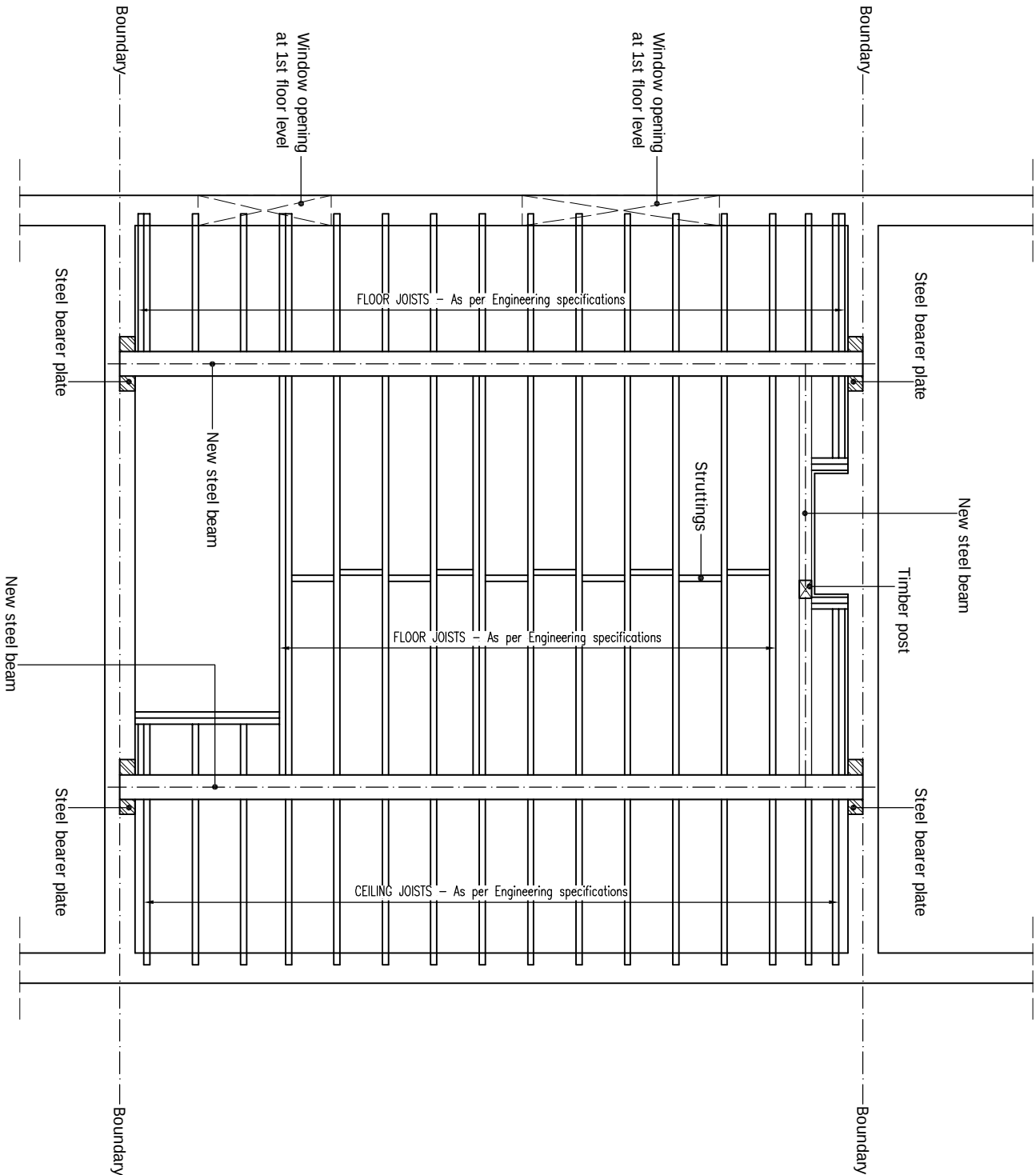
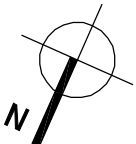




STEELWORK and JOISTS LAYOUT

Scale 1:50

ALL STRUCTURAL ELEMENTS (such as beams, lintels, joists, rafters, columns, walls, foundations and etc.) SHOWN ON DRAWINGS ARE ONLY INDICATIVE. THEY ARE SUBJECTED TO FURTHER STRUCTURAL ENGINEER'S CONSIDERATION.

