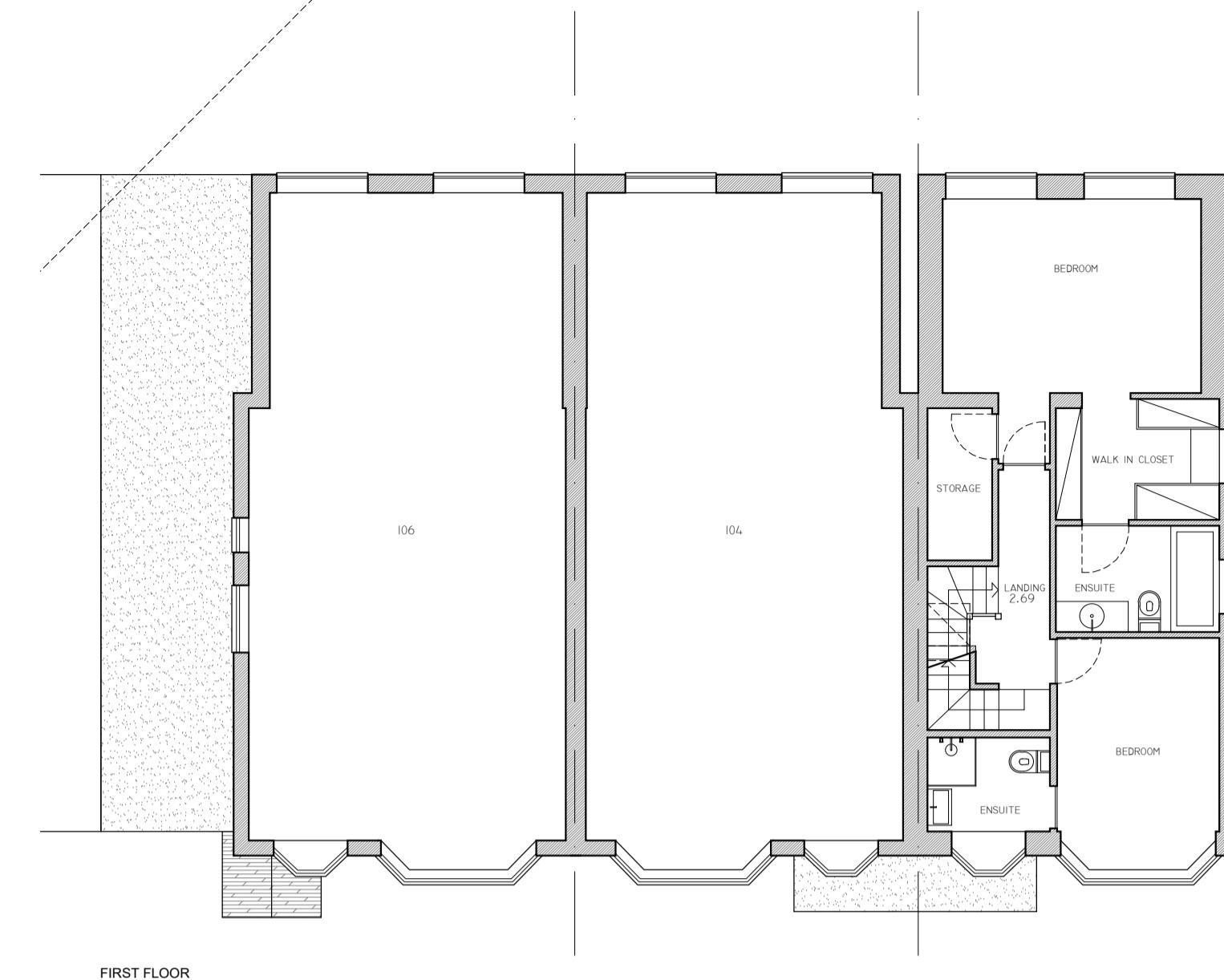
