

WALLS. Pebble dash and face brickwork to match existing
WINDOWS/ White Upvc to match existing / Alum. colour coated.
DOORS.

DRWG TITLE. PROPOSED ELEVATIONS 1 OF 2.
DRWG NO. 2023/11/08 (PLANNING).
DATE. NOVEMBER 2023.
SCALE 1/100 @ A3.

PROPOSED SINGLE STOREY REAR EXTENSION, EXTENDED GARAGE PARKING TO SIDE, NEW ENCLOSED ENTRANCE PORCH TO FRONT WITH EXTENDED PITCHED ROOF OVER SIDE GARAGE. EXISTING MAIN ROOF RETAINED. INTERNAL ALTERATIONS. AT NO. 24, HAWTHORN AVENUE, RUISLIP, LONDON, HA4 8SS.

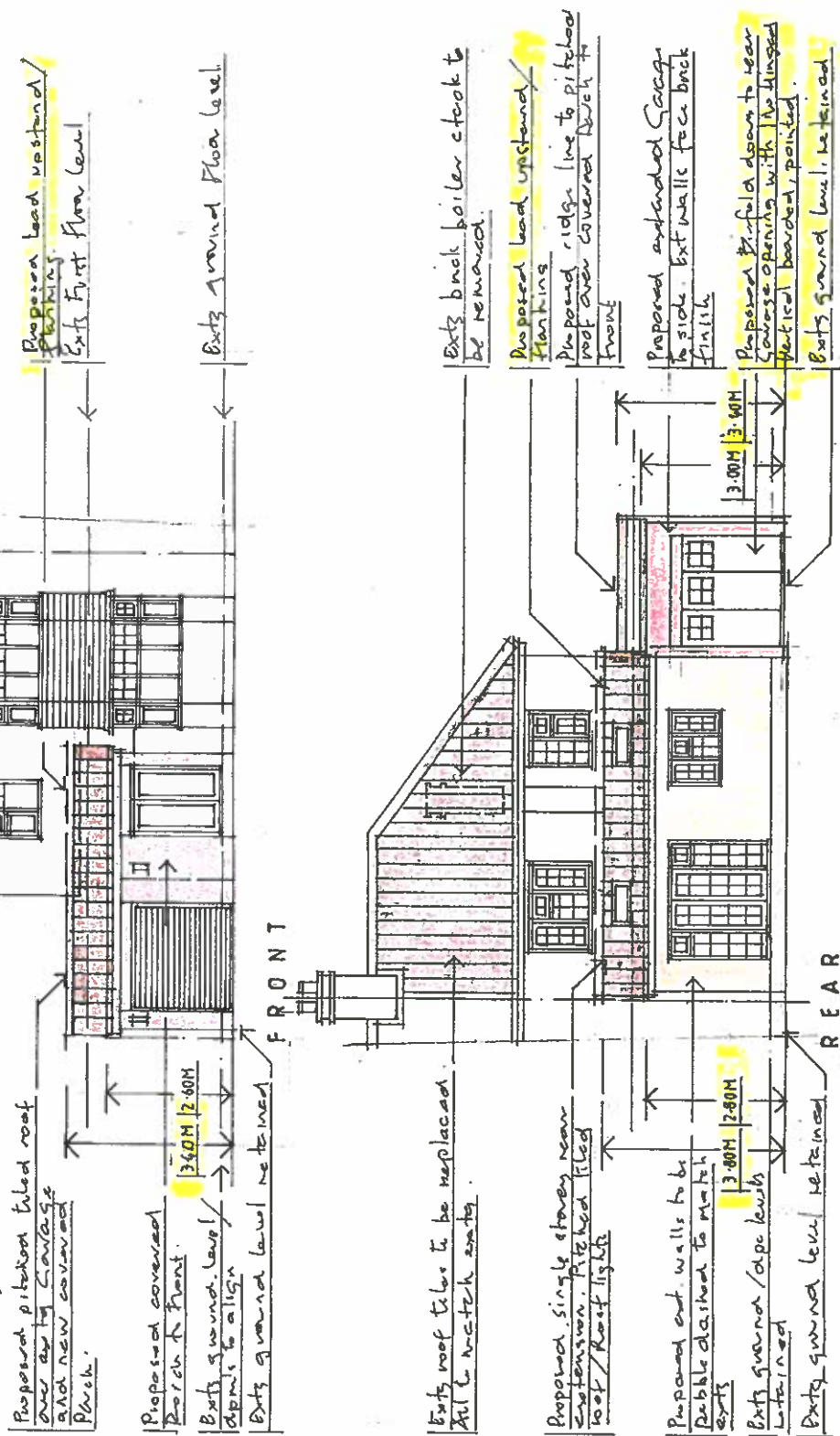
BUILDING DESIGN CONSULTANCY
Jack E Tyler. Telephone: 07968115261

