

# MICHAEL OAKES ARCHITECTS LTD.

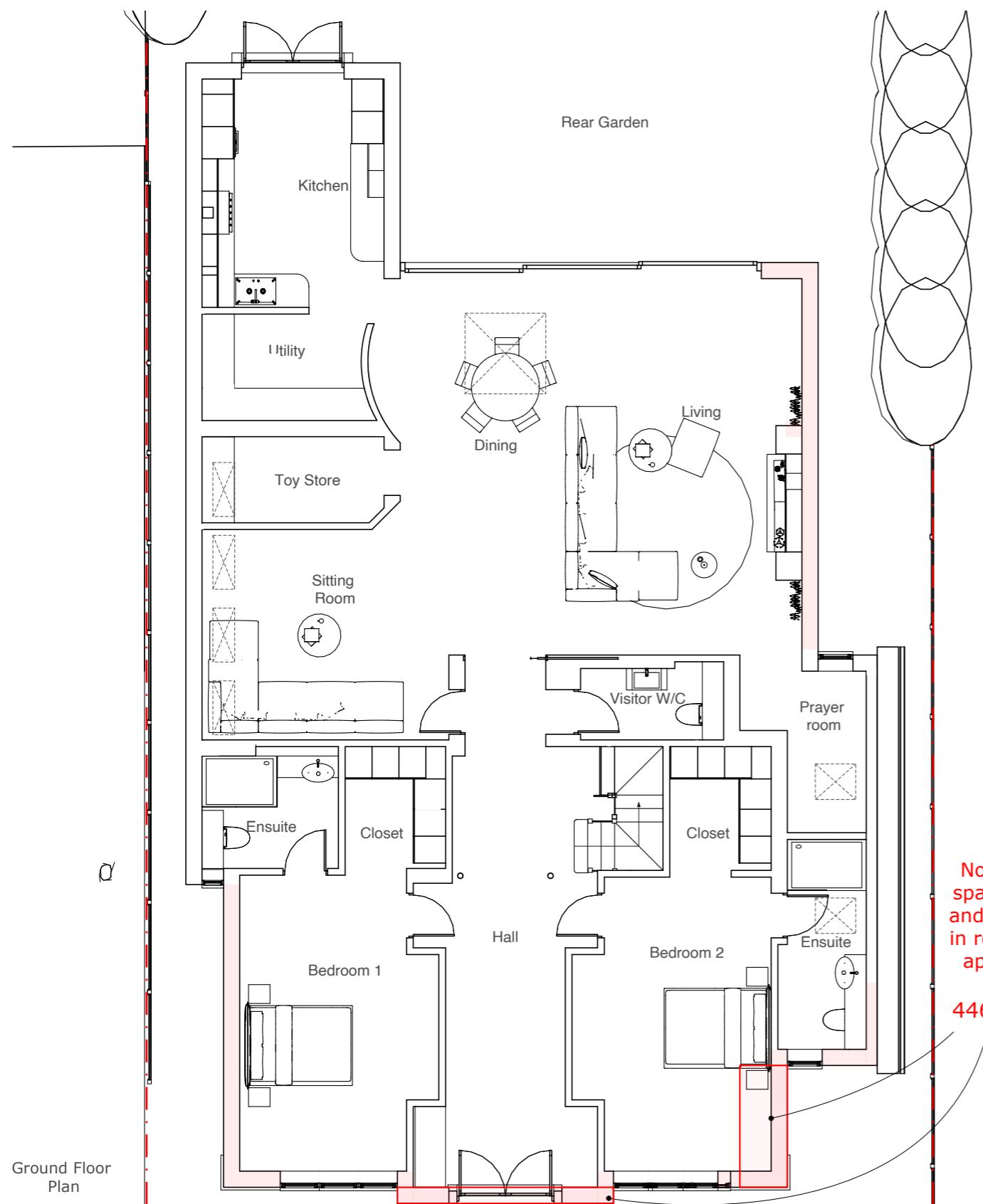
Michael Oakes (Director) B.A. Hons Arch, Dipl. Arch, Registered Architect

REGISTERED ARCHITECTS, DESIGNERS + ILLUSTRATORS

Telephone: 01895 235089 - E-mail: michaeloakesarchitect@googlemail.com

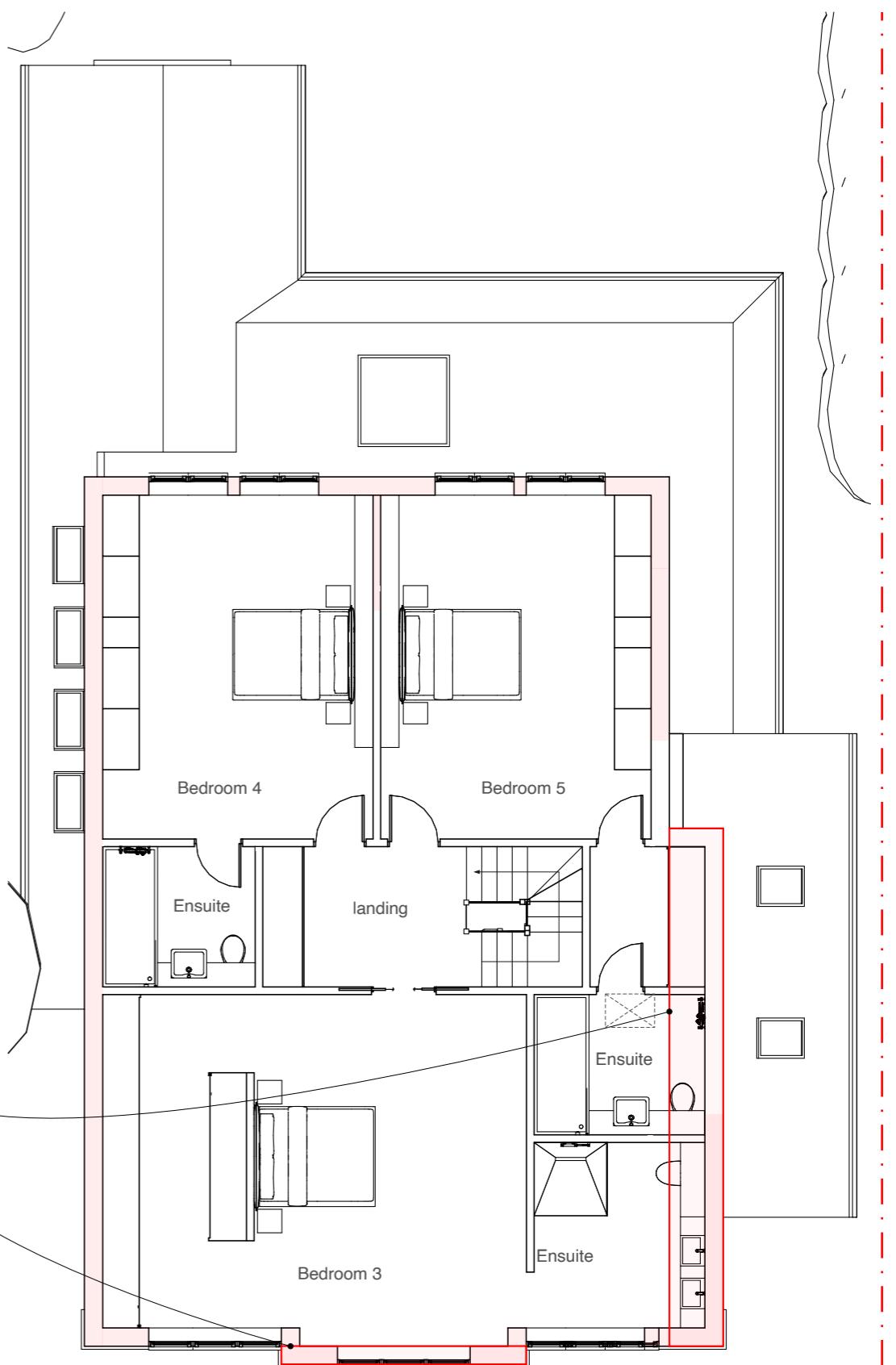
## KEY

 = Proposed structure



Note: Additional floor space added to ground and first floor proposals in relation to previously approved application  
REF: 44609/APP/2025/483