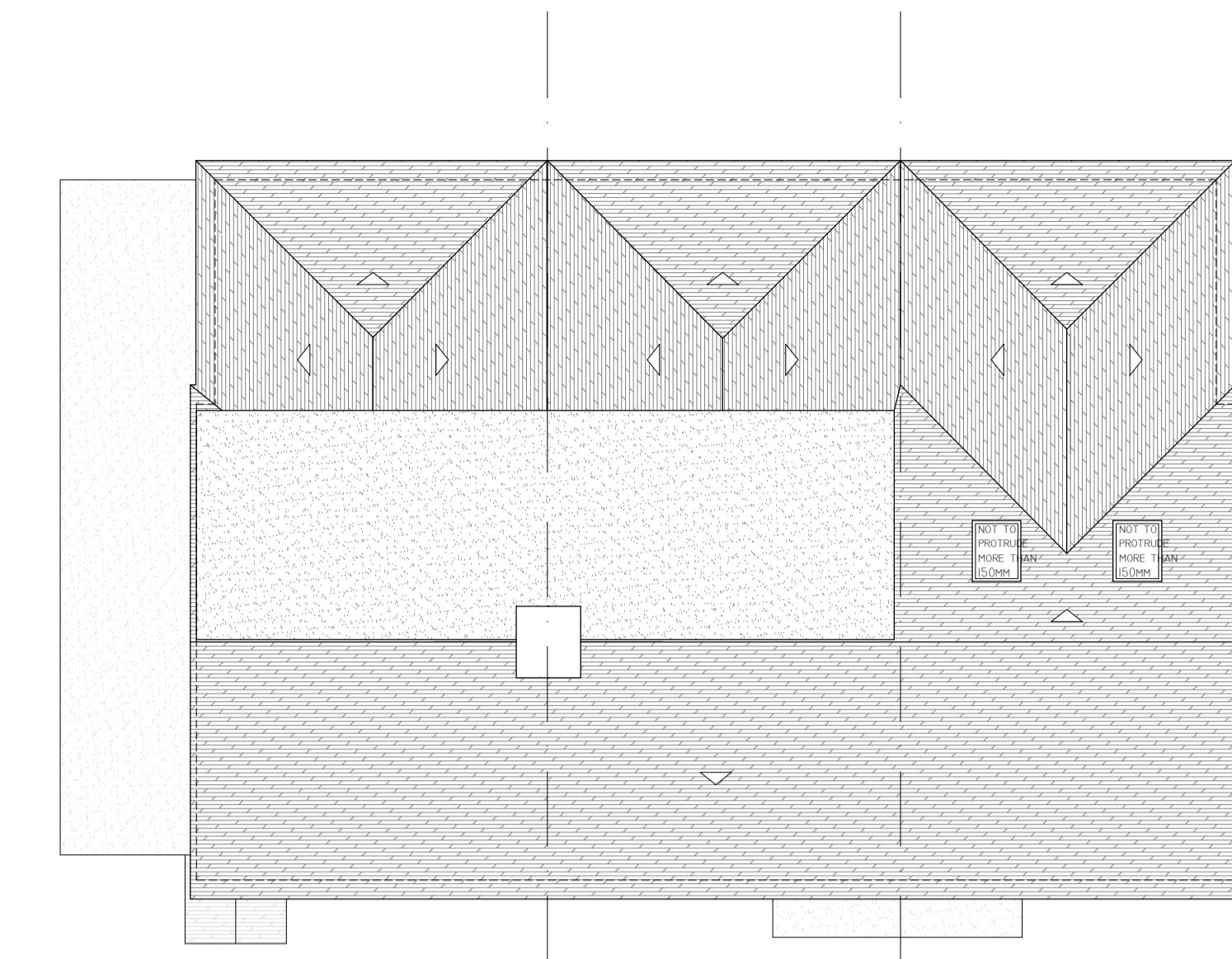