Amendment

A. Height of proposed new single storey extension reduced to 3.0M (on eaves) height of pitched roof to front entrance porch and over garage reduced to 3.40M above existing ground level.

Garage entrance to rear altered to 3No. 2.1m high doors.

PROPOSED ELEVATIONS 1 OF 2



PROPOSED EXTERNAL MATERIALS / FINISHES TO EXTENSIONS ROOF.

Existing main roof re-tiled with concrete tiles. Concrete Tiles to front porch to match main roof.
New felted flat roof covering existing and extended Garage to side.

Glazed flat roof lights.

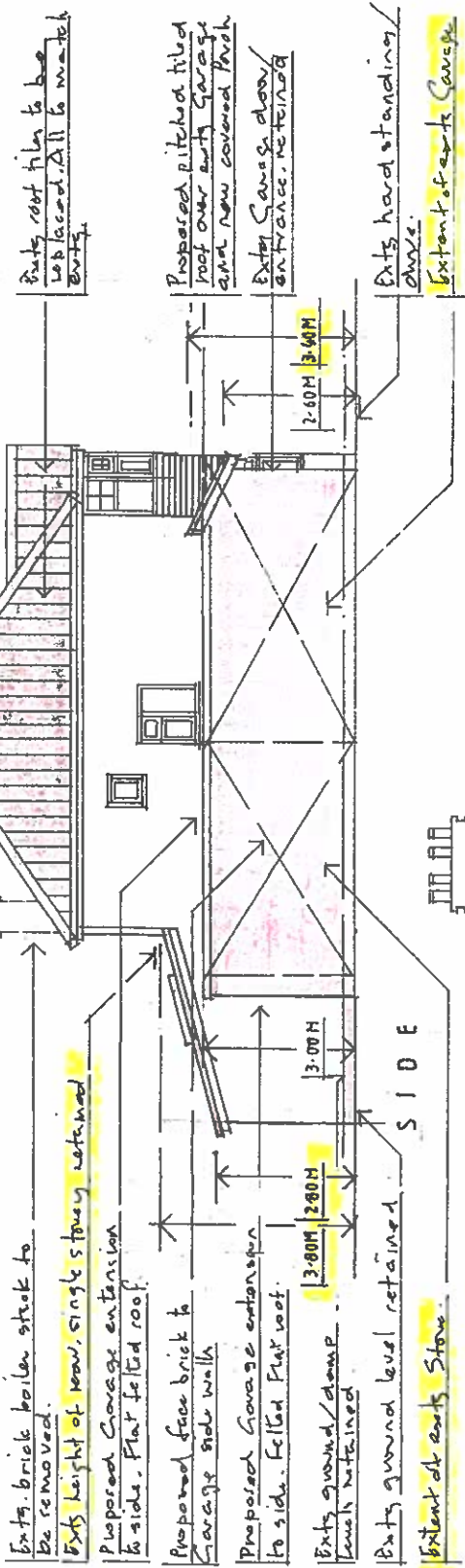
WALLS. Pebble dash and face brickwork to match existing

WINDOWS/ White UPVC to match existing/ Alum. colour coated.

