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# **Design and Access Statement**

for

## **Proposed Conversion and Alterations**

at

**11 & 11A Glebe Road, Hayes UB3 2EA**

**BMD/1241**

**November 2025 (Rev A)**

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## Introduction

This document has been prepared as part of a Planning Application for the proposed conversion of the existing property at **11 & 11A Glebe Road** to 1 x 3-bedroom house and 1 x 1-bedroom house including formation of new porch and external alterations.



*Figure 1 – Site Location*

## Application Site

The application site is an end of terrace, corner property bounded by Glebe Road to the south and First Avenue to the west.

The property has previously been extended at the side and rear with a two-storey addition.

Since its construction this two-storey extension has been known as No. 11A and paying separate council tax.

However, the property has not been converted into two separate dwellings.

To the west of the site there is a large side garden area currently in use for parking.

## **Pre-application Advice Request**

A Pre-application Advice Request (Pre App) **Ref: 45132/PRC/2026/103** was submitted to the council to establish whether the proposed conversion of the existing property into a 3-bedroom house (11) and a 1-bedroom house (11A) would be considered acceptable in principle.

The pre-app advice received stated that the proposed conversion was on balance acceptable in principle, subject to compliance with relevant planning policies and the provision of additional information requested in the report.

The main points raised were as follows:

- 1. A Design and Access statement to justify how the proposals comply with the relevant parking standards.***
- 2. Details of the bike stores internal and external dimensions to demonstrate how the provision and design of the bike stores are in accordance with the London Plan and London Cycling Design Standards.***
- 3. Details of 1no. active 7Kw active EVCP for each dwellings parking space.***
- 4. A section drawing should be submitted showing the floor to ceiling height of both dwellings. This should be a minimum of 2.5m for 75% of the dwelling.***
- 5. Justification on the shape of the long / slender garden for the 3-bedroom house is to be provided as to why this is acceptable and a study assessing the proximity of the site to surrounding open spaces should be provided for further review.***
- 6. Full landscaping details will be required for the gardens.***
- 7. A comprehensive statement confirming how the site would meet the Biodiversity Net Gain criteria or meet the exemptions.***
- 8. A BRE Sunlight and Daylight report is required***
- 10. A Sustainability Statement is required.***

We shall address each of these points as part of this planning application.

## Design

The proposed development is for the conversion of the existing property into a 3-bedroom house (11) and a 1-bedroom house (11A) with associated parking and amenity space.

Both houses shall achieve the minimum internal floor areas as set out in the National Space Standards with 84.5 sqm for the 4-person 3-bed unit and 58 sqm for the 2-person 1-bed unit.

Number of bedrooms(b)	Number of bed spaces (persons)	1 storey dwellings	2 storey dwellings	3 storey dwellings	Built-in storage
1b	1p	39 (37) <sup>2</sup>			1.0
	2p	50	58		1.5
2b	3p	61	70		2.0
	4p	70	79		
3b	4p	74	84	90	2.5
	5p	86	93	99	
	6p	95	102	108	
4b	5p	90	97	103	3.0
	6p	99	106	112	
	7p	108	115	121	
	8p	117	124	130	
5b	6p	103	110	116	3.5
	7p	112	119	125	
	8p	121	128	134	
6b	7p	116	123	129	4.0
	8p	125	132	138	

Figure 2 – National Space Standards

No. 11 shall have built in storage of 7.5 sqm and 11A shall have built in storage of 2.7 sqm

The proposed double bedrooms in the properties exceed the minimum 11.5m<sup>2</sup> of floor area and 2.75m width and the single bedrooms exceed the minimum 7.5m<sup>2</sup> and 2.15m width.

