

MICHAEL OAKES ARCHITECTS LTD.

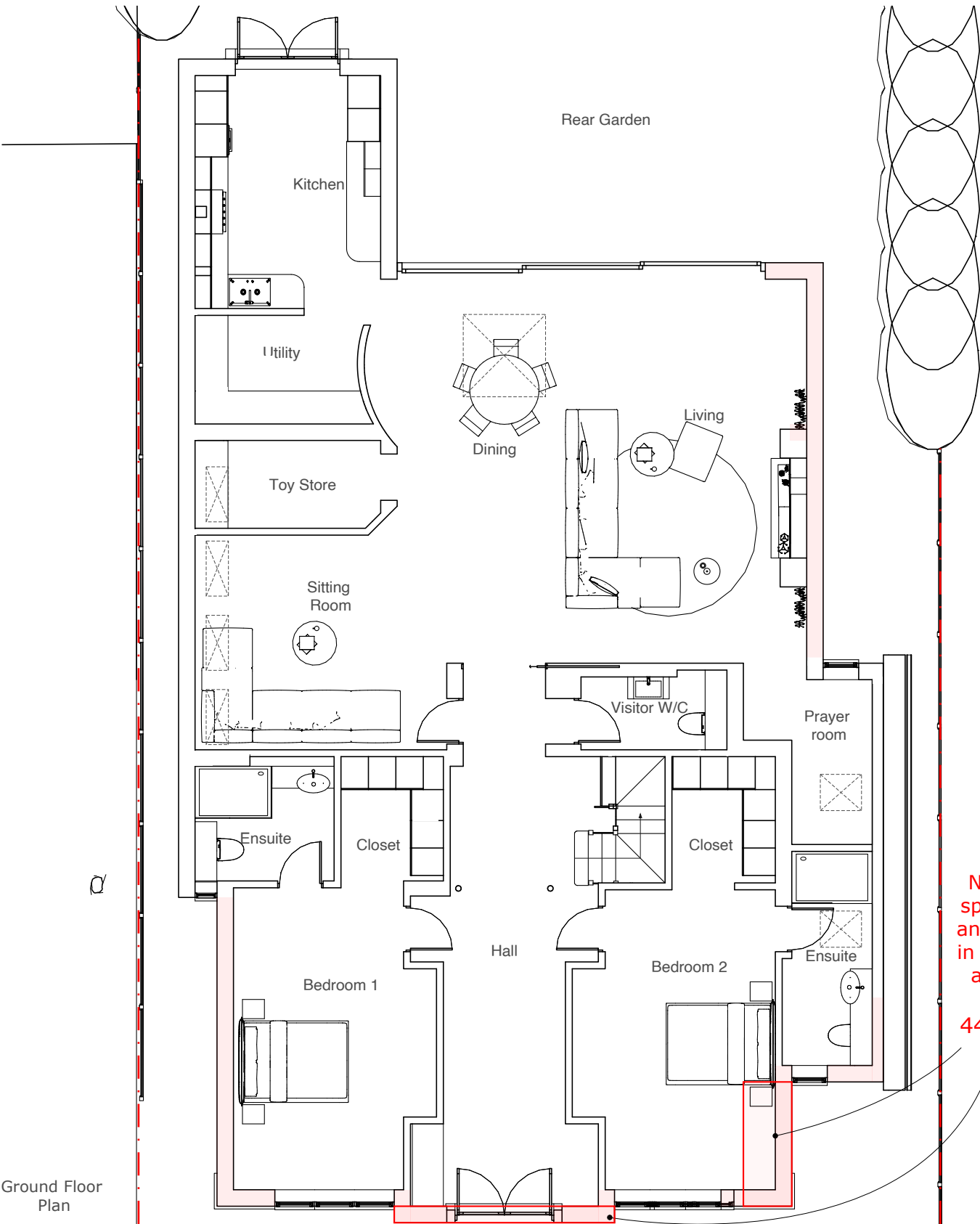
Michael Oakes (Director) B.A. Hons Arch, Dipl. Arch, Registered Architect

