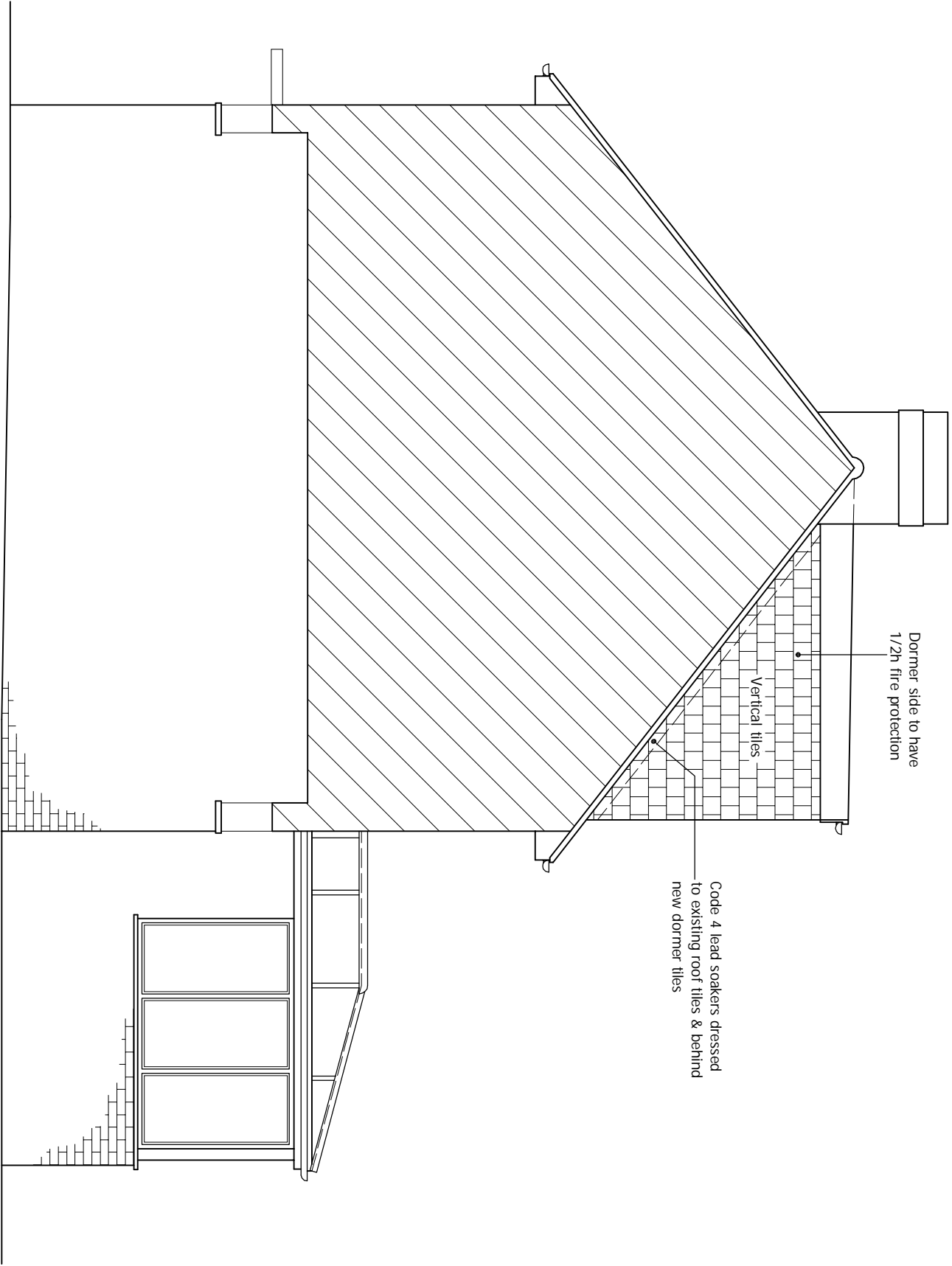


- Notes:
1. All materials to match the existing dwelling.

2. The front facing roof lights to not protrude more than 150mm from the front roof slope.



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ALL STRUCTURAL ELEMENTS (such as beams, lintels, joists, rafters, columns, walls, foundations and etc.) SHOWN ON DRAWINGS ARE ONLY INDICATIVE. THEY ARE SUBJECTED TO FURTHER STRUCTURAL ENGINEER'S CONSIDERATION.