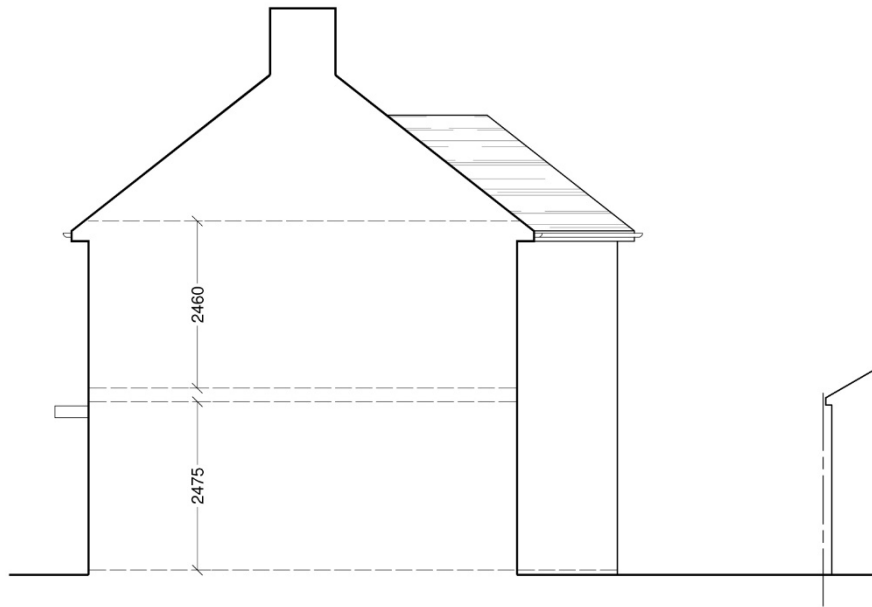
A small porch is proposed at the front of No. 11 which complies with permitted development regulations.

A new entrance door is proposed at the front of No.11A with new doors and windows on the west elevation facing into the amenity space for this property.

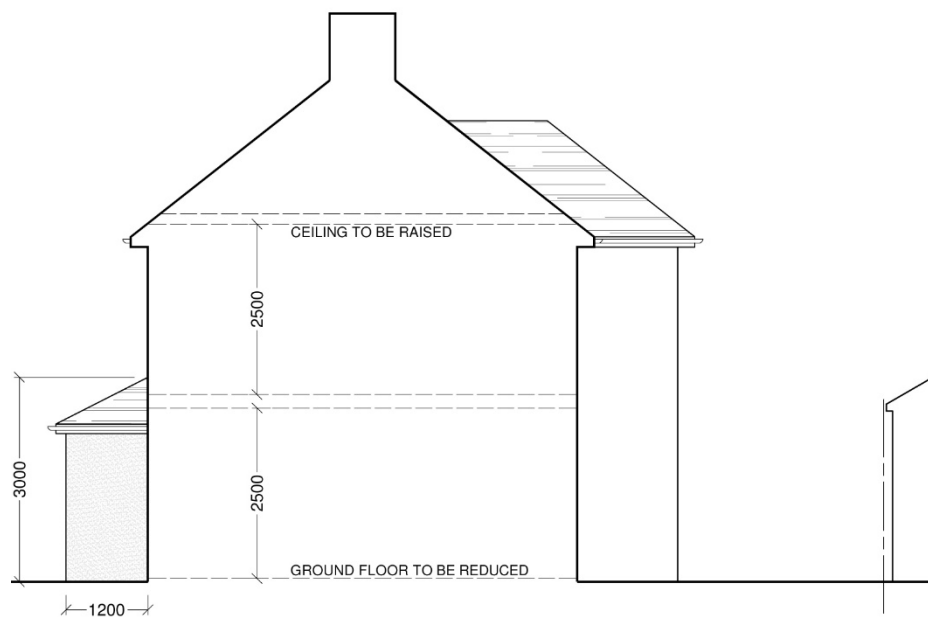
Part of the ground floor of No. 11A shall be located beneath the bedroom of No. 11. The new separating walls and ceilings shall be constructed in accordance with building regulations requirements in regard to acoustic and fire performance.

The pre-application advice received confirmed that the proposed design and alterations is acceptable and that the development complies with the relevant space standards.