First Floor Plan



# MICHAEL OAKES ARCHITECTS LTD.

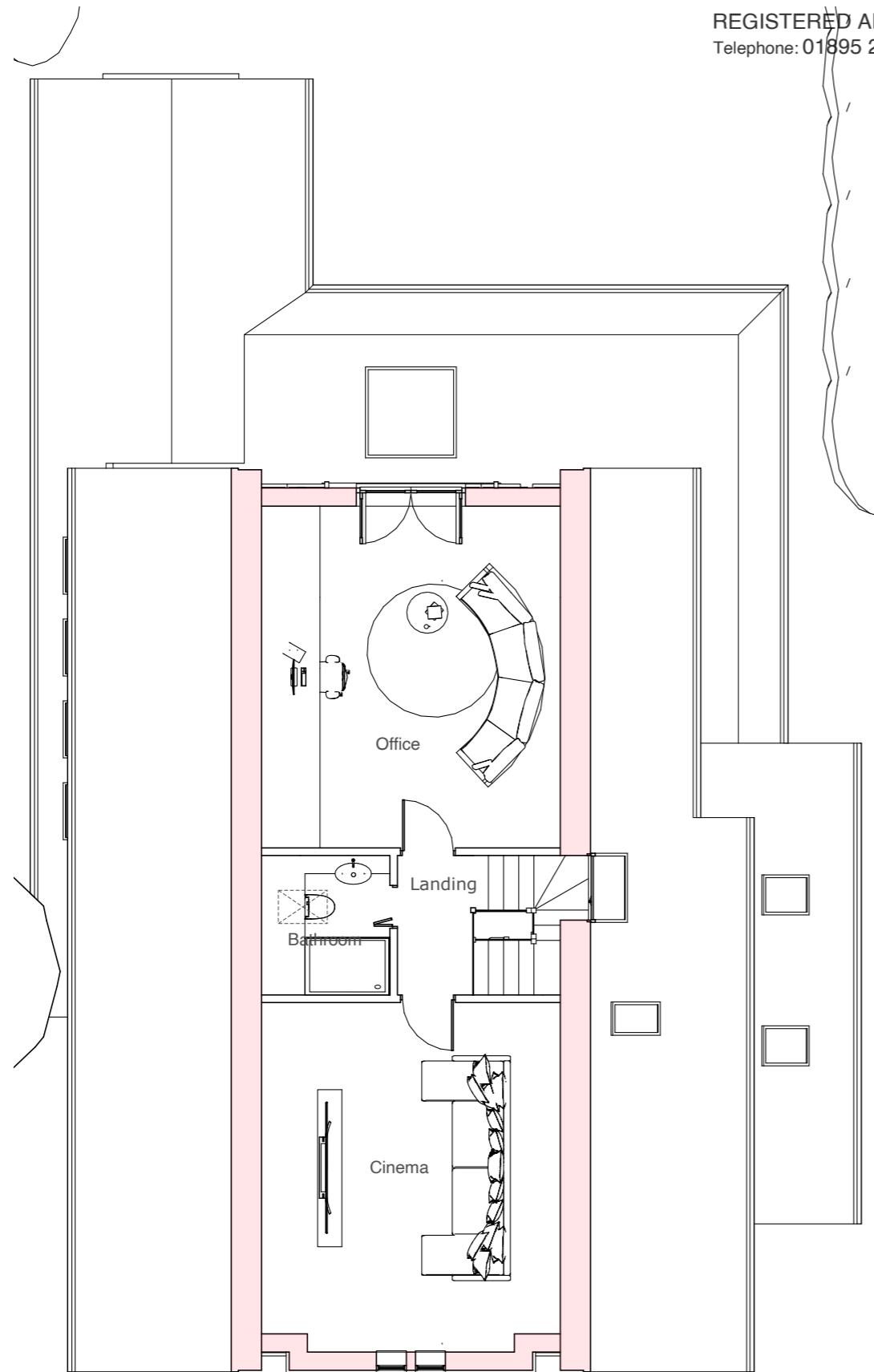
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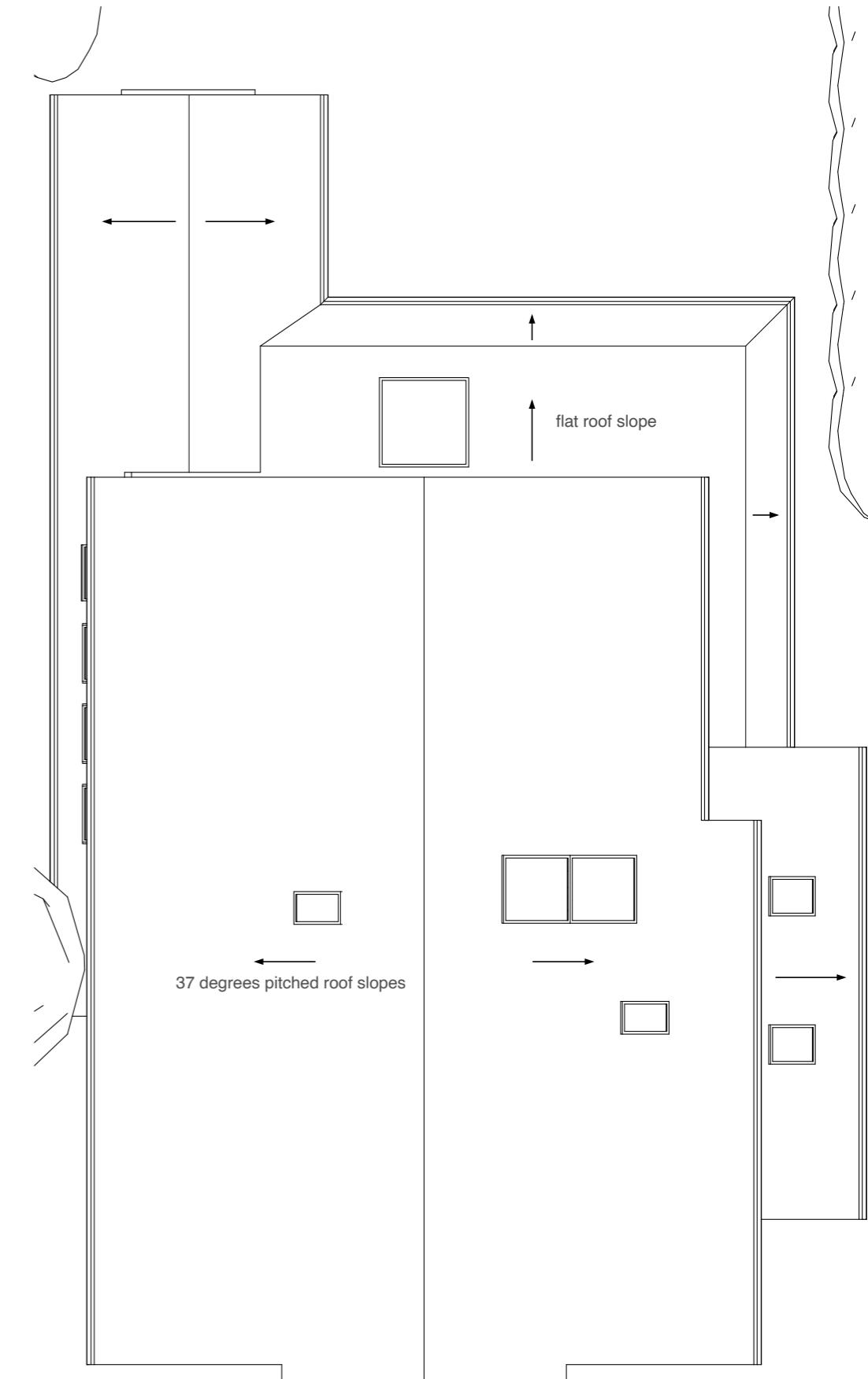
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## KEY

 = Proposed structure



Loft Floor Plan



Roof Plan

Address

239 Park Road, Uxbridge  
UB8 1NS

Client

Hasil Makkar

Date

September  
2025



1:100 @ A3

0 1 2 3 4 5 10m

Drawing Title

**As Proposed (third application)**  
Floor Plans

Project no./ Stage/

0427- PLA-

Drawing no./ Revision

81\_A

Revision notes:

A - First Issue  
B - Fenestration and minor amendments  
05/09/25

Drawn by: RA

MATERIALS KEY:

- ① Grey tiles to match that of 241 Park Road (given planning approval in 2019).
- ② Windows to match existing in colour and material
- ③ White render proprietary 2 coat waterproof render system to match the existing in colour and texture
- ④ Fakro Skylight, unopenable (when below 1.7m from floor), fixed with obscured glazing and to not project more than 150mm above roof slope
- ⑤ Dpc - Brickwork below dpc to be frost resisting engineering brick