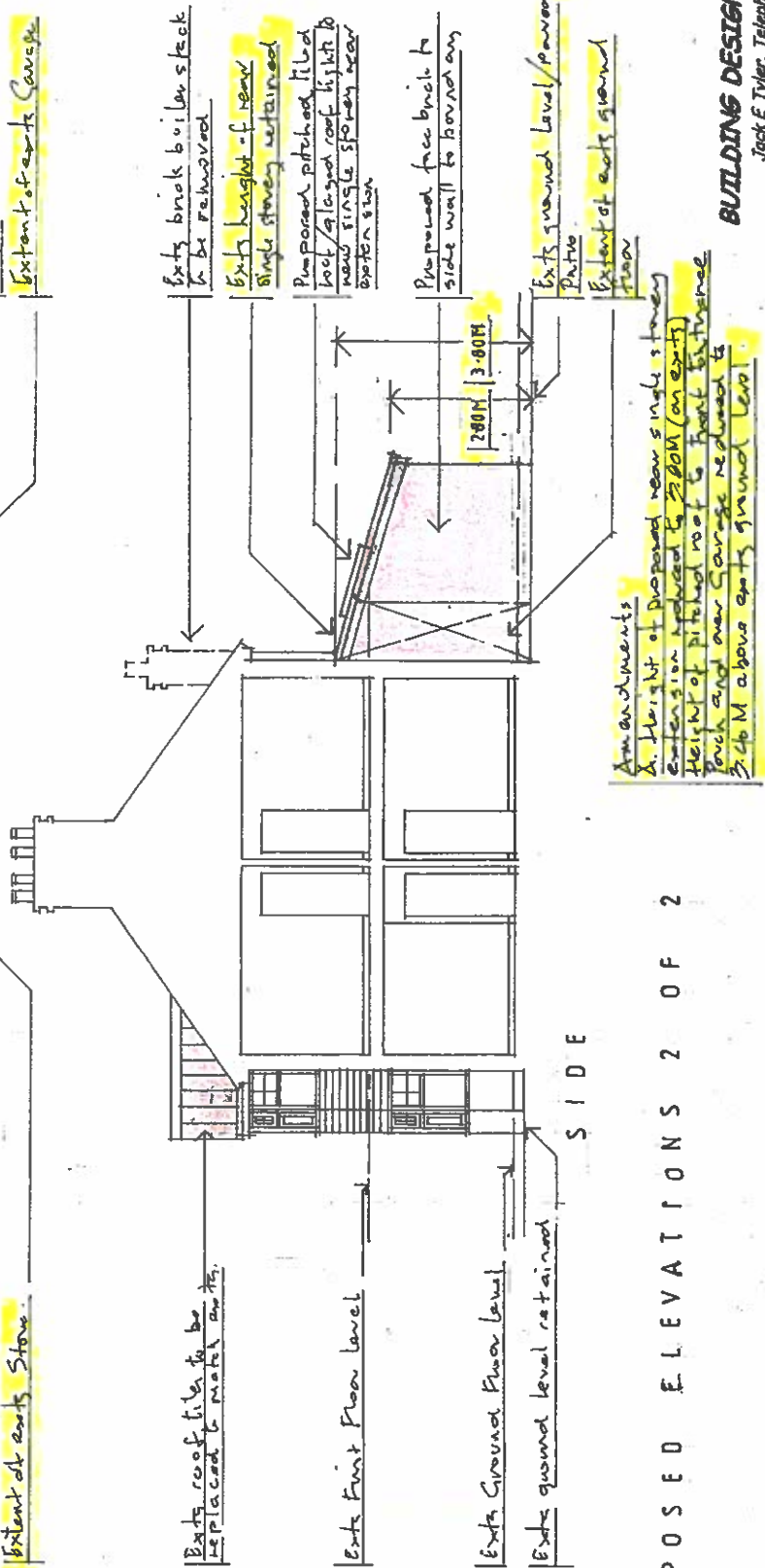
DOORS. N/A. All the above to the Local Planning Authority approval.



