

- NOTE: Report all errors and omissions to the Architect. All dimensions to be checked on site before fabrication.
- Contractors must verify all dimensions on site before setting out, commencing work, or making any shop drawings.
- All dimensions must be checked on site
 - All setting out to be checked on site
 - All levels must be checked on site and their datum confirmed
 - This drawing must be read in conjunction with the relevant specification clauses
 - This drawing must not be used for land transfer purposes
- GENERAL NOTES:**
- All existing building fabric is indicative only & subject to on site investigations by Main Contractor;
 - All masonry & timber stud walls to have Ancon (or similar approved) head lateral restraints suitable for the wall construction as advise and installed by the manufacturer's guidance & recommendations;
 - Ceiling/ Upper Floor joists to be supported on heavy duty galvanised hangers (not built in);
 - All timber/ blockwork wall setting out dimensions taken to stud/ block face.
 - Base drawing 'magenta' referenced Twickenham Surveys topographic survey & measured building survey plans & elevations including (Dwg Ref 20157L.Sa) & Elevations (Dwg Ref 20157Ea) for setting out purposes. Main contractor is to bring any inconsistent geographic features etc to the Architect's attention prior to construction.

STRUCTURAL ENGINEER:

ALL FOUNDATIONS, FLOOR STRUCTURE, MASONRY WALLS, STEELWORKS, LINTELS & ROOFS TO STRUCTURAL ENGINEER'S DESIGN & SPECIFICATION. S/ENG TO ADVISE UPON ADDITIONAL LOADINGS TO EXISTING FLOORS AND TO DESIGN INFILL MASONRY WALLS/ FOUNDATIONS TO THE EXISTING PROPERTY.

This drawing is to be read in conjunction with all other consultant drawings & specifications.

MANUAL HANDLING



ALL WORK TO BE CARRIED OUT BY COMPETENT PERSONNEL ONLY WITH APPROPRIATE TRAINING & WEARING APPROPRIATE PERSONAL PROTECTIVE EQUIPMENT. ALL MANUAL HANDLING TO BE CARRIED OUT IN ACCORDANCE WITH HSE GUIDANCE DOCUMENT 'MANUAL HANDLING AT WORK' WITH MAXIMUM 20KG & 15KG FOR MEN & WOMEN RESPECTIVELY. ALL HIGH RISK ELEMENTS TO BE IDENTIFIED BY THE CONTRACTOR/ SUB-CONTRACTOR AND TO HAVE METHOD STATEMENTS IN PLACE AND AGREED WITH THE MAIN CONTRACTOR PRIOR TO UNDERTAKING ANY SITE WORKS.

T1	Apartments updated to M4(2) compliance	EP	27/02/2025	MAS
Revision	Description	Drawn	Date	Checked

Client's Name
JP&S Investment Limited

Job Title
152-154 Uxbridge Road, Hayes

Drawing Title
Proposed Ground Floor AD Part M Compliance Plan (BLOCK A)

Scale
As indicated @A1

Job No
1211

Drawing No
210-A

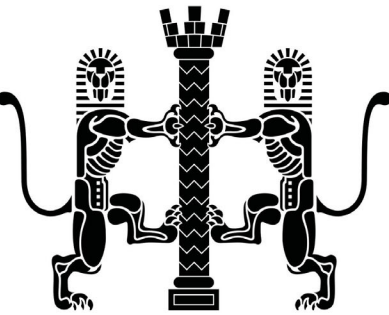
Status
TENDER INFORMATION

Rev
T1



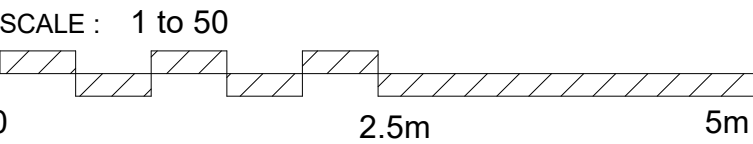
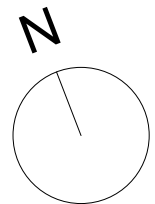
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LEGEND

- Movement Zone
- Accessible Threshold
- Part M compliant new staircase
- Movement Zone (WC/ Basin)
- AD M4(2) Accessible + adaptable dwellings



Note: This maybe a reduced sized print, check scales below