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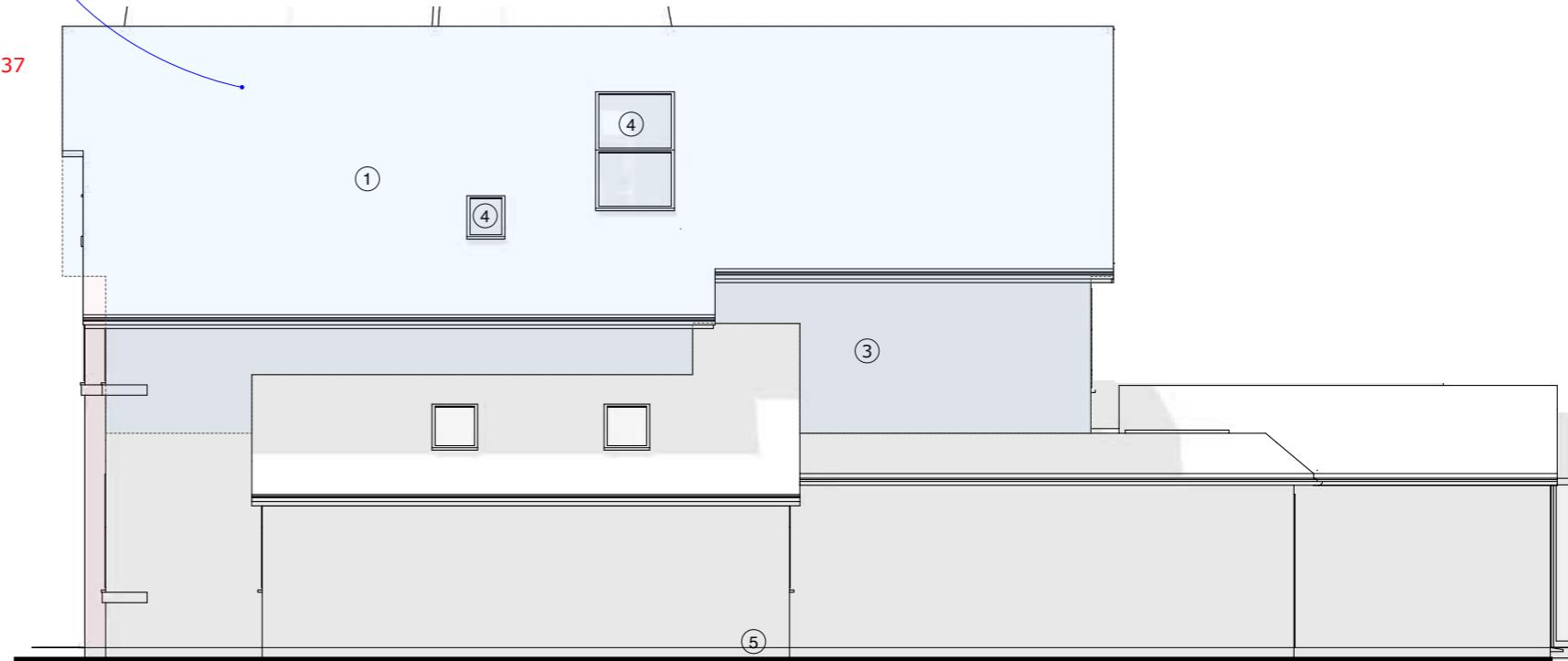
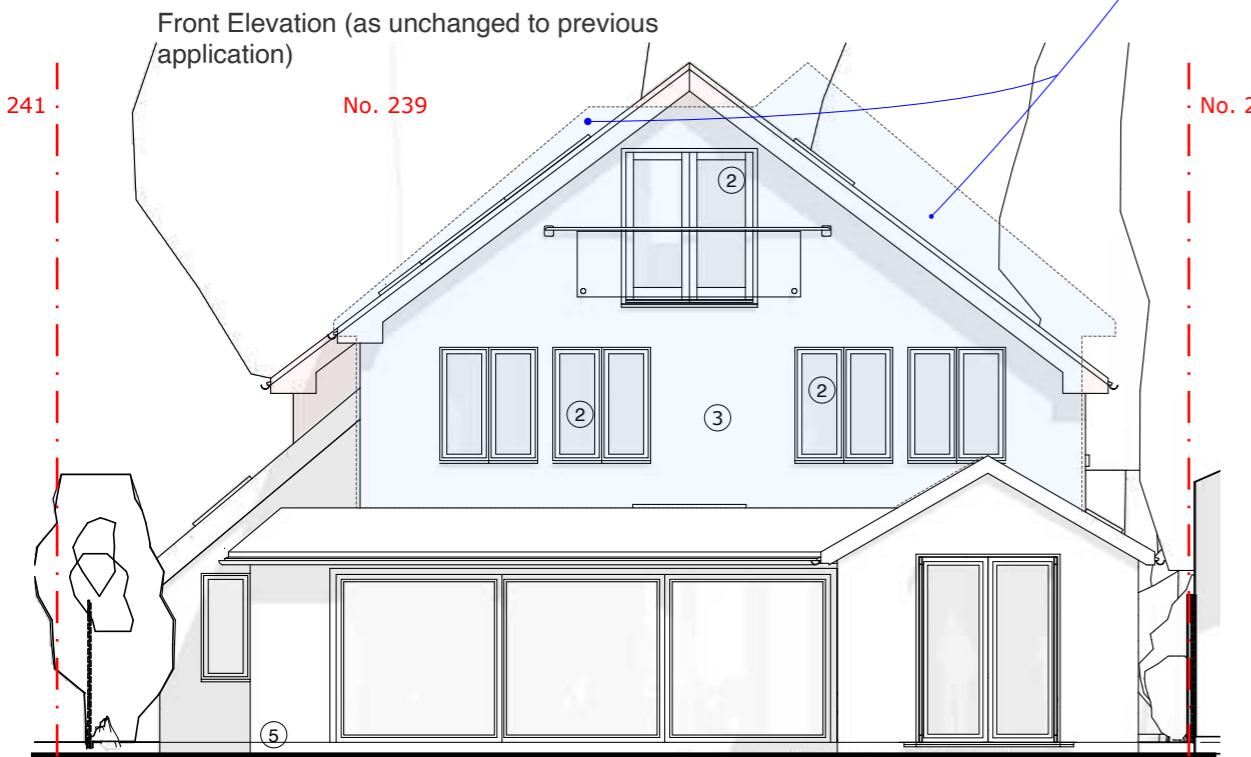
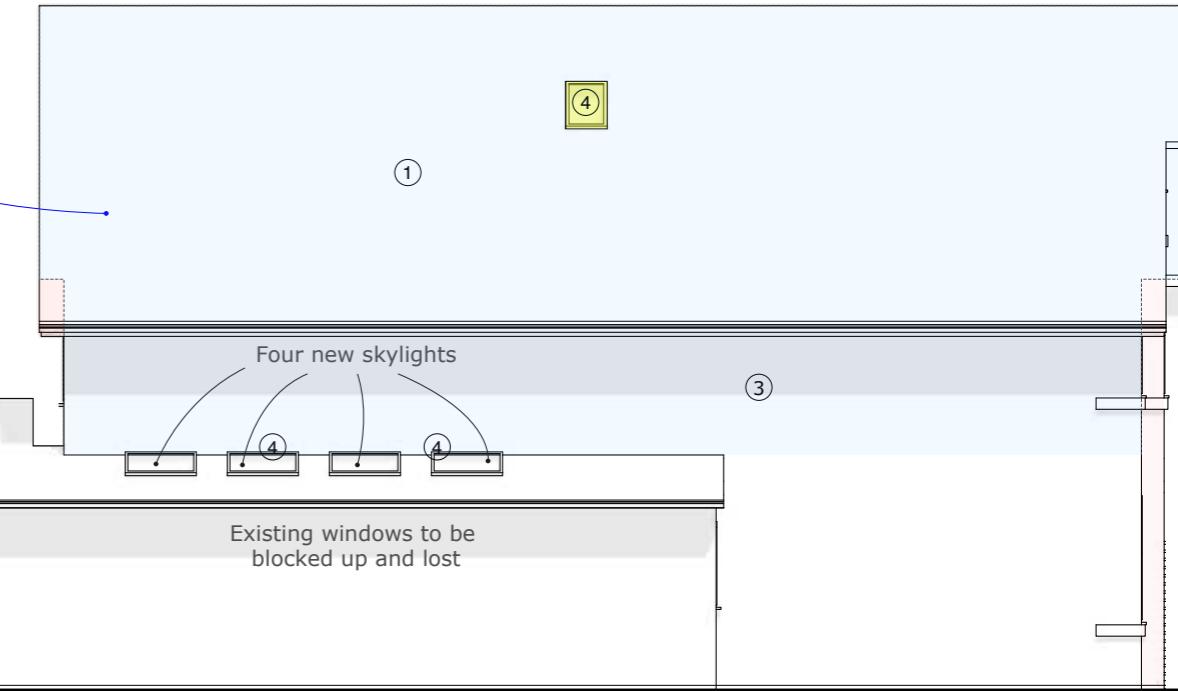
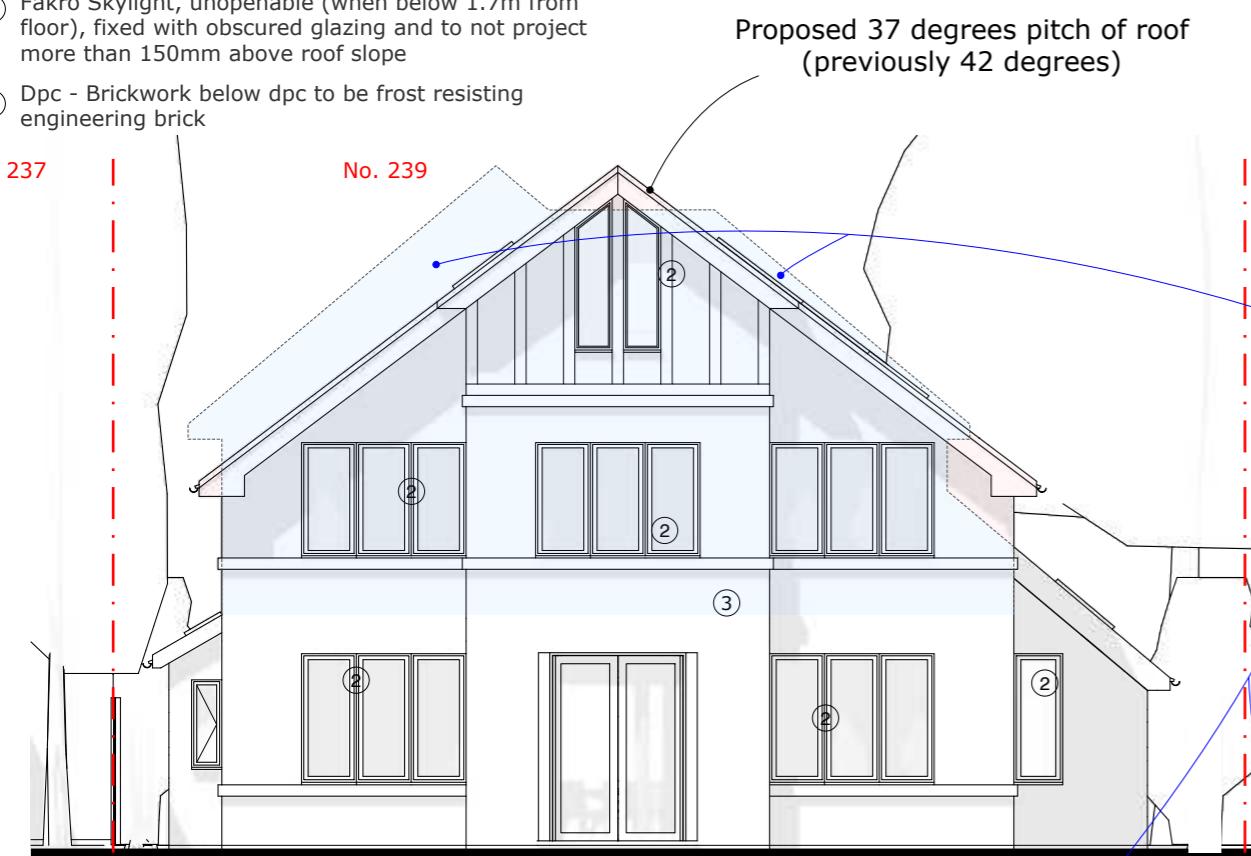
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KEY