SCALE 1:100



SIDE



SIDE

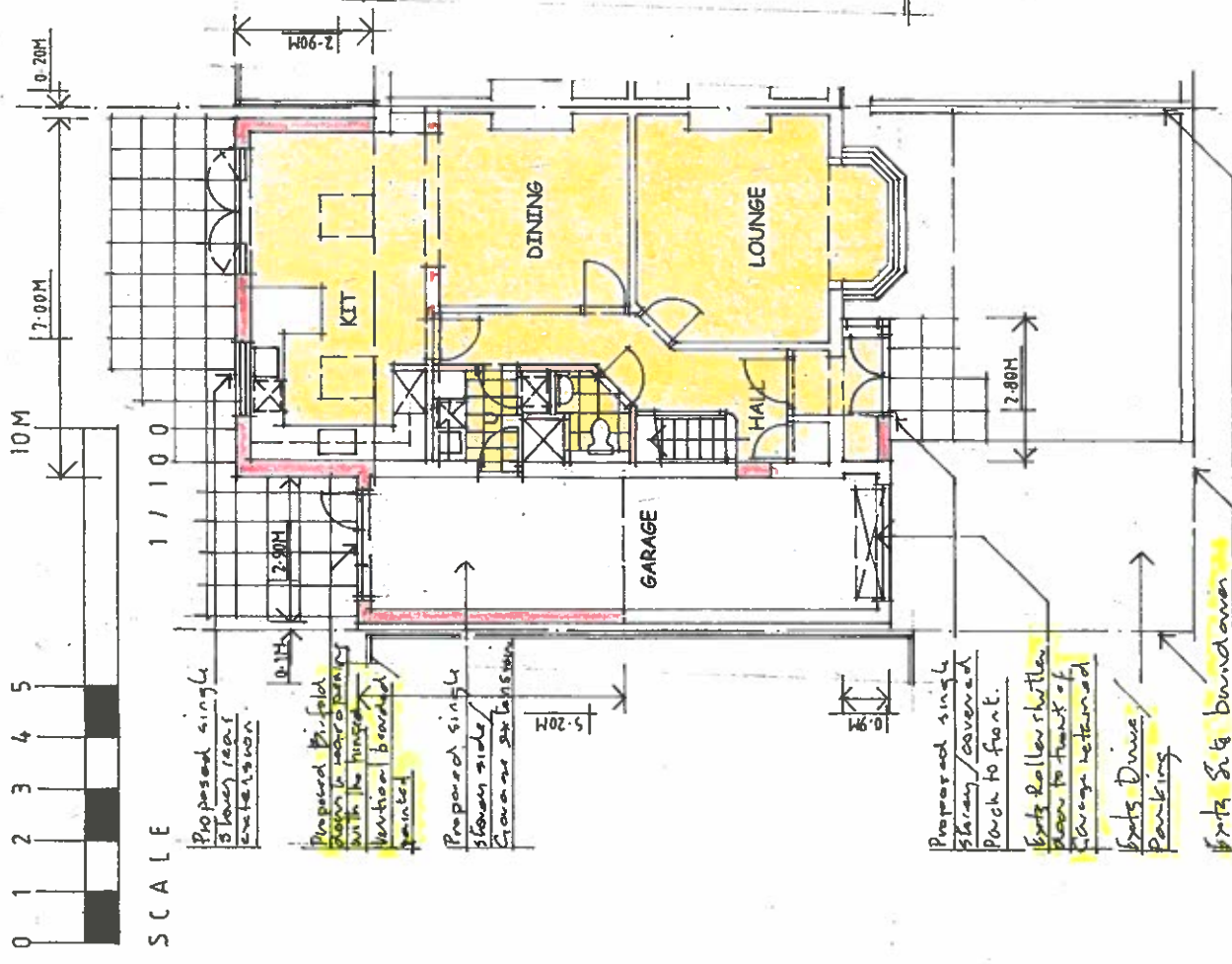
Amendments
1. Height of proposed new single storey extension reduced to 2.80M (an entry height of pitched roof to front entrance porch and new Garage reduced to 3.40M above entry ground level).