## Internal Ceiling Heights



*Figure 3 – Existing Ceiling Heights*



*Figure 4 – Proposed Ceiling Heights*

As part of the proposed conversion works, the existing ground floor shall be lowered to slightly to achieve the required 2.5m ceiling height at ground floor level.

The first-floor ceilings shall also be raised slightly to achieve the required 2.5m ceiling height on this level.

## Planning Policy

### The Hillingdon Local Plan - Residential Conversions

*4.11 The conversion of single dwellings into more dwellings or the redevelopment of dwellings into new blocks of flats can enable more effective use of sites to be achieved. However, this type of development must seek to enhance the local character of the area. In recent years, large concentrations of flats have resulted in a range of problems, including increased on-street parking and resultant congestion on roads, the loss of front gardens, reductions in privacy, significant changes to the street scene, and loss of family accommodation.*

*4.12 Policy DMH 4: Residential Conversions and Redevelopment aims to address these issues by controlling the number of residential conversions and the size of the original residential units from which conversions are achieved. Policy DMH 5: Houses in Multiple Occupation specifically deals with the conversion of properties into Houses in Multiple Occupation, hostels and secure accommodation.*

#### **Policy DMH 4: Residential Conversions and Redevelopment**

**Residential conversions and the redevelopment of dwellings into new blocks of flats will only be permitted where:**

- i) it is on a residential street where the proposal will not result in more than 10% of properties being redeveloped into flats;**
- ii) On residential streets longer than 1km the proposed redevelopment site should be taken as the midpoint of a 1km length of road for assessment purposes;**
- iii) the internal floor area of the original building to be converted is at least 120 sqm; and**
- iv) units are limited to one unit per floor for residential conversions.**

The above planning policies refer mainly to the conversion of a single dwelling into flats and the need to protect the boroughs housing stock in particular smaller single, family houses.

The pre-application advice received confirmed that the proposed conversion to two separate units was acceptable in principle.

## Amenity Space

No. 11 shall have 91 sqm of private amenity space whilst No. 11A shall have 60 sqm accessed directly from the living areas of both properties.

The Pre-App report confirmed that 3-bed houses require a minimum of 60 sqm of garden space and 1-bed houses require 40 sqm.