  = Obscured glazing to windows (minimum scale for the Pilkington scale)

  = Proposed structure



Rear Elevation

Side Elevation

Address

239 Park Road, Uxbridge  
UB8 1NS

Client

Hasil Makkar

Date

September  
2025

1:100 @ A3

0 1 2 3 4 5 10m

Drawing Title

**As Proposed (third application)**  
Elevations

Project no./ Stage/

0427- PLA-

Drawing no./ Revision

82\_A

Revision notes:

A - First Issue  
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05/09/25

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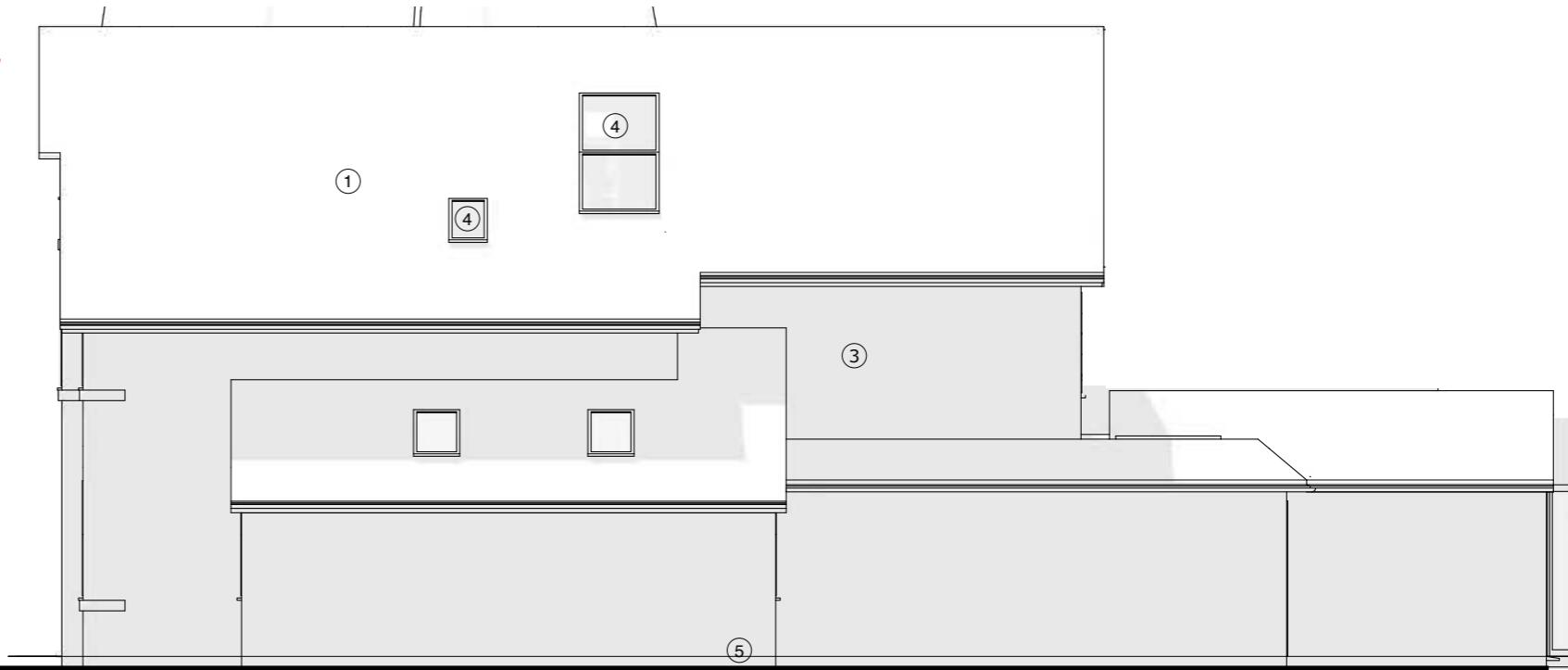
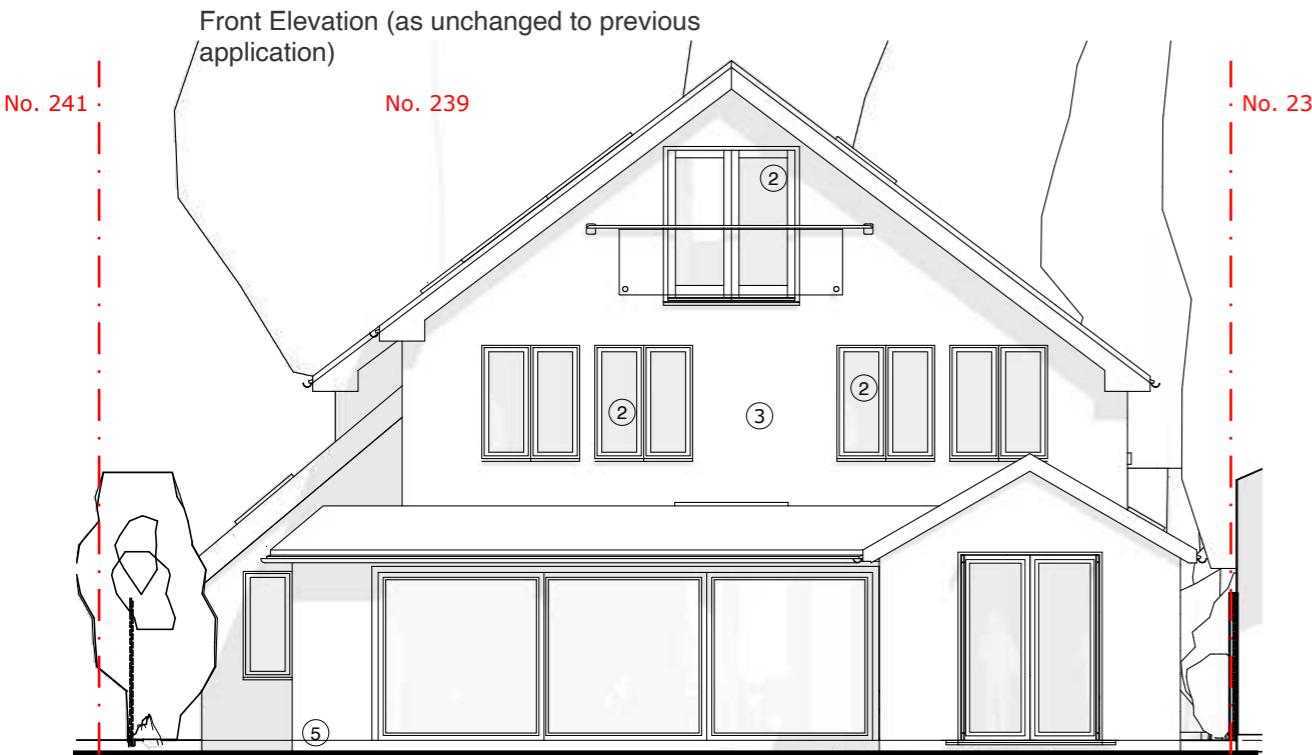
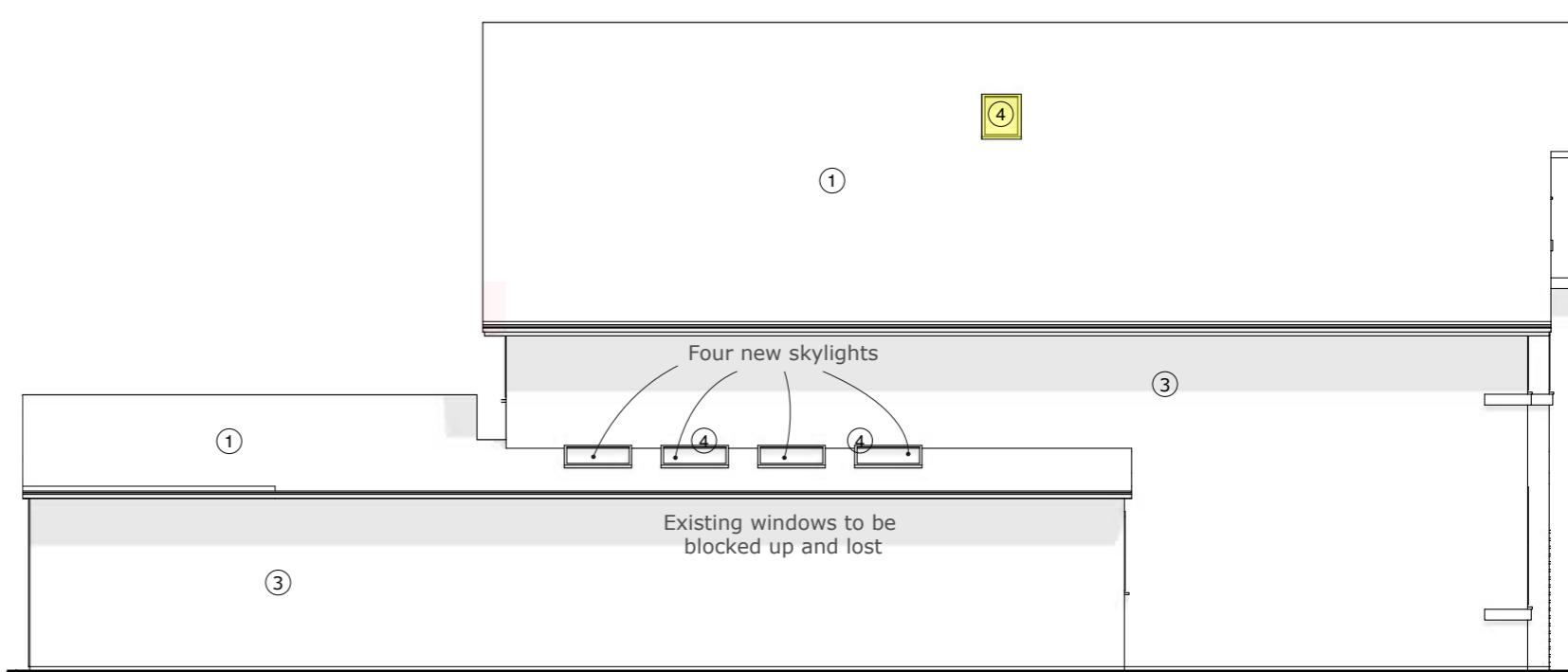
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KEY

