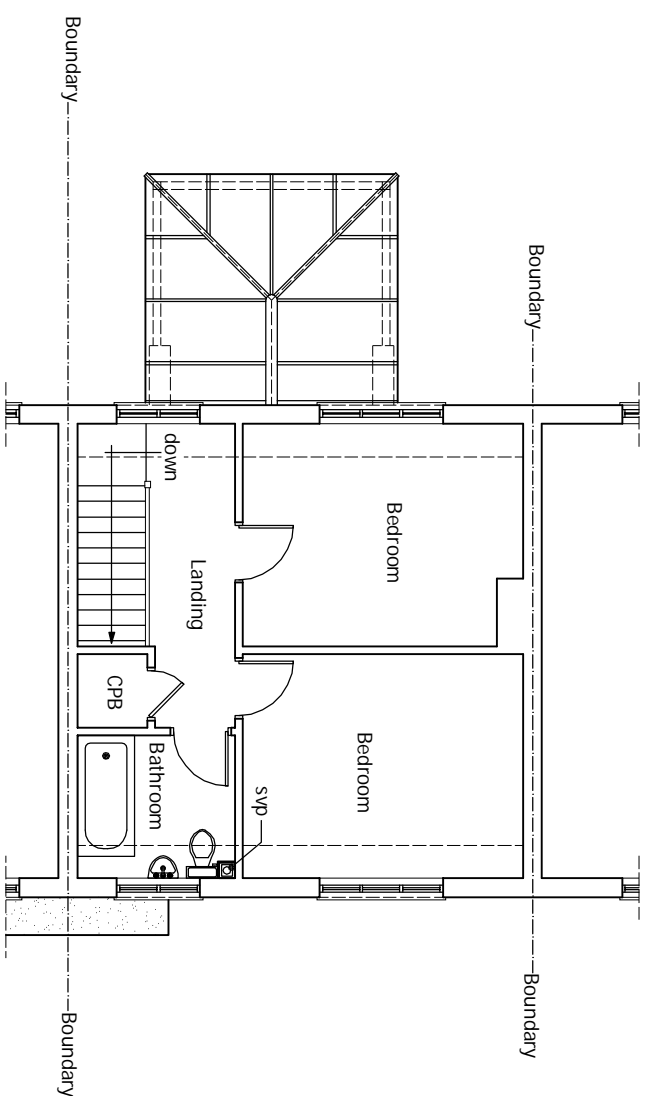
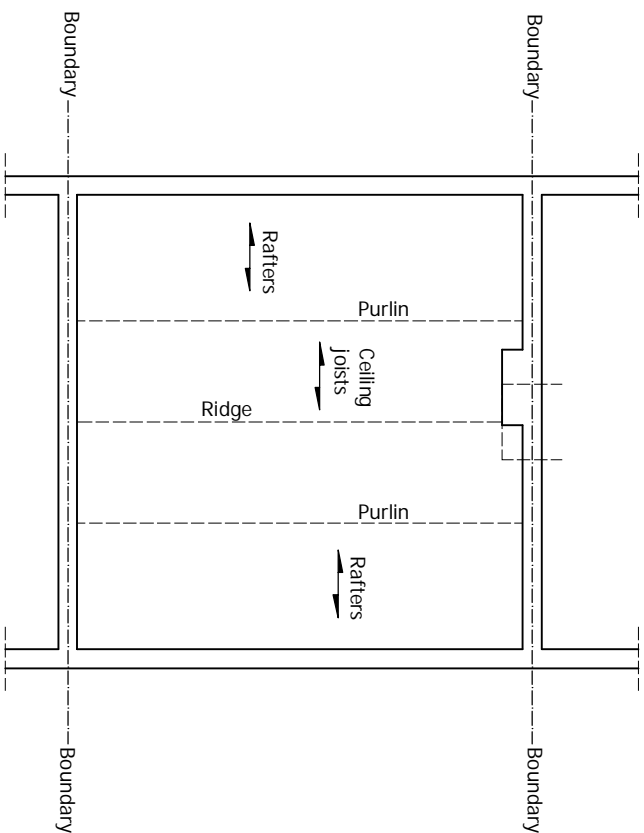