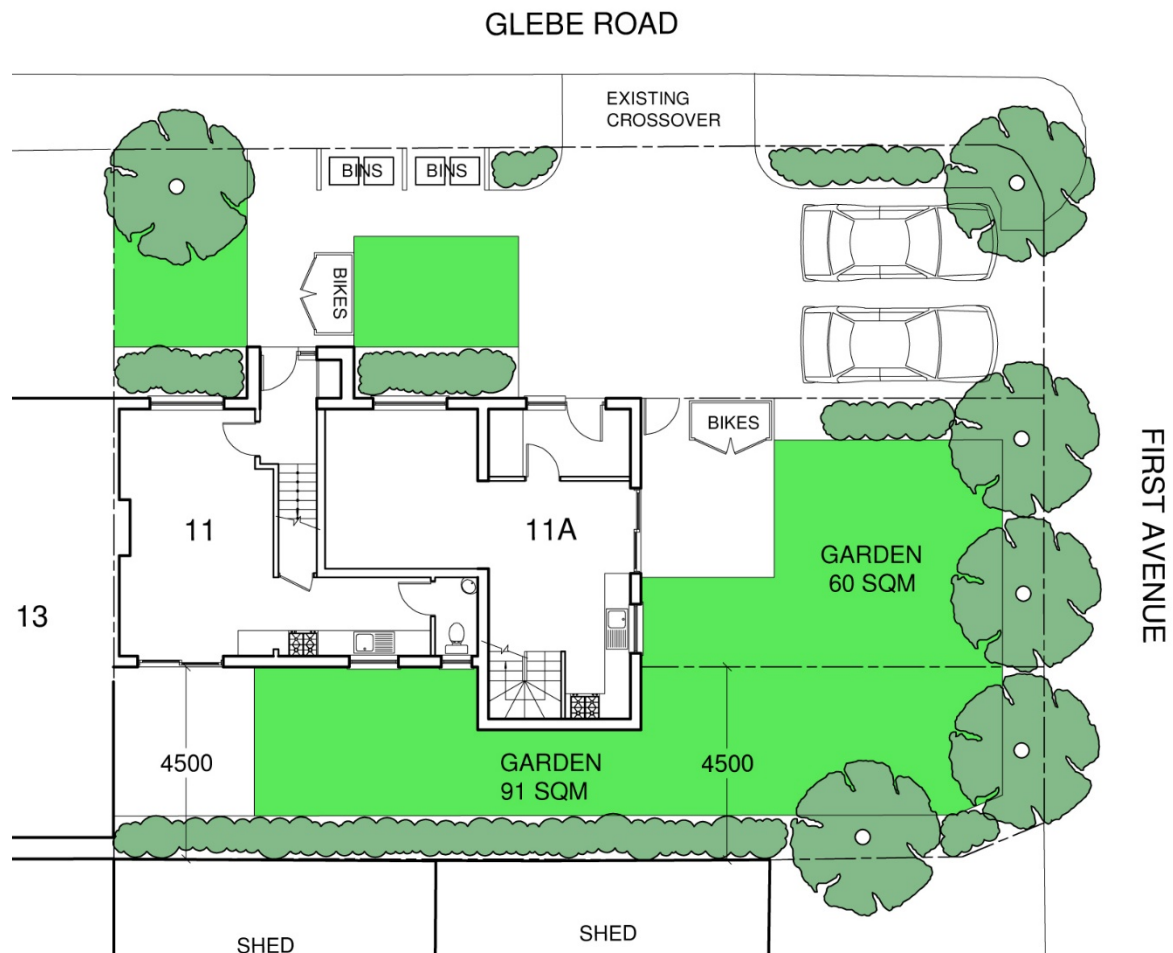


Figure 5 – Proposed Site Plan

As part of the pre-application advice report, garden for No. 11 was considered acceptable in terms of the amount of garden space provided however justification of the long, slender shape of the garden was required.

The existing garden depth at the rear of No. 11 is 4.5m and this depth has now been maintained for the entire width of the site by moving the new fence between the two gardens.

This will provide a private garden 4.5m wide by 21.8m long which is of proportions similar to many terraced gardens throughout the borough.



## Open Spaces Study



Figure 6 – Open Spaces Plan

The application site is also located within close proximity to a number of local public parks and leisure areas.

1. Botwell Green Leisure Centre and Playing Fields – 175m
2. Townfield Square – 355m
3. Lake Farm Country Park & Lake Gardens – 385m
4. Barra Hall Park – 750m

## Access

The pre-app report advised the following:

***The subdivision of this existing development would not be subjected to the provisions set out in London Plan Policy D7.  
There would be no accessibility concerns or requirements.***

A level access shall be provided across the site from the parking areas and into each of the properties via level thresholds.



## Vehicle Parking

The site has a PTAL rating of 3 which is considered to have average/moderate access to Public Transport.

According to the London Plan (Table 10.3) for outer London Areas with PTAL ratings 2-3 the following parking standards apply:

Dwellings with 1-2 bedrooms are permitted up to 0.75 parking spaces per unit  
Dwellings with 3+ bedrooms are permitted up to 1 parking space per unit

At the front of the property parking shall be provided for two cars, one for each dwelling to comply with council parking standards.

The Pre-App Report confirmed that 1 space per house as proposed would be considered acceptable.

Adjacent the parking spaces 1no. active 7Kw active EVCP shall be provided for each dwelling.

The proposed chargers shall be **BG SyncEV EVS7G-02 7.4kW WiFi & Smart EV Charger** or similar on mounting posts.



*Figure 7 – Charging Point and Mounting Post*

The existing vehicle crossover shall be retained and reused for vehicle access on to the site.