= Obscured glazing to windows (minimum scale for the Pilkington scale)

= Proposed structure



Rear Elevation

Side Elevation

Address

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2025

1:100 @ A3

0 1 2 3 4 5 10m

Drawing Title

**As Proposed (third application)**  
Elevations

Project no./ Stage/

0427- PLA-

Drawing no./ Revision

83\_A

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05/09/25

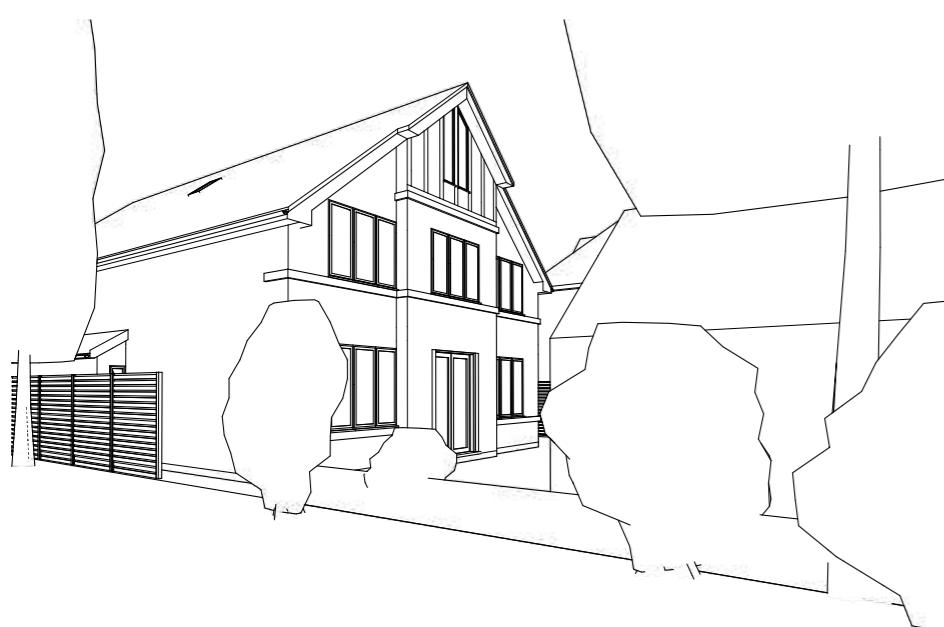
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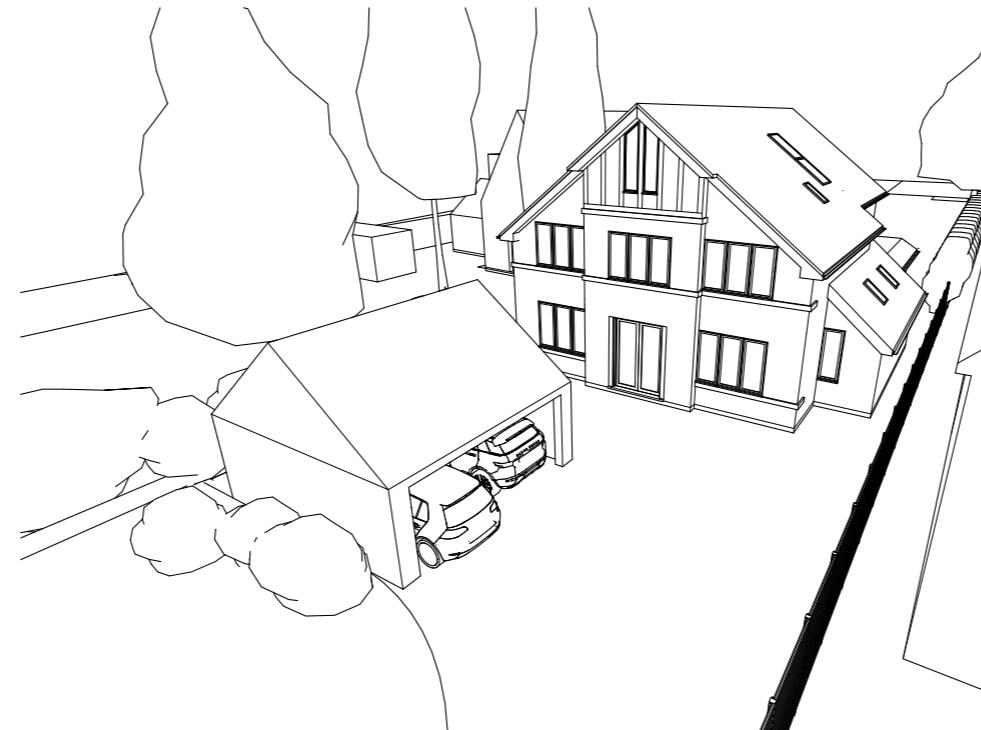
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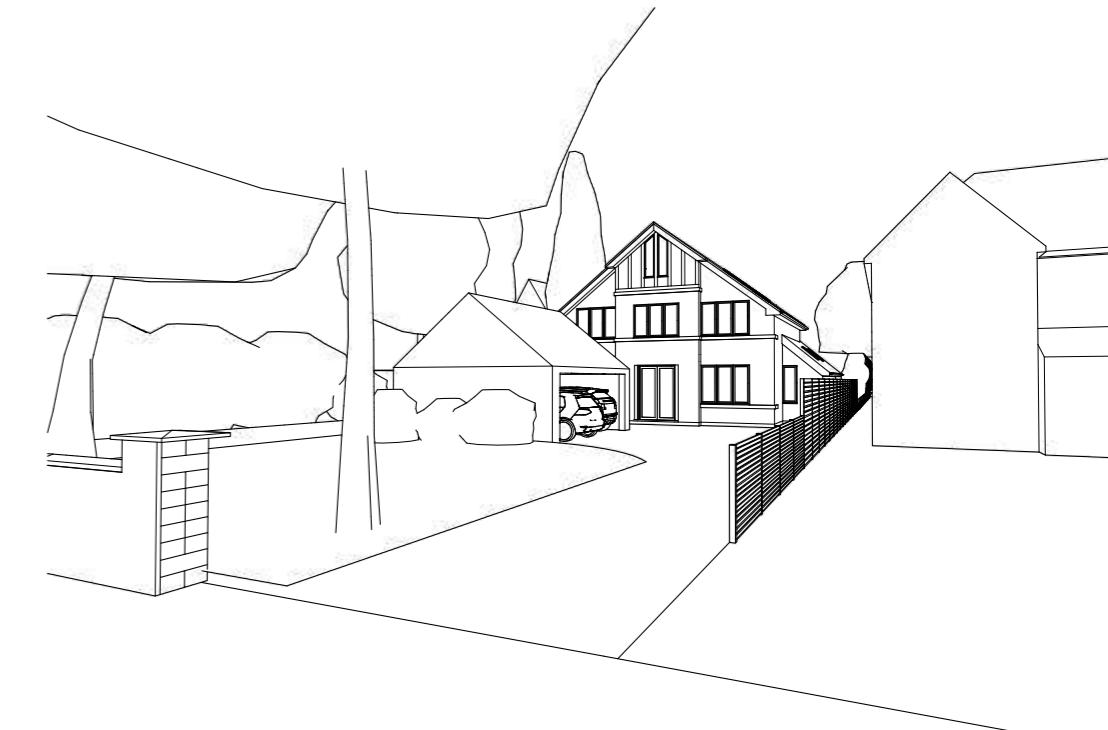
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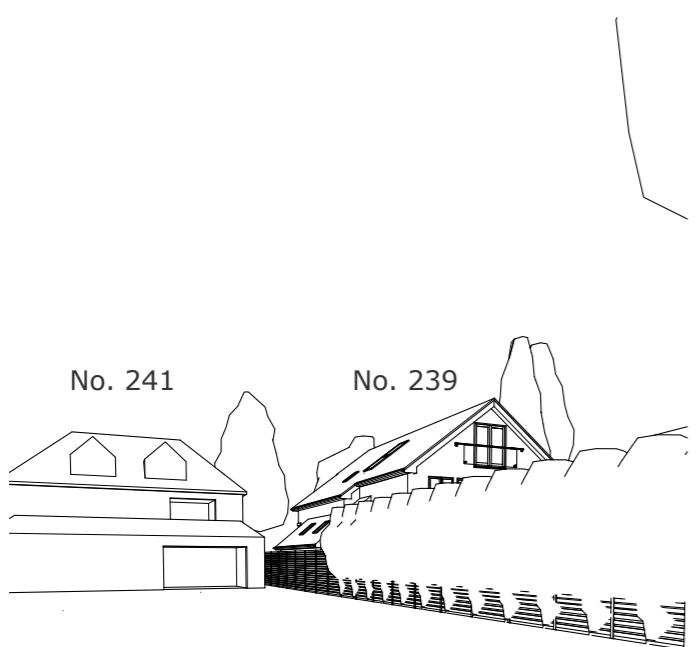
3D view at eye level from  
237 Park Road