DRWG TITLE. PROPOSED ELEVATIONS 2 OF 2
DRWG NO. 2023/11/074 (PLANNING).
DATE. NOVEMBER 2023.
SCALE 1/100 @ A3.

PROJECT.
PROPOSED SINGLE STOREY REAR EXTENSION, EXTENDED GARAGE PARKING TO SIDE, NEW ENCLOSED ENTRANCE PORCH TO FRONT WITH EXTENDED PITCHED ROOF OVER SIDE GARAGE. EXISTING MAIN ROOF RE-TILED. INTERNAL ALTERATIONS. AT
NO. 24, HAWTHORN AVENUE, RUISLIP, LONDON. HA4 8SS.

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SCALE

1/100

Proposed single storey rear extension

Proposed brick fold down to rear of house with the timber boarding painted

Proposed single storey side garage extension

Proposed single storey/covered porch to front

Brick roller shutter door to front of garage returned

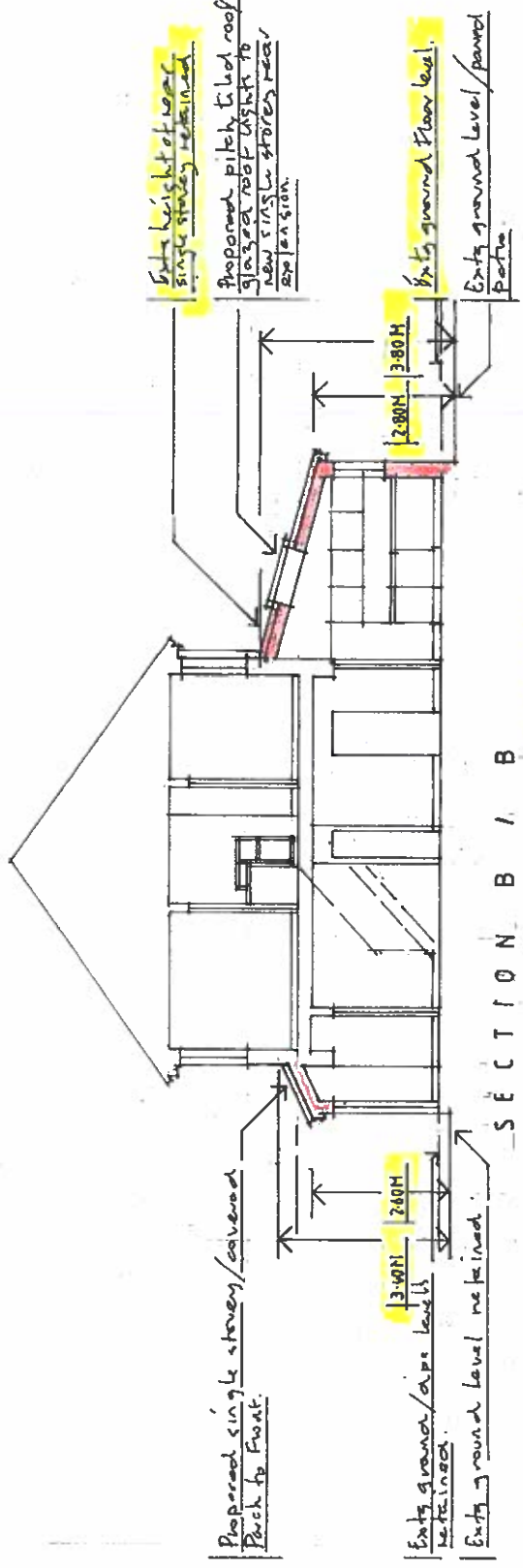
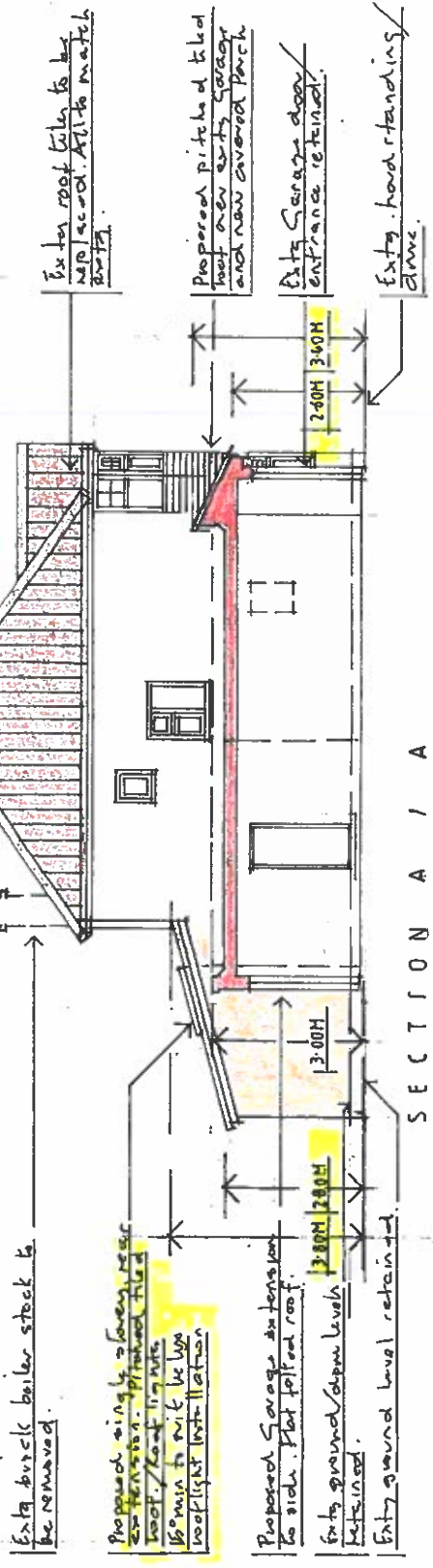
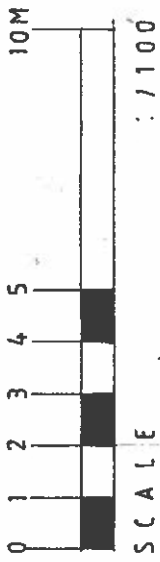
Brick Drive/Parking