EXISTING GROUND FLOOR PLAN

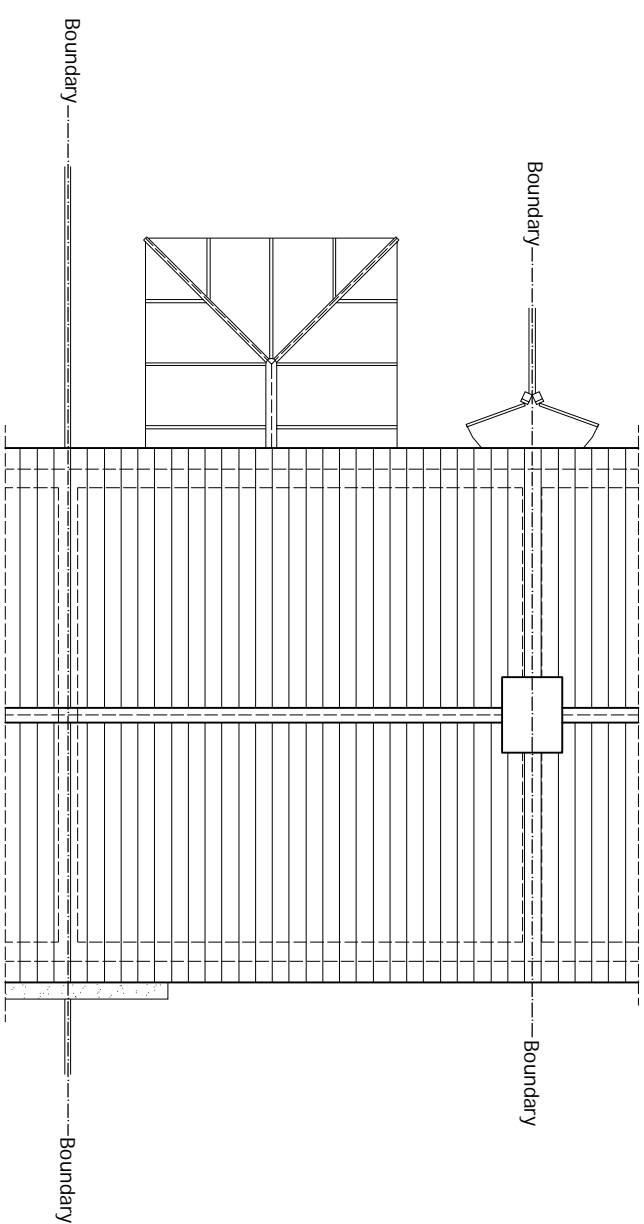
scale 1:100



scale 1:100



scale 1:100



scale 1:100

DRAWING STATUS		CONSTRUCTION	
REV.	DATE	NAME	DESCRIPTION

GENERAL NOTES: Any dimensions shown are indicative only and are subject to verification on site. The contractor to seek out, check and co-ordinate all dimensions on site during the course of the works and prior to setting out on site. This drawing is to be read in conjunction with all other contract's and Engineer's drawings. Structural Prior to commencement of building works the contractor or householder is responsible and should ensure that all working drawings and calculations are completed, approved by Building Control or Planning Department & that they are the current revised drawings before any works start on site. 2. Inform the Building control department that the works are about to commence on site after receiving

7. Where work involves demolition to ensure that all elements of the building and adjoining structures are accounted for and that all necessary propping and temporary works are in place, 'not to scale' of this drawing on the scaling may be of the order of 1:100.
8. Where carried out under a building notice or prior to approval of drawings one of the following must be included:
 - a. A statement that the building is to be demolished.
 - b. A statement that the building is to be demolished and replaced.
 - c. A statement that the building is to be demolished and replaced by a building of a different design.
9. Any discrepancies, either between written and site dimensions or between this drawing and other consultants's or suppliers drawings, should be brought to the immediate attention of the architect.

OTHER NOTES:

All new proposed roof and wall finishes on this drawing to match existing materials. All new proposed skylights shown on this drawing will be designed not protrude more than 150mm from the existing roof profile. All new proposed windows shown on this drawing will be designed not protrude over property's are designed to be non opening and obscure glazing. For a permitted development not design the dormer designed on this drawing as set back from the house by 200mm, this note is a confirmation that it designed this way. All windows to be carried out in accordance with all the appropriate codes of practice and to comply with current building regulations.

On inspection of the underground drainage was not possible on survey. Contractor should check drainage runs

SITE ADDRESS 124 FALLING LANE, WEST DRAYTON, MIDDLESEX, UB7 8AG
DRAWING TITLE

Architectural Design Studio

DPL

4 ST ANNES, DORIC WAY,
EUSTON, LONDON NW1 1LG
+44 07838 135 957

3. on approved condition from planning / writing for your proposed works;
4. verify boundary lines & ground conditions including checking positions and line connections of all gas, electricity, water, sewer, drainage, and other services crossing the boundary;
5. Owner is responsible for establishing one boundary line on the P.D., one not responsible for checking that ownership even if drawings have been approved by the planning and building control;
6. P.D. are not responsible for builders changing design methods from proposed works. The client is responsible for works being carried out on a building notice. No project should start without notice;
7. Owner is responsible for purchasing additional materials and covering extra engineering design costs by building control or any other third party's satisfaction during the building works requested;
8. Request a copy of the Party Wall Award where works affect party wall or involve excavations within 3 metres of adjoining buildings or building over a public sewer. (clients responsibility)

10. All of DPL structured designs are subject to footings being 1 m deep, if, however the existing foundation is different, a trial-pile will need to be dug to establish the actual foundation type and the design will need to be checked and modified. The use of cast-in-situ concrete piles will need to be designed by an engineer with an additional cost being implemented.

11. All walls which have been designed to be removed on piers are to be checked on site purchases of steel/a. If non-load bearing then steel's should not be ordered. No refund or claim can be given against DPL on the steel/a materials charged for these steel/a.

PRINT @ A3 SHEET SIZE

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THIS DRAWING CONTRACT INCLUDING NOTES IS BOUND TO SIGNED AGREED CONTRACT BETWEEN CLIENT & DISCOUNT PLANS LTD.

DRAWING NO.		REVISION
DPL. 01.		-
DRAWING BY		DATE
SCALE as shown		@ A3 03. MAY. 2023
DRAWN AT		HEAD OFFICE
www.discountplanstd.com		