Aerial 3D View to front of  
proposal



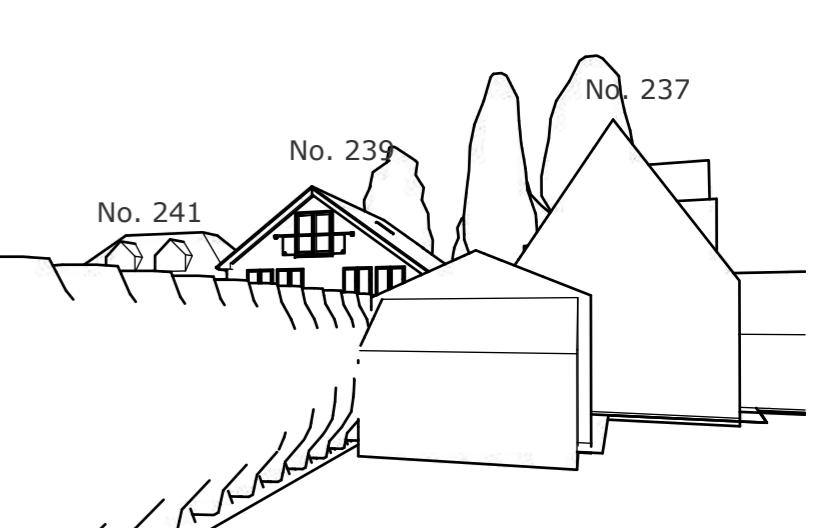
3D view at eye level from  
Park Road



3D View from rear of No.  
241



Ground level 3D View to rear



3D View from rear of No.  
237

Address

239 Park Road, Uxbridge  
UB8 1NS

Client

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Date

September  
2025

Drawing Title

**As Proposed (third application)**  
3D Views

Project no./ Stage/

0427- PLA-

Drawing no./ Revision

84\_A

Revision notes:

A - First Issue  
B - Fenestration and minor amendments  
05/09/25

Drawn by: RA

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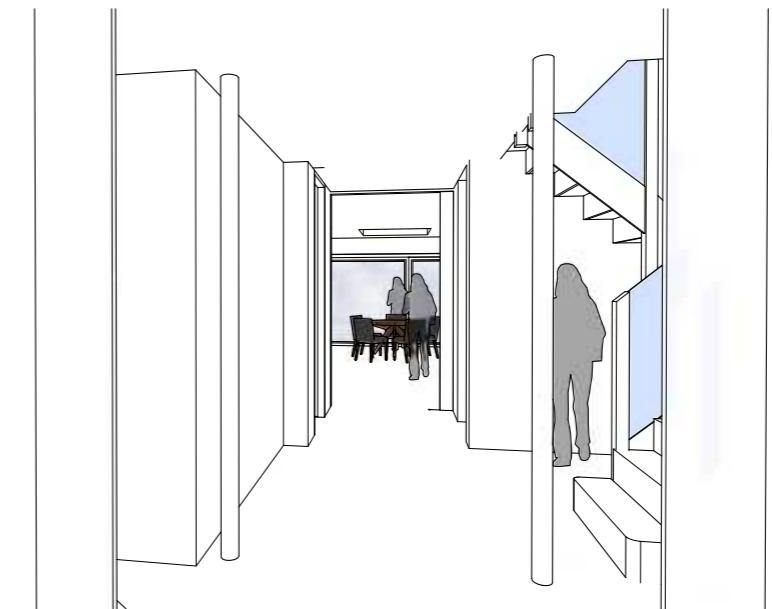
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View from the front garden



View from the front hallway



Views to rear living area



Address

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UB8 1NS

Client

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Date

September  
2025

Drawing Title

**As Proposed (third application)**  
Perspective Views

Project no./ Stage/

0427- PLA-

Drawing no./ Revision

85\_A

Revision notes:

A - First Issue  
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05/09/25

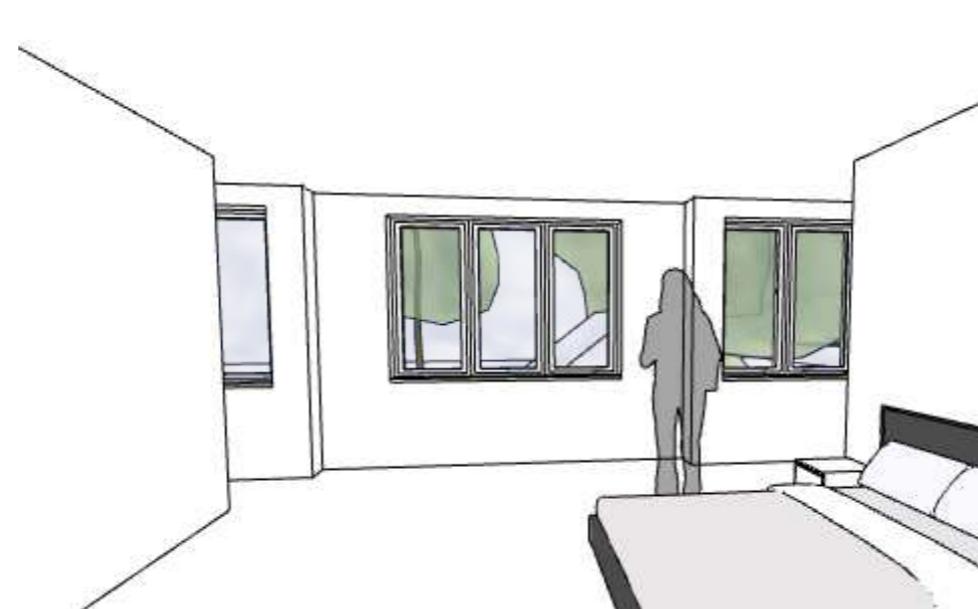
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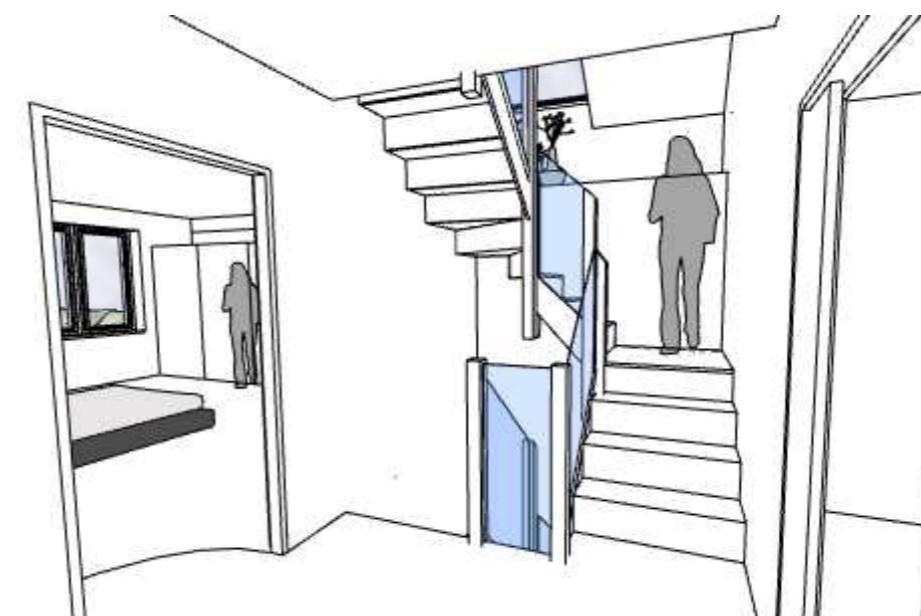
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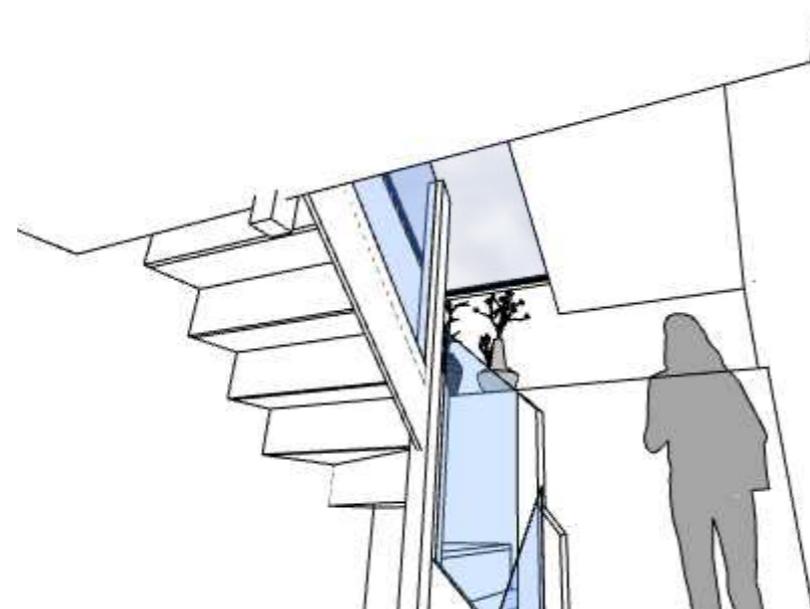
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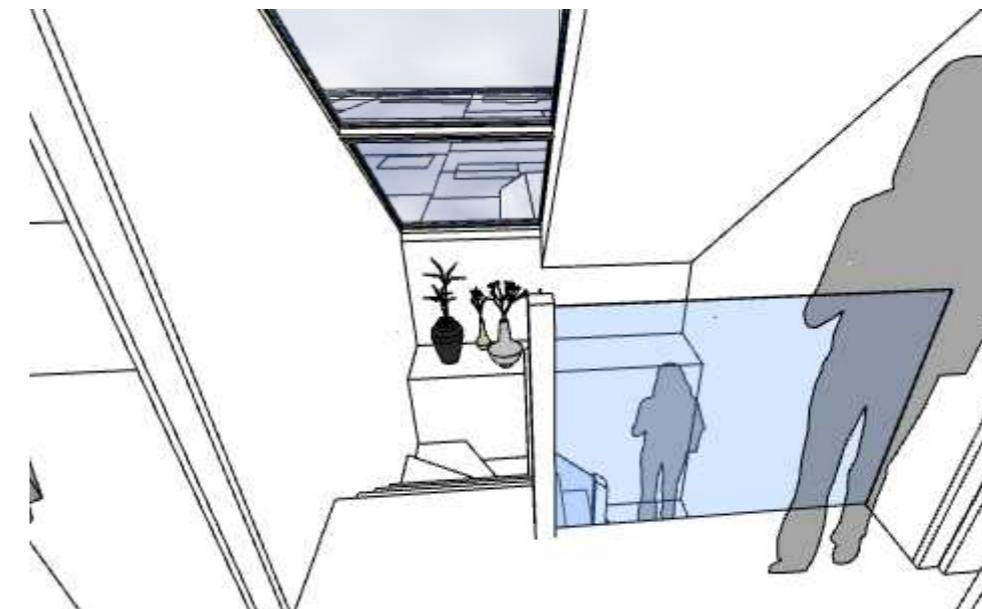
View to bedroom



View to the first floor landing



View from first floor landing to amended window arrangement.



View to loft landing

Address

239 Park Road, Uxbridge  
UB8 1NS

Client

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Date

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2025

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**As Proposed (third application)**  
Perspective Views