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DRAWING STATUS	CONSTRUCTION
REV.	DATE
NAME	DESCRIPTION

Architectural Design Studio

4 ST ANNES, DORIC WAY,
EUSTON, LONDON NW1 1LG
+44 07838 135 957

GENERAL NOTES:
Any dimensions shown are indicative only and are subject to verification on site. The contractor to set out, check, and co-ordinate all dimensions on site during the course of the works and prior to setting out on site. This drawing to be read in conjunction with all other Architect's and Engineer's drawings. Structural Engineers' calculations and any specialist supplier's drawings, however, is responsible and should –
1. Ensure that all working drawings and calculations are completed, approved by Building Control or Planning Departments & that they are the current revised drawings before any works start on site.
2. Inform the Building control department that the works are about to commence on site after receiving an approved decision from planning / building control in writing for your proposed works.
3. Verify boundary lines & ground conditions including checking positions and new connections of all gas, electricity, water, drainage, and other services. If any services are found to be in the way of the proposed works, the contractor to liaise with the relevant authorities and obtain any necessary permissions before proceeding.
4. DPL are not responsible for builders changing design methods from proposed works. The client is responsible for ensuring that any changes to the design are agreed in writing with the architect/engineer before any work commences.
5. Owner is responsible for arranging suitable and adequate site access and ensuring that the site is suitable for building control or any other third party's instruction during building works.
6. Request a copy of the Party Wall Award where works affect party wall or involve excavations within 3 meters of adjoining buildings or building over a public sewer. (Clients responsibility)

7. Where works involve demolition to ensure that all elements of the building and adjoining structures are accounted for and that all necessary propping and temporary supports are in place. Do not scale off this drawing as the scaling may be off.
8. Works carried out under a building notice or prior to approval of drawings are at the contractor/owner's risk. (All DPL drawings must be approved before works commence) and the contractor/owner is responsible for ensuring that all necessary permissions are obtained from the relevant authorities.
9. Any discrepancies, either between written and site dimensions or between this drawing and other consultant's or supplier drawings, should be brought to the immediate attention of DPL before executing the structural, drainage, mechanical and electrical works. If the discrepancy is not brought to the attention of DPL, the contractor/owner, which is on site then this will need to be brought to DPL attention straight away before works commence and purchase of materials be made so an alternative design can be rectified and approved by building control or the engineer before works can commence.
10. All DPL structural drawings are subject to building regulations. If the contractor/owner is not satisfied with the design, they will need to be brought to the attention of the relevant authorities and approved by building control or the engineer before works can commence.
11. All work is to be carried out in accordance with the current building regulations and the existing foundation type and building control either a raft or piled foundation, this will need to be agreed by an engineer before any work commences. If the contractor/owner is not satisfied with the design, they will need to be brought to the attention of the relevant authorities and approved by building control or the engineer before works can commence.
12. All drawings connections is assumed & is subject for checking by builder, Thomas will & building control, if the contractor/owner is not satisfied with the design, they will need to be brought to the attention of the relevant authorities and approved by building control or the engineer before works can commence.

OTHER NOTES:
All new proposed roof and wall finishes on this drawing to match existing materials. All new proposed windows shown on this drawing which overlook other property's are designed to be non-opening and of obscure glazing. For a permitted development left design the former designed on this drawing is set back from the street by 200mm, this note is a confirmation that it is designed this way. All works to be carried out in accordance with the latest appropriate codes of practice and to comply with current building regulations.
No inspection of the underground drainage was not possible on survey. Contractor should check drainage runs and ensure they are in good condition. If the contractor/owner is not satisfied with the design, they will need to be brought to the attention of the relevant authorities and approved by building control or the engineer before works can commence.
THIS DRAWING, CONTENT INCLUDING NOTES IS BOND TO SIGNED AGREED CONTRACT BETWEEN CLIENT & DISCOUNT PLANS LTD

SITE ADDRESS
124 FALLING LANE,
WEST DRAYTON, MIDDLESEX, UB7 8AG

DRAWING TITLE
PROPOSED DRAWINGS

DRAWN AT HEAD OFFICE

DRAWN BY

SCALE AS SHOWN @ A3

03. MAY. 2023

DRAWING NO.

REVISION

DPL. 07.

www.discountplansltd.com