## Cycle Storage

Secure cycle stores for two bicycles shall be provided in the locations shown on the site plan with the following dimensions:

Length - 1825mm

Width - 825mm

Height - 1640mm



*Figure 8 – Bike Store*

## Waste Storage



*Figure 9 – Bin Store*

## Biodiversity Net Gain

We believe that the proposed development is below the threshold for Biodiversity net gain requirements for the following reasons.

The development does not impact a priority habitat and impacts less than:

- 25 square metres (5m by 5m) of on-site habitat
- 5 metres of on-site linear habitats such as hedgerows

The existing property currently has amenity areas consisting of areas of concrete hardstanding and areas of lawn.

The hardstanding areas cover 147sqm and the lawn covers 131sqm

There are no existing hedgerows or areas of planting on the site.



Figure 10 – Existing Site Plan

Following development, the hardstanding areas shall be reduced to 106sqm and the soft landscaping areas shall be increased to 168sqm

Soft landscaping shall cover 34% of the front garden with permeable paving for the driveway, patios and paths.

New trees and bushes shall be planted on the site to increase the Biodiversity as shown on the landscaping plan provided.

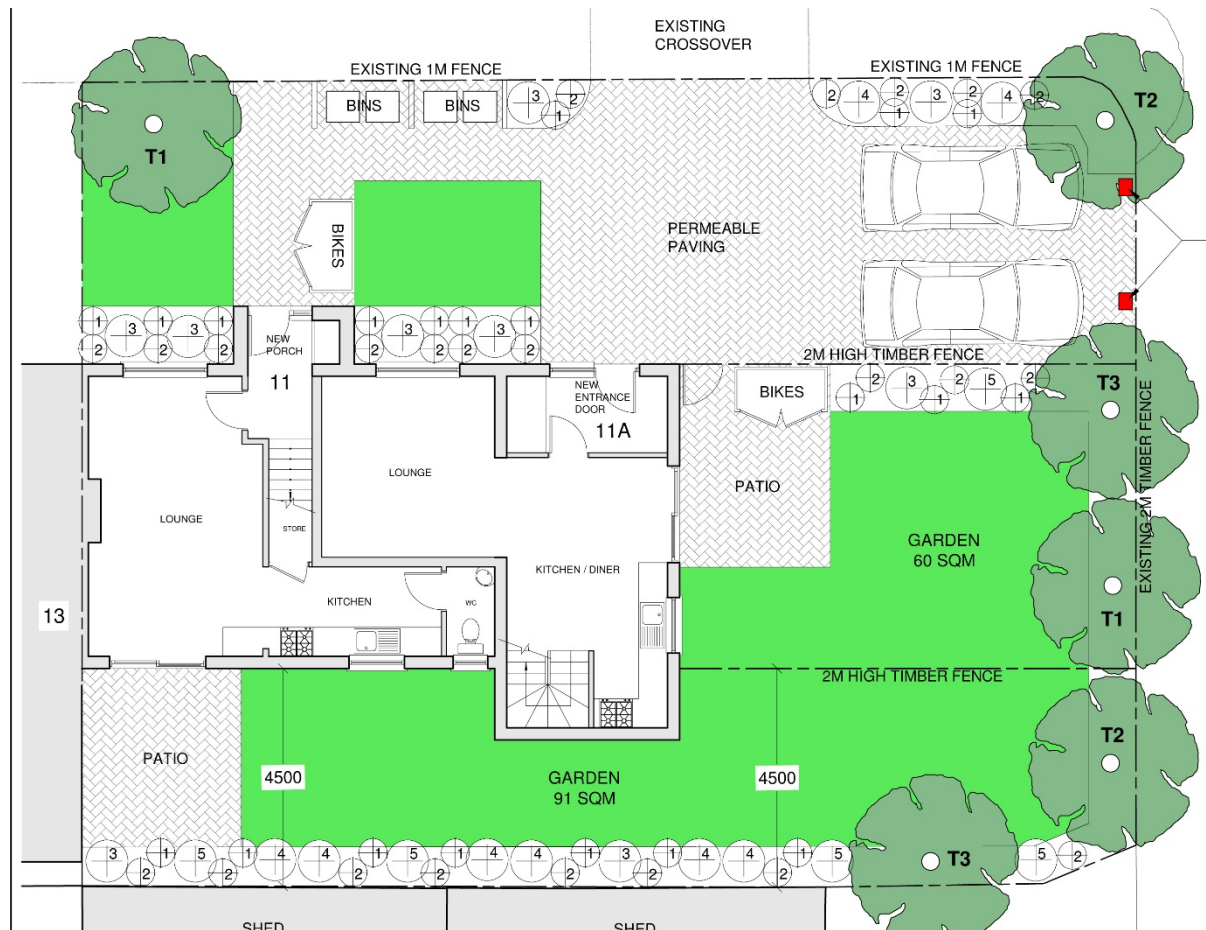


Figure 11 – Proposed Landscaping Plan

## Sustainability Statement

Discussions were had with the pre-app case officer to clarify if a Sustainability Statement would actually be required in this instance since not new build development.

They confirmed that a sustainability statement wouldn't be a validation requirement given this is a conversion of an existing dwelling.

**Rhian Thomas**  
From: rthomas2@hillingdon.gov.uk  
To: Bernard Murray  
Cc: 'Baljit Rai'  
Tue, 28 Oct at 16:59  
Hi Bernard,

Thank you for your email.

Correct, I would say a sustainability statement wouldn't be a validation requirement given this is a conversion of an existing dwelling.

Kind Regards,

**Rhian Thomas**  
Planning Officer  
Planning and Sustainable Growth  
Residents Services  
Hillingdon Council  
Civic Centre (3N/02)  
Tel: 01895 250230

**From:** Bernard Murray <burraydesign@yahoo.co.uk>  
**Sent:** 24 October 2025 14:28  
**To:** Rhian Thomas <RThomas2@hillingdon.gov.uk>  
**Cc:** 'Baljit Rai' <bsrai571@hotmail.com>  
**Subject:** Re: Planning Ack letter PRE-APP (PRC) (TSM) 45132/PRC/2025/103

Dear Rhian,