Project no./ Stage/

0427- PLA-

Drawing no./ Revision

86\_B

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05/09/25

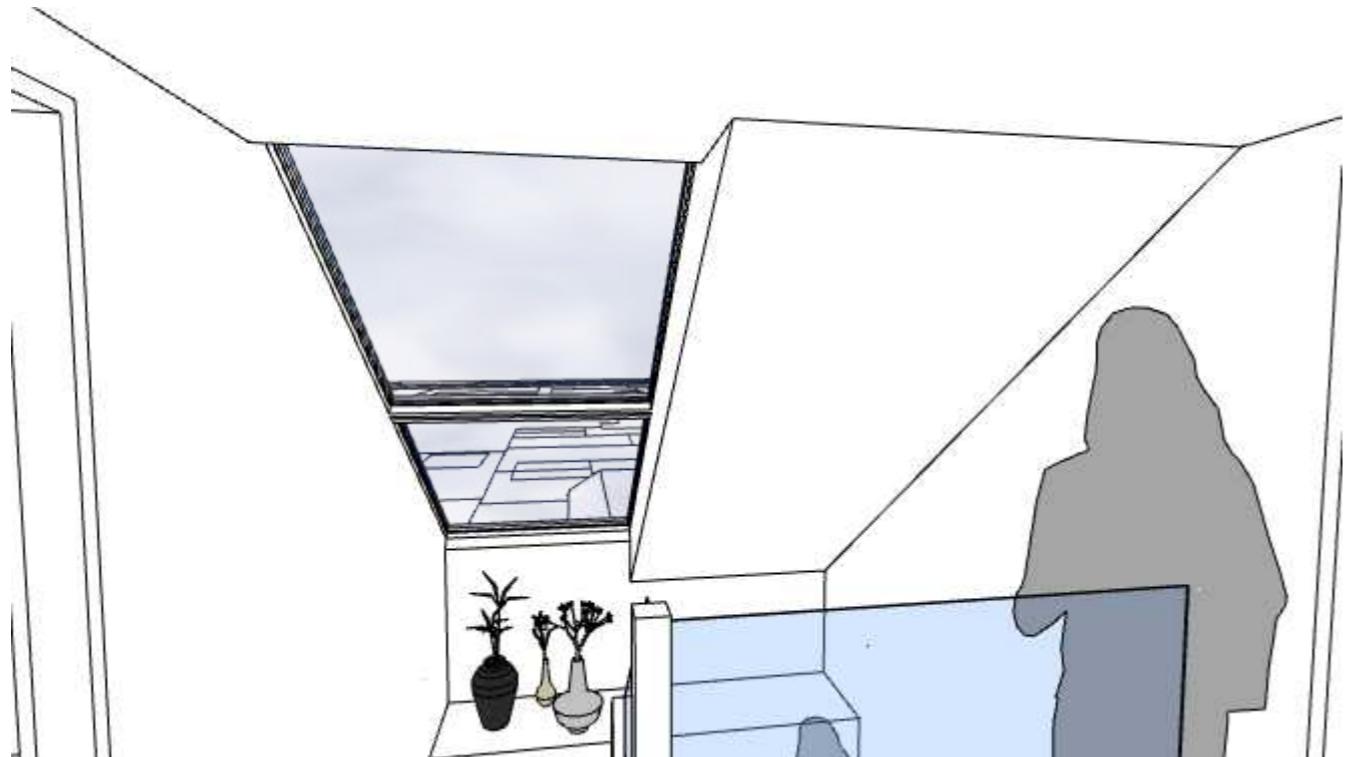
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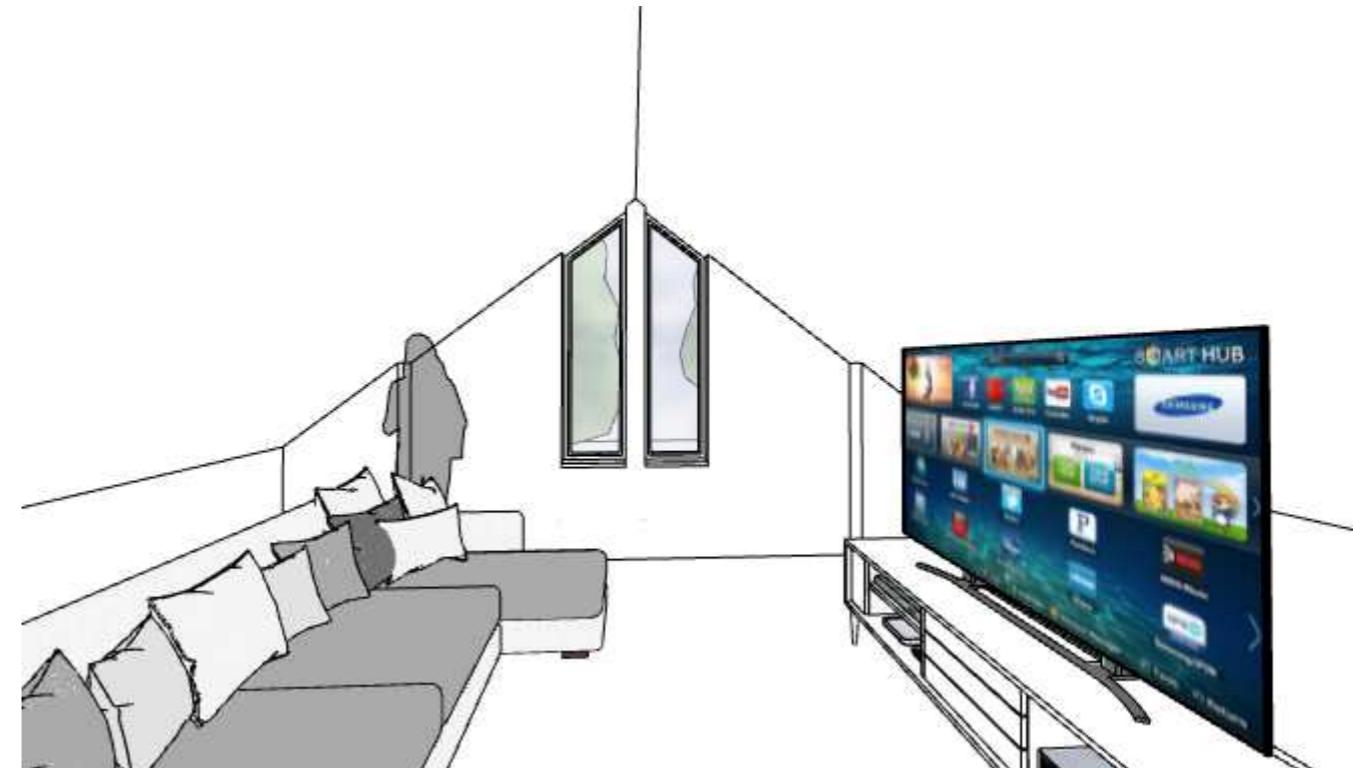
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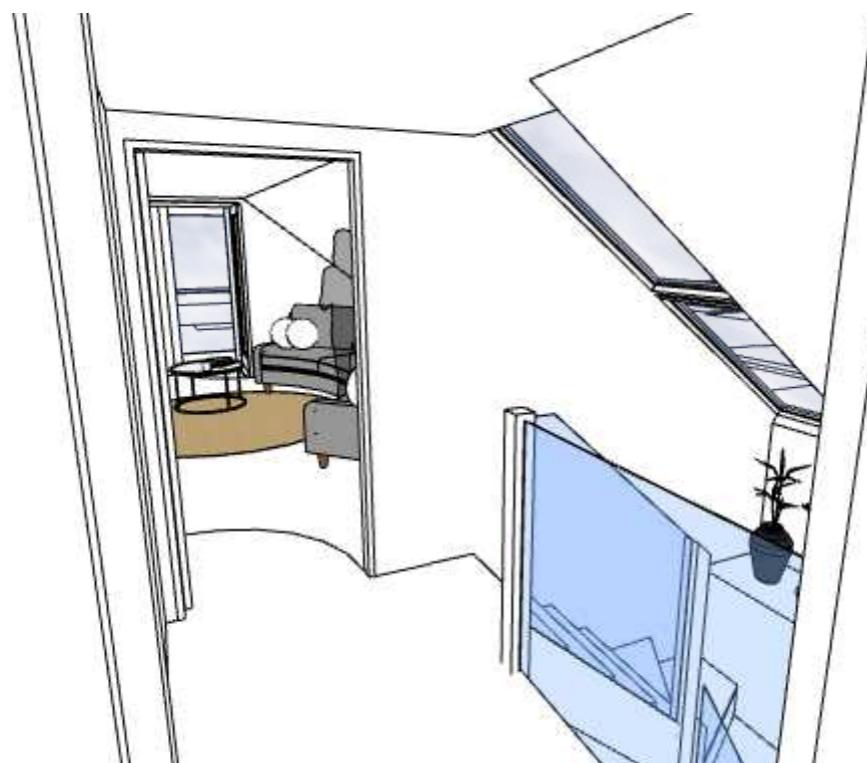
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View from second floor landing to amended window arrangement.



View to home cinema window.



View to loft landing



View to office window.

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Perspective Views

Project no./ Stage/

0427- PLA-

Drawing no./ Revision

87\_A

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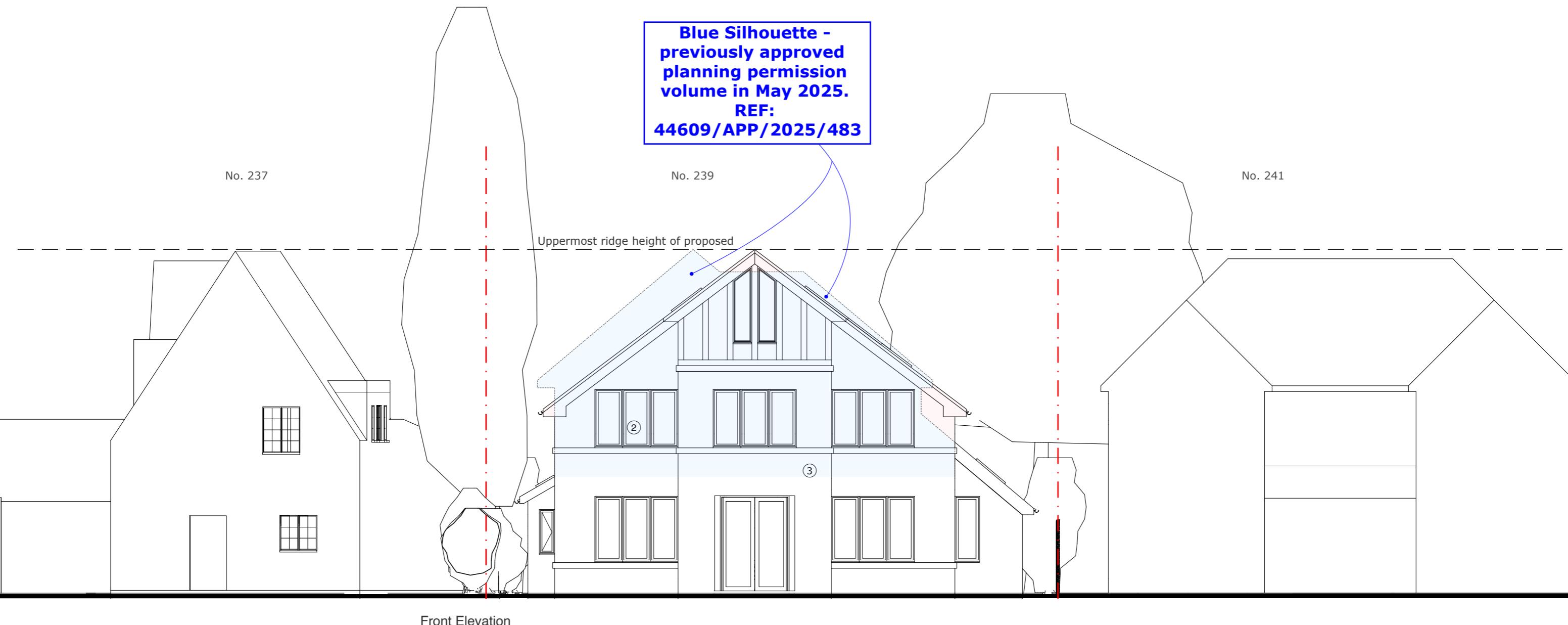
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## KEY

= Proposed structure

= Site Boundary



Address

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September  
2025

1:100 @ A3

0 1 2 3 4 5 10m

Drawing Title

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Elevations

Project no./ Stage/

0427- PLA-

Drawing no./ Revision

88\_A

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05/09/25

Drawn by: RA