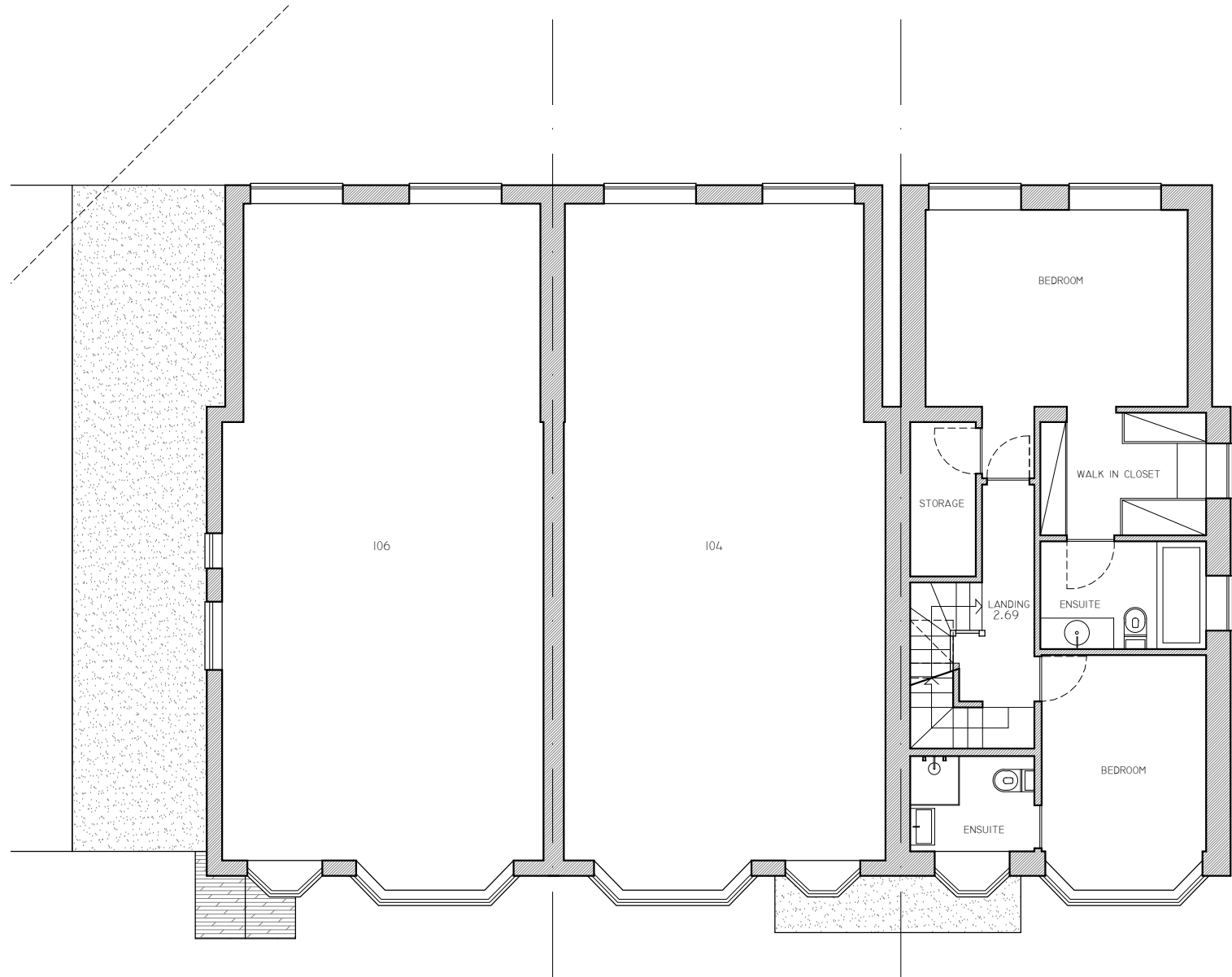