GROUND FLOOR



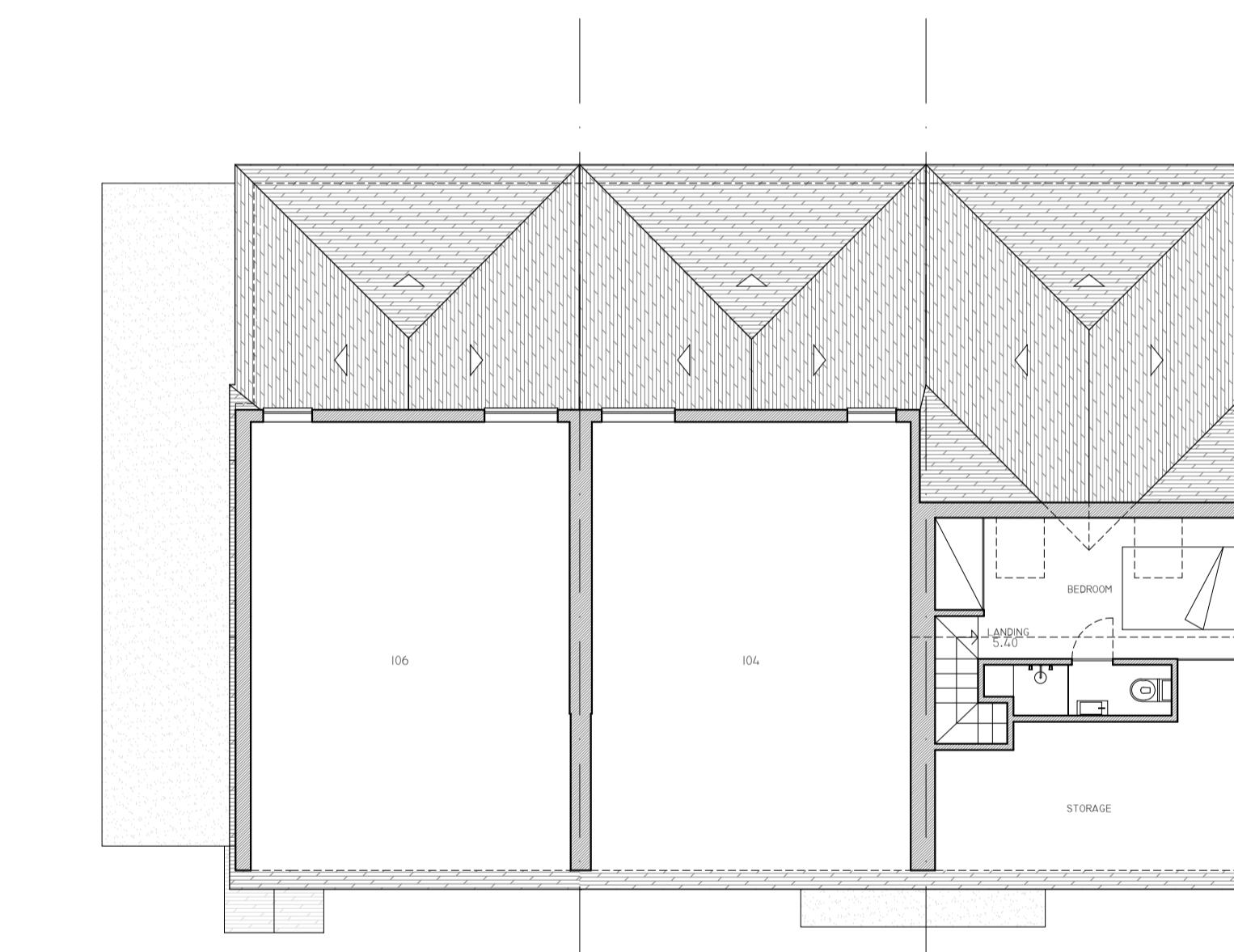
FIRST FLOOR



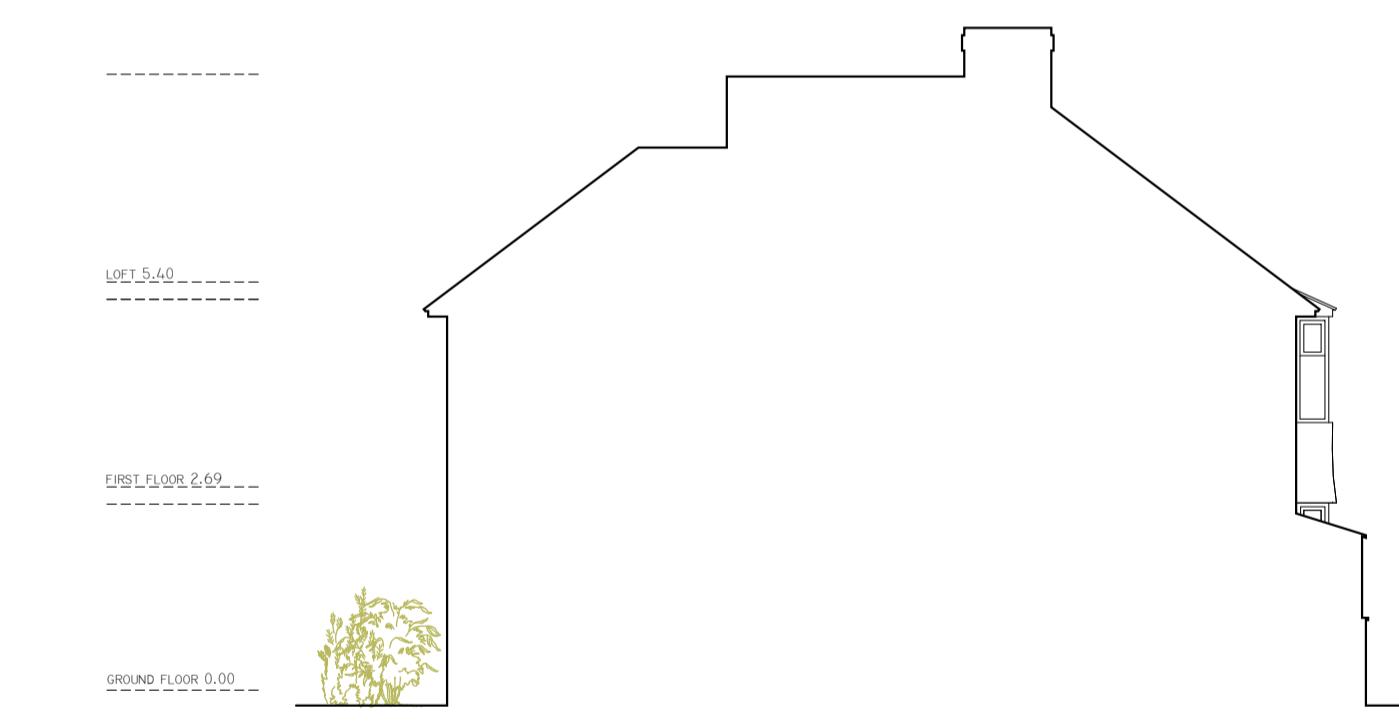
ROOF



RIGHT SIDE ELEVATION



LOFT



LEFT SIDE ELEVATION



FRONT ELEVATION



REAR ELEVATION

0 1 2 3 4 5 6 7 8 9 10 [m]

02



Our Ref. (IA 16)

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GENERAL NOTES:
 1. THIS DRAWING IS FOR STATUTORY PLANNING PURPOSES ONLY. DO NOT SCALE.
 2. NO PARTY WALL ACT
 The person proposing to do so under the requirements of the Party Wall Act 1996, has a duty to serve a Party Structure Notice on any adjoining owner if they propose to carry out works that will affect an adjoining Party Wall involves any of the following:
 - Support of beam
 - Removal of beam through wall
 - Raising a wall or cutting off projections
 - Insertion of head bearings
 - Demolition and rebuilding
 - Lateral movement
 Insertion of head bearings
 - Extension of 3 metres of an existing structure where the new foundations will go deeper than adjoining foundations, or within 6 metres of an existing foundation where the new foundations are within a 45 degree line of the adjoining foundation
 A Party Wall Agreement is to be in place prior to start of works on site.

TITLE: Erection of a 3-bedroom house including 1 x dropped kerb, cycle and bin storage and EV charging point
 PROJECT: PROPOSED PLANS AND ELEVATIONS
 CLIENT: Dijit Kaur

PLACE: Land adjacent to:
 104 & 106 Windsor Avenue
 Wycombe, Bucks HP11 1QX
 M1
 UB10 9BA
 CHARTERED ARCHITECTS
 Bassettbury Barn, Bassettbury Lane,
 High Wycombe, Bucks HP11 1QX
 Tel: 01296 442142
 alex@alexarchitects.co.uk
 www.alexarchitects.co.uk
 Alex D
 alex@alexarchitects.co.uk
 charteredarchitects.co.uk

SCALE: 1:100 @A1 DATE: July 2022

DRAWING No:

Our Ref. (IA 16)

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