Brick Site boundary

DRWG TITLE. PROPOSED FLOOR PLANS.
 DRWG NO. 2023/11/06 (PLANNING).
 DATE. NOVEMBER 2023.
 SCALE. 1/100 @ A3.

PROJECT.
 PROPOSED SINGLE STOREY REAR EXTENSION, EXTENDED GARAGE PARKING TO SIDE, NEW ENCLOSED ENTRANCE PORCH TO FRONT WITH EXTENDED PITCHED ROOF OVER SIDE GARAGE. EXISTING MAIN ROOF RE-TILED. INTERNAL ALTERATIONS. AT
 NO. 24, HAWTHORN AVENUE, RUISLIP, LONDON. HA4 8SS.

Amendments:
 A Proposed rear opening to Garage
 Change to 3 No. vertical boarded
 Br. folding doors with the hinges.



Amendments

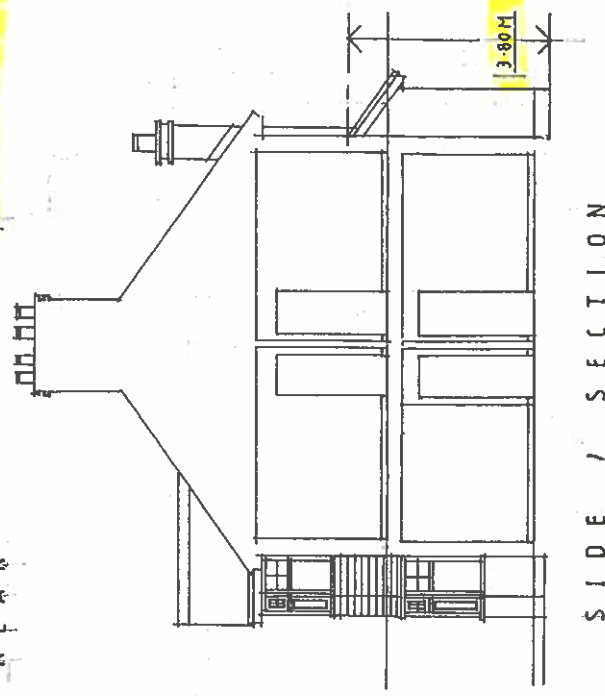
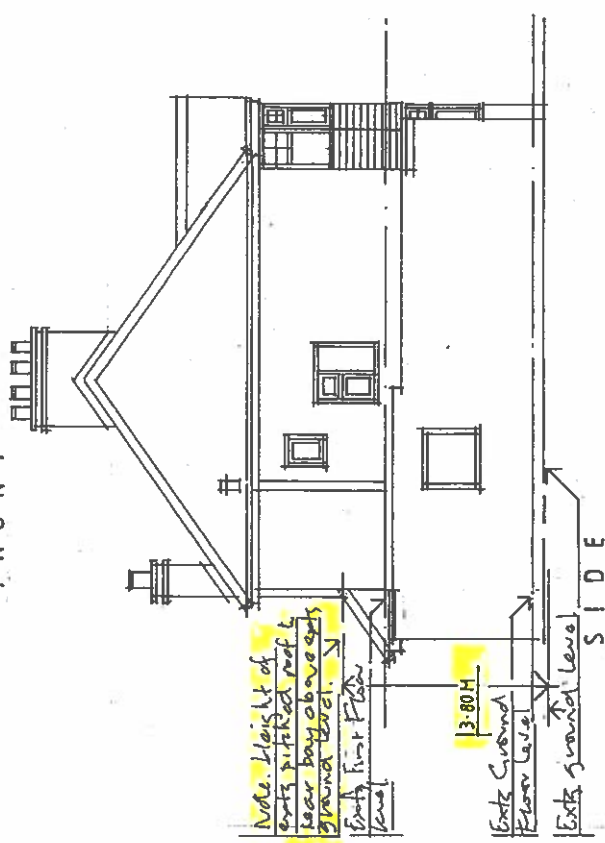
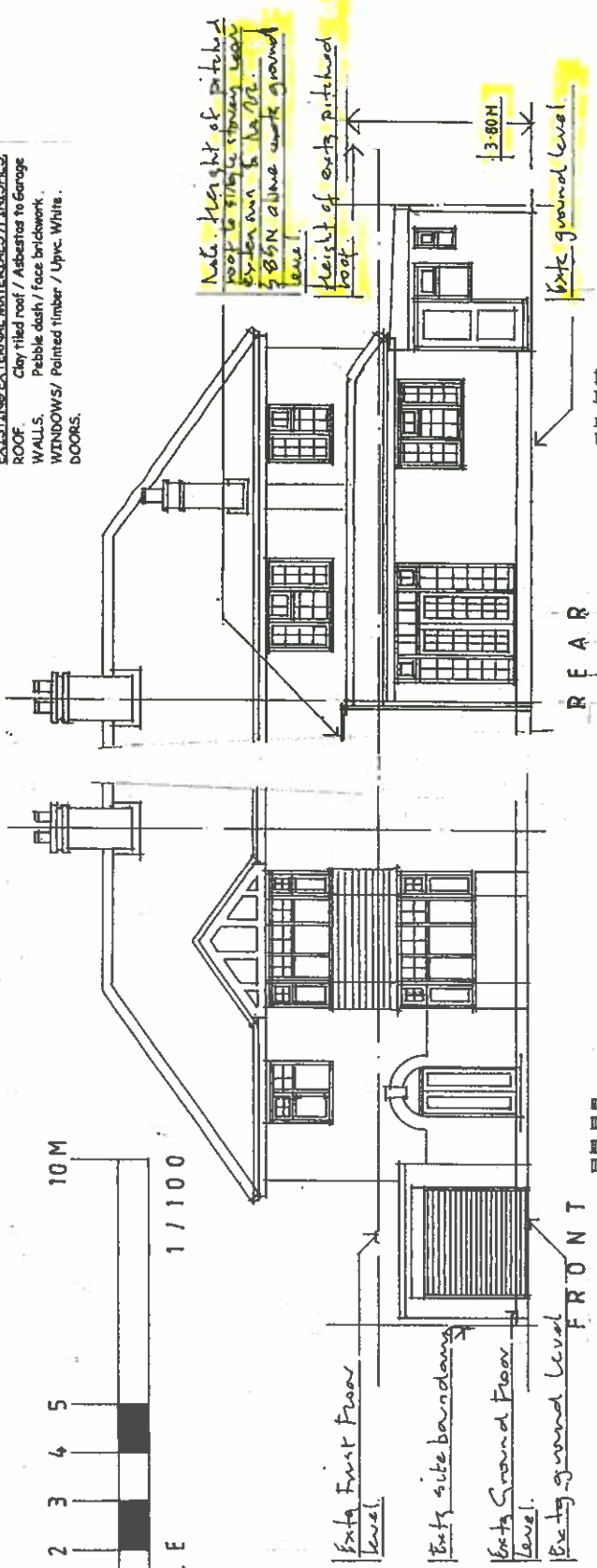
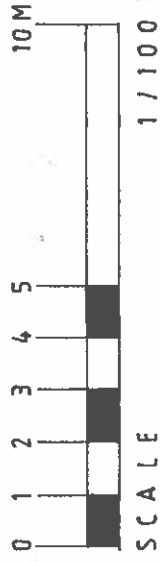
A. Height of proposed rear single storey extension reduced to 2.60M (an exst). Height of pitched roof to front entrance porch and over Garage reduced to 3.40M above extn ground level.