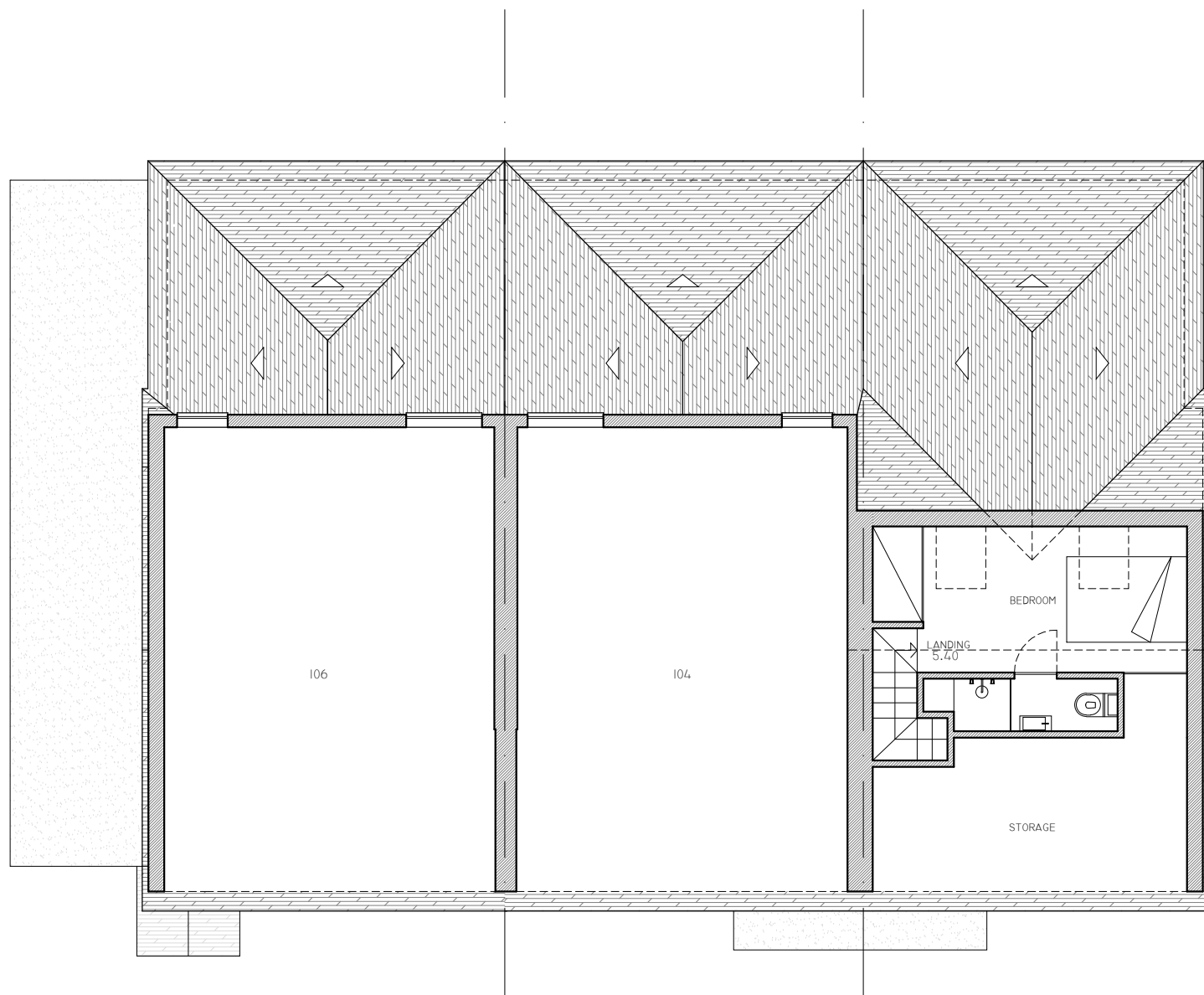