**BMD/1241**  
**11 Glebe Road, Hayes UB3 2EA**

We are in the process of preparing the planning application for the conversion of the existing property into two separate dwellings following receipt of your pre-app report.

We are addressing the different points highlighted and have the following query.

You mentioned in the report that a Sustainability Statement is required for the application. Looking at the requirements for Sustainability Statements they are usually only required for new build developments where the Sustainability can be implemented from the beginning of the design and construction process. Since this is the conversion of an existing building and not new build, will a Sustainability Statement actually be required?

Kind regards,

**Bernard Murray**  
DipArch BArchSc RIBA  
Bernard Murray Design Ltd - Chartered Architect  
13 Merryfields, Uxbridge UB8 2BT

*Figure 12 – Email Correspondence*

## Conclusion

The planning application should be considered favourably by the council for the following reasons:

- The pre-application advice received confirmed that the proposed conversion was on balance acceptable in principle.
- The proposed development makes effective use of an existing site and provides an additional residential dwelling in the borough.
- The property is already considered two dwellings from a council tax perspective.
- The proposed development achieves the minimum internal floor areas for the new houses as set out in the National Space Standards.
- There shall be no overlooking of neighbouring properties
- There shall be no overshadowing of neighbouring properties.
- There shall be no overdominance of neighbouring properties.
- Sufficient off-street parking shall be provided for the two dwellings.
- Secure cycle and bin stores shall be provided.
- There shall be no overdominance of neighbouring properties.
- Sufficient off-street parking shall be provided for the two dwellings.
- Secure cycle and bin stores shall be provided.
- The daylight & sunlight analysis carried out confirmed that the habitable rooms of both properties shall receive suitable levels of daylight and sunlight.
- Landscaping measures shall considerably increase the biodiversity of the existing site.



## Site Photos