DRAWING STATUS	CONSTRUCTION
REV.	DATE
NAME	DESCRIPTION

Architectural Design Studio

DPL

4 ST ANNES, DORIC WAY,
EUSTON, LONDON NW1 1LG
+44 07838 135 957

GENERAL NOTES:
Any dimensions shown are indicative only and are subject to verification on site. The contractor to set out, check, and co-ordinate all dimensions on site during the course of the works and prior to setting out on site. This drawing to be read in conjunction with all other Architect's and Engineer's drawings, Structural Engineer's calculations and any specialist supplier's drawings. The homeowner is responsible and should ensure that all working drawings and calculations are completed, approved by Building Control or Planning Departments & that they are the current revised drawings before any works start on site.
2. Inform the Building control department that the works are about to commence on site after receiving an approved decision from planning / building control in writing for your proposed works.
3. Verify boundary lines & ground conditions including checking positions and new connections of all gas, electricity, water, drainage, and other services. The homeowner is responsible for ensuring that all services are correctly located and that the building is not damaged by the works.
4. DPL are not responsible for builders changing design methods from proposed works. The client is responsible for ensuring that the design is followed as shown on the drawings.
5. Owner is responsible for checking conditions, materials and covering any engineering details, costs for any additional structural design change on site from the start to end of building works requested by building control or any other third party's instruction during building works.
6. Request a copy of the Party Wall Award where works affect party wall or involve excavations within 3 meters of adjoining buildings or building over a public sewer. (Clients responsibility)

7. Where works involve demolition to ensure that all elements of the building and adjoining structures are accounted for and that all necessary propping and temporary supports are in place. Do not scale off this drawing as the scaling may be off.
8. Works carried out under a building notice or prior to approval of drawings are at the contractor/owner's risk. (All DPL drawings must be approved before works commence) and the homeowner is responsible for ensuring that the works are carried out in accordance with the Building Regulations and the Building Control Department.
9. Any discrepancies, either between written and site dimensions or between this drawing and other consultant's or suppliers drawings, should be brought to the immediate attention of DPL before executing the structural, drainage, mechanical and electrical works. The homeowner is responsible for ensuring that the works are carried out in accordance with the Building Regulations and the Building Control Department.
10. All of DPL structural drawings are subject to building being in place. If the existing structure is found to be inadequate, the homeowner is responsible for ensuring that the existing foundation type and building control either a raft or piled foundation, this will need to be designed by an engineer to be on additional work being implemented on site.
11. All work to be carried out on site must be supervised by a qualified person and approved by building control inspector/builder for load bearing or non-load bearing status before purchase of steel/s. If not-load bearing then steel/s should not be ordered. No refund or claim can be given against DPL on the design/moderis changed for these steel/s.

OTHER NOTES:
All new proposed roof and wall finishes on this drawing to match existing materials. All new proposed rooflights and windows must be installed in accordance with the Building Regulations and the Building Control Department. For a permitted development, left design the dormer designed on this drawing is set back from the eaves by 200mm, this note is a confirmation that it is designed this way. All works to be carried out in accordance with the latest appropriate codes of practice and to comply with current building regulations.
No inspection of the underground drainage was not possible on survey. Contractor should check drainage runs and ensure that they are in good condition. If any drainage is found to be inadequate, the homeowner is responsible for ensuring that the drainage is upgraded to meet the Building Regulations and the Building Control Department. ALL DRAINAGE SHOWN IS ASSUMED AND MUST BE VERIFIED BY CONTRACTOR.
12. All drainage connections is assumed & is subject for checking by builder, Thomas will & building control, if not checked by builder, Thomas will & building control, the homeowner is responsible for ensuring that the drainage is upgraded to meet the Building Regulations and the Building Control Department. All works to be carried out on site must be supervised by a qualified person and approved by building control inspector/builder for load bearing or non-load bearing status before purchase of steel/s. If not-load bearing then steel/s should not be ordered. No refund or claim can be given against DPL on the design/moderis changed for these steel/s.

SITE ADDRESS
124 FALLING LANE,
WEST DRAYTON, MIDDLESEX, UB7 8AG

DRAWING TITLE
PROPOSED DRAWINGS

DRAWN AT HEAD OFFICE

DRAWN BY

SCALE as shown @ A3

19. JULY. 2023

DRAWING NO. DPL. 11.

REVISION a

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