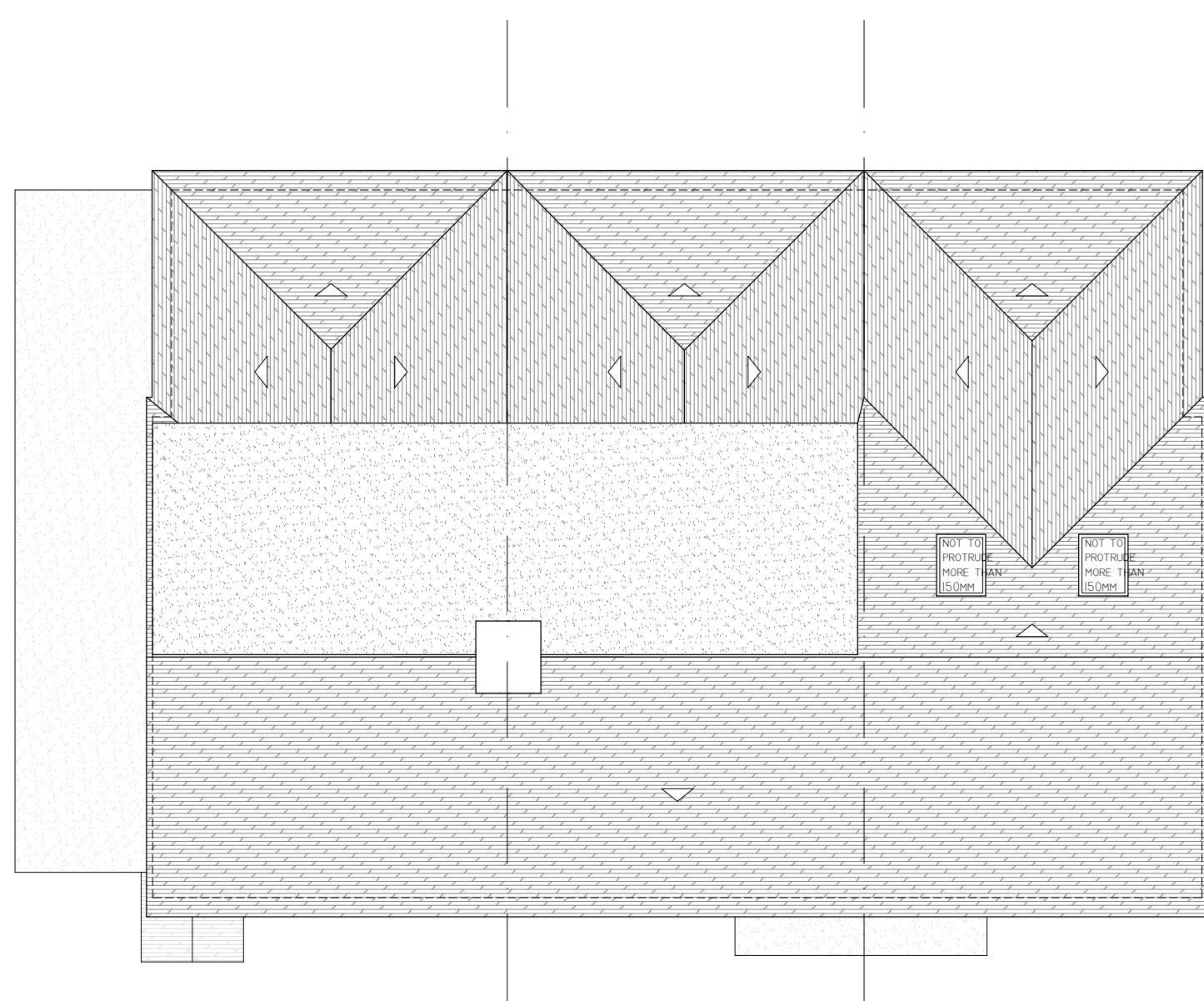
GROUND FLOOR



FIRST FLOOR



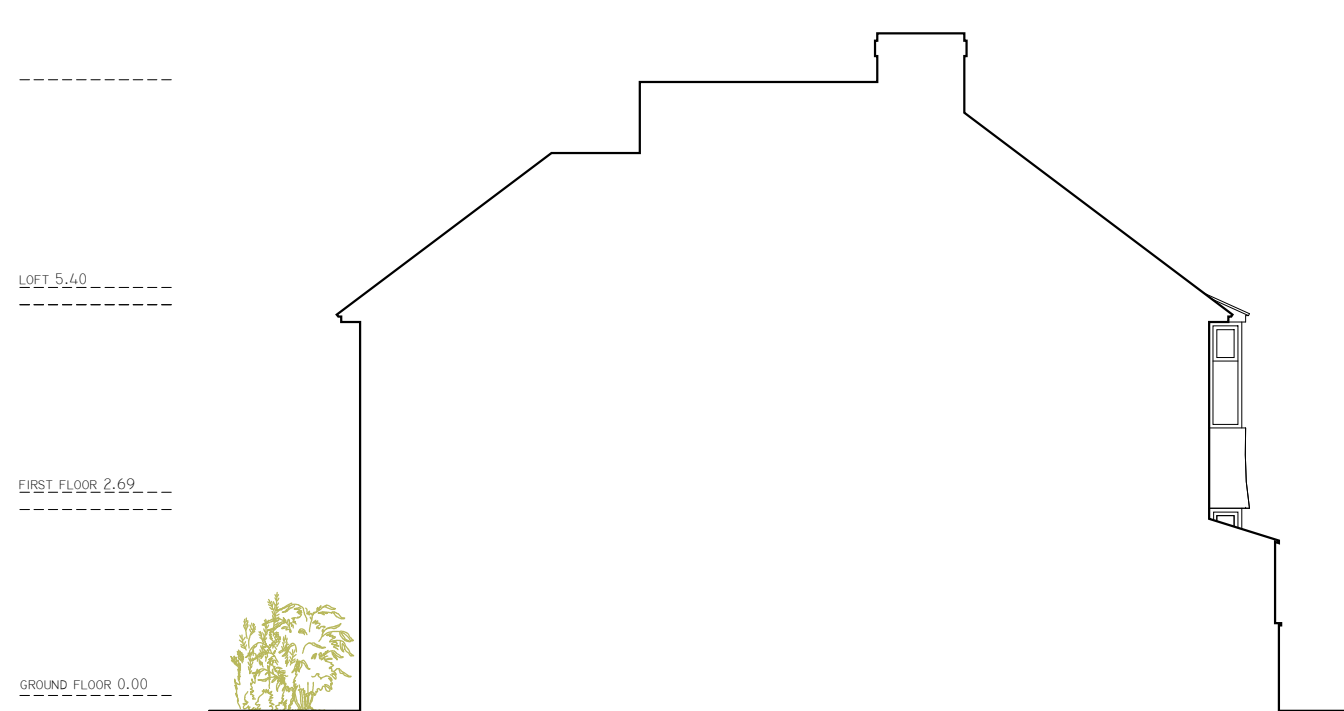
LOFT



ROOF



RIGHT SIDE ELEVATION



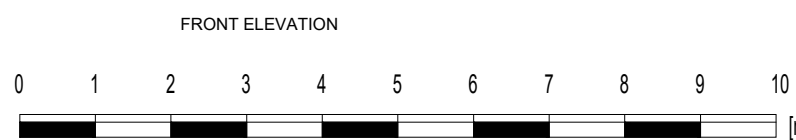
LEFT SIDE ELEVATION



FRONT ELEVATION



REAR ELEVATION



GENERAL NOTES:

1. THIS DRAWING IS FOR STATUTORY PLANNING PURPOSES ONLY. DO NOT SCALE.

2. PARTY WALL ACT

The owner, should they need to do so under the requirements of the Party Wall Act 1996, has a duty to serve a Party Structure Notice on any adjoining owner of building work on, to or near an existing Party Wall involves any of the following:

- Support of beam
- Insertion of GPC through wall
- Raising a wall or cutting off projections
- Demolition and rebuilding
- Underpinning
- Insertion of lead flashings
- Excavations within 3 metres of an existing structure where the new foundations will go deeper than adjoining foundations, or within 6 metres of an existing structure where the new foundations are within a 45 degree line of the adjoining foundations.

A Party Wall Agreement is to be in place prior to start of works on site.

TITLE: Erection of a 3-bedroom house including 1 x dropped kerb, cycle and bin storage and EV charging point

PROJECT:

PROPOSED PLANS AND ELEVATIONS

CLIENT:

Dilip Kaur

PLACE:

Land adjacent to:
104 & 106 Windsor Avenue
Uxbridge
Middlesex
UB10 9BA

CHARTERED ARCHITECTS
Bassettbury Barn, Bassettbury Lane,
High Wycombe, Bucks HP11 1DQ
M 0747592527 T 01494511421
alex@alexarchitects.co.uk
www.alexarchitects.co.uk

SCALE:

1:100 @A1

DATE:

July 2022

DRAWING No:

Our Ref: (IA 18)

NOTES:

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