PROPOSED CROSS SECTIONS

PROJECT. PROPOSED SINGLE STOREY REAR EXTENSION, EXTENDED PORCH TO FRONT WITH EXTENDED PITCHED ROOF OVER SIDE GARAGE. EXISTING MAIN ROOF RE-TILED. INTERNAL ALTERATIONS. AT NO. 24, HAWTHORN AVENUE, RUISLIP, LONDON. HA4 8SS.

DRWG TITLE. PROPOSED CROSS SECTIONS.
 DRWG NO. 2023/11/04 (PLANNING).
 DATE. NOVEMBER 2023.
 SCALE. 1/100 @ A3.

EXISTING EXTERNAL MATERIALS / FINISHES
 ROOF: Clay tiled roof / Asbestos to Garage
 WALLS: Pebble dash / Face brickwork
 WINDOWS: Painted Timber / Upvc. White
 DOORS:



SIDE / SECTION

Amendments
 At Height of existing pitched roof to
 level at ground floor level, provided
 3.80 M above existing ground level.
 17 March '24

EXISTING ELEVATIONS

DRWG TITLE: EXISTING ELEVATIONS.
 DRWG NO. 2023/11/02 (PLANNING).
 DATE: NOVEMBER 2023.
 SCALE: 1/100 @ A3.

PROJECT:
 PROPOSED SINGLE STOREY REAR EXTENSION, EXTENDED
 GARAGE PARKING TO SIDE, NEW ENCLOSED ENTRANCE
 PORCH TO FRONT WITH EXTENDED PITCHED ROOF
 OVER SIDE GARAGE. EXISTING MAIN ROOF RE-TILED.
 INTERNAL ALTERATIONS. AT
 NO. 24, HAWTHORN AVENUE, RUISLIP, LONDON. HA4 8SS.