REGISTERED ARCHITECTS, DESIGNERS + ILLUSTRATORS

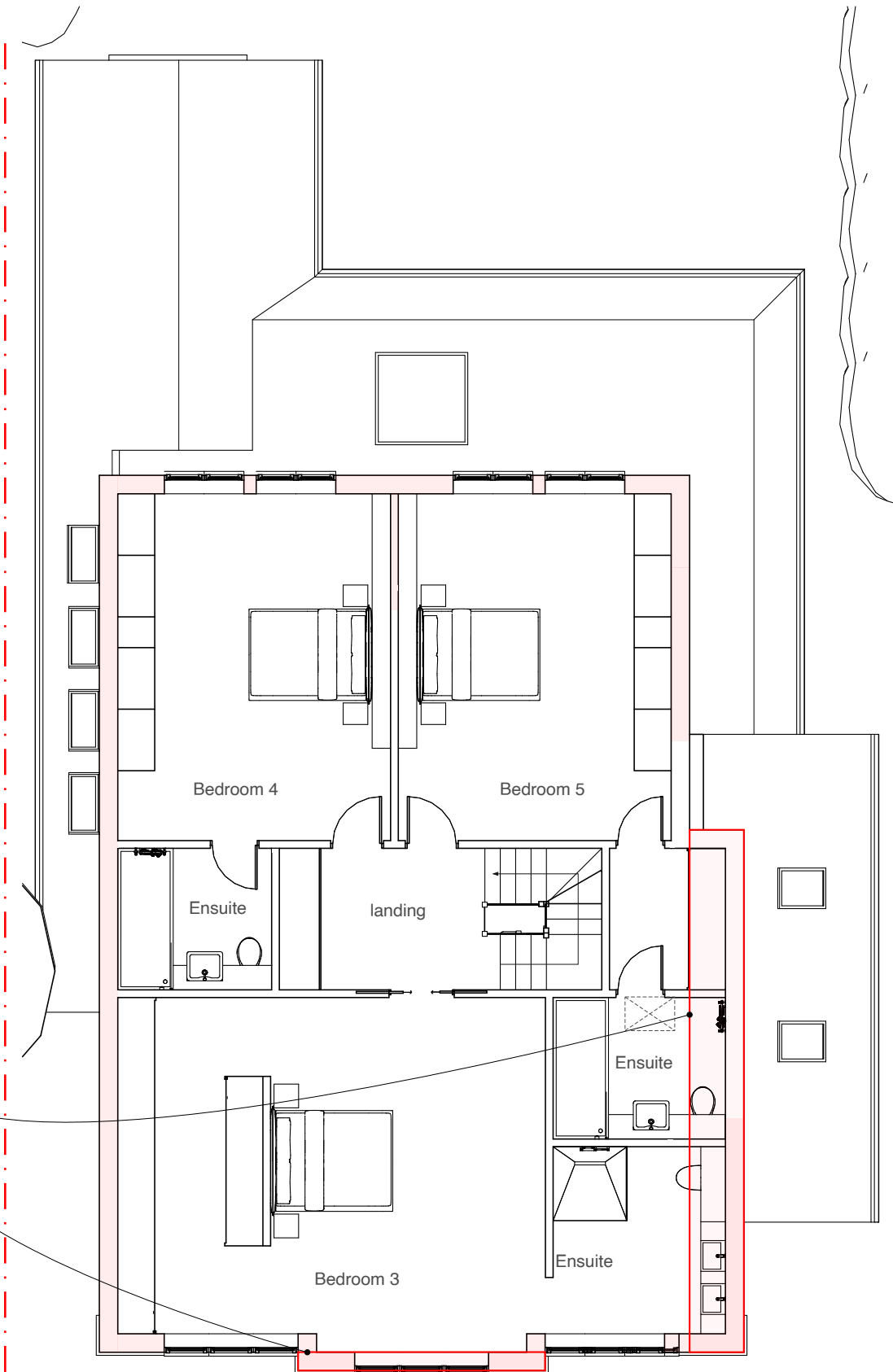
Telephone: 01895 235089 - E-mail: michaeloakesarchitect@googlemail.com

KEY

 = Proposed structure



Ground Floor Plan



First Floor Plan

Note: Additional floor space added to ground and first floor proposals in relation to previously approved application
REF: 44609/APP/2025/483

Address Client Date

239 Park Road, Uxbridge
UB8 1NS

Hasil Makkar

September
2025



1:100 @ A3

0 1 2 3 4 5 10m

Drawing Title

As Proposed (third application)
Floor Plans

Project no./ Stage/

0427- PLA-

Drawing no./ Revision

80_A

Revision notes:

A - First Issue
B - Fenestration and minor amendments
05/09/25

Drawn by: RA

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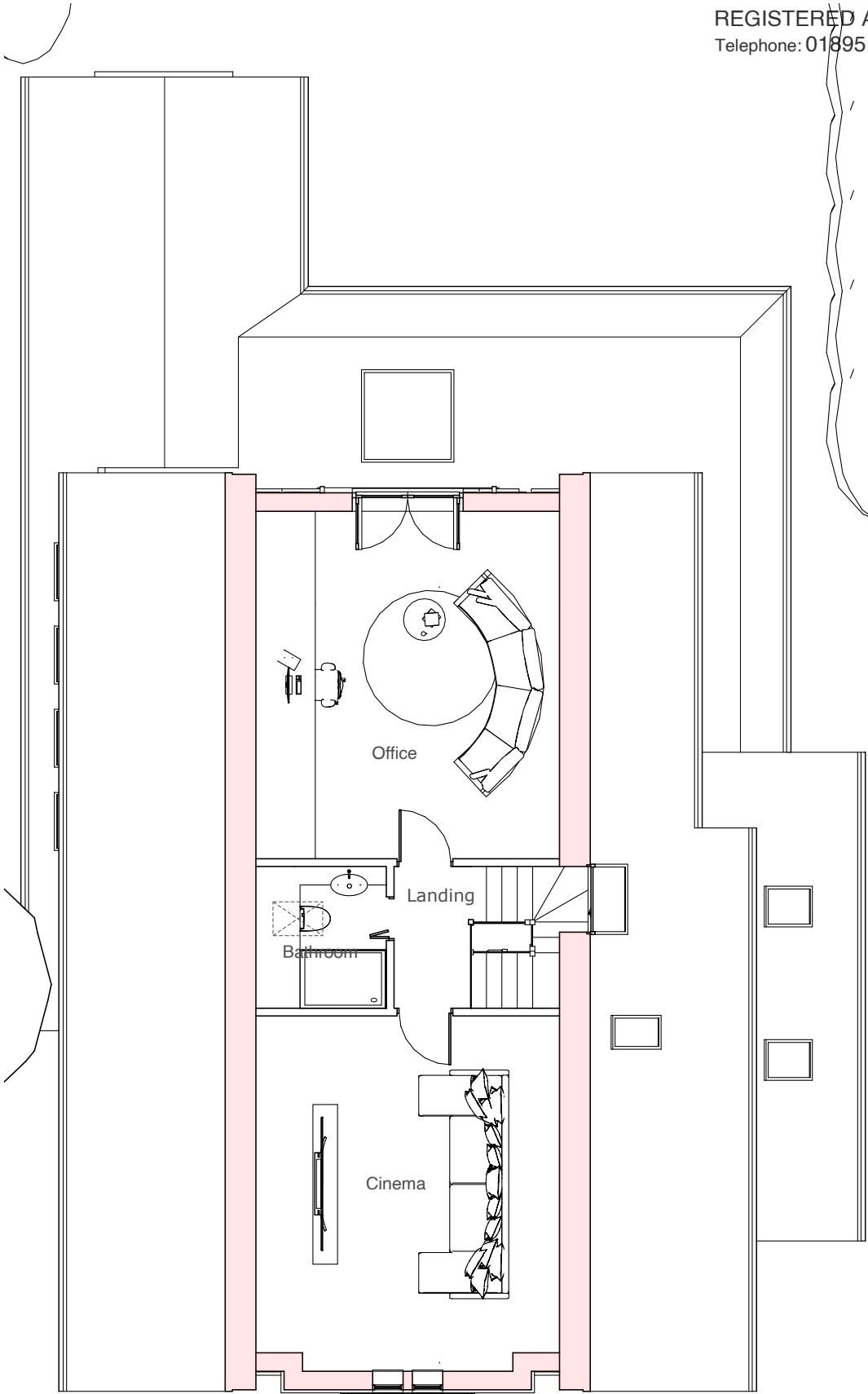
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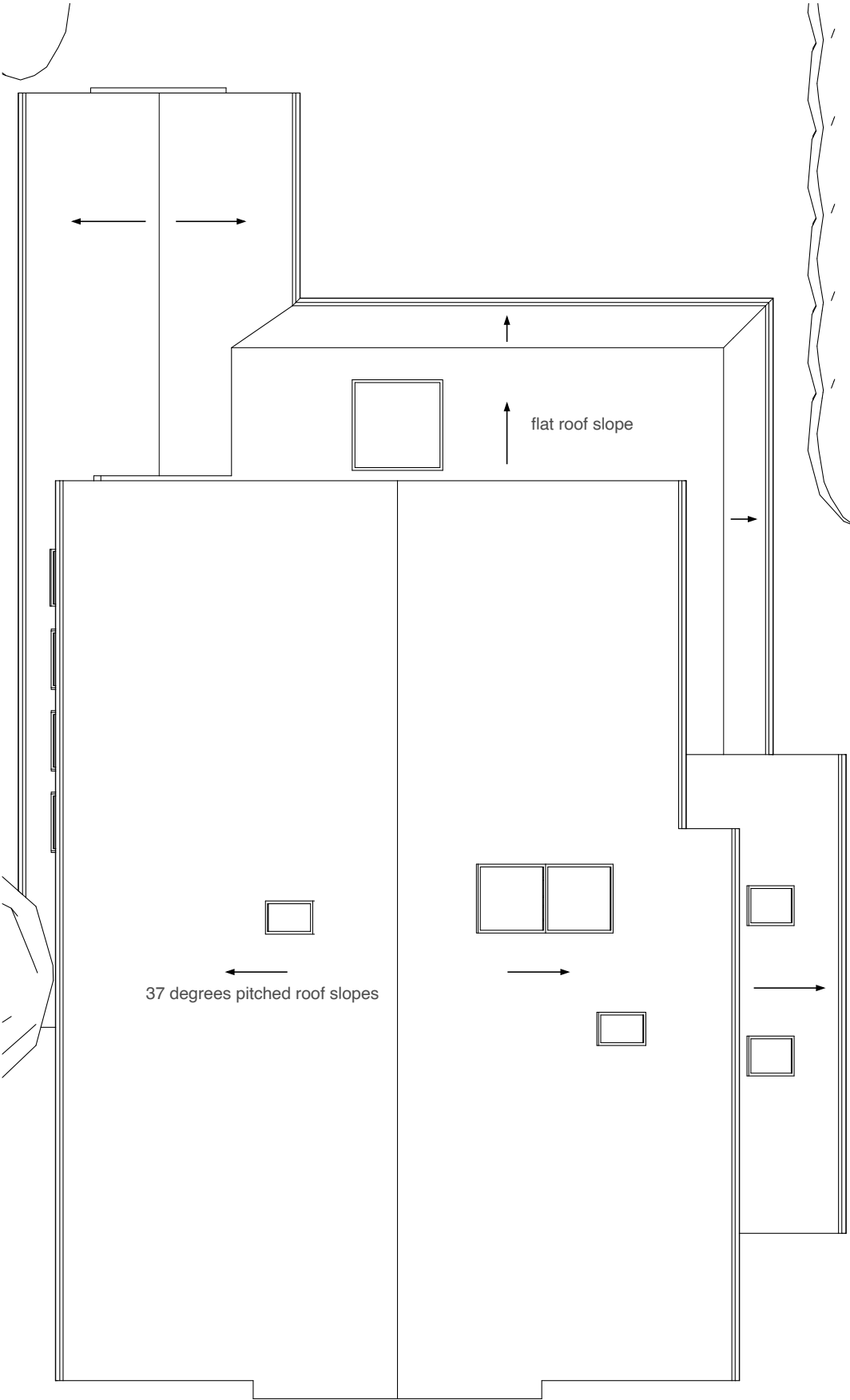
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KEY

[Pink Box] = Proposed structure



Loft Floor Plan



Roof Plan

Address Client Date

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September
2025



1:100 @ A3

0 1 2 3 4 5 10m

Drawing Title

As Proposed (third application)
Floor Plans

Project no./ Stage/

0427- PLA-

Drawing no./ Revision

81_A

Revision notes:

A - First Issue
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05/09/25

Drawn by: RA



10 Parkfield Avenue, Hillingdon, Middlesex, UB10 0DF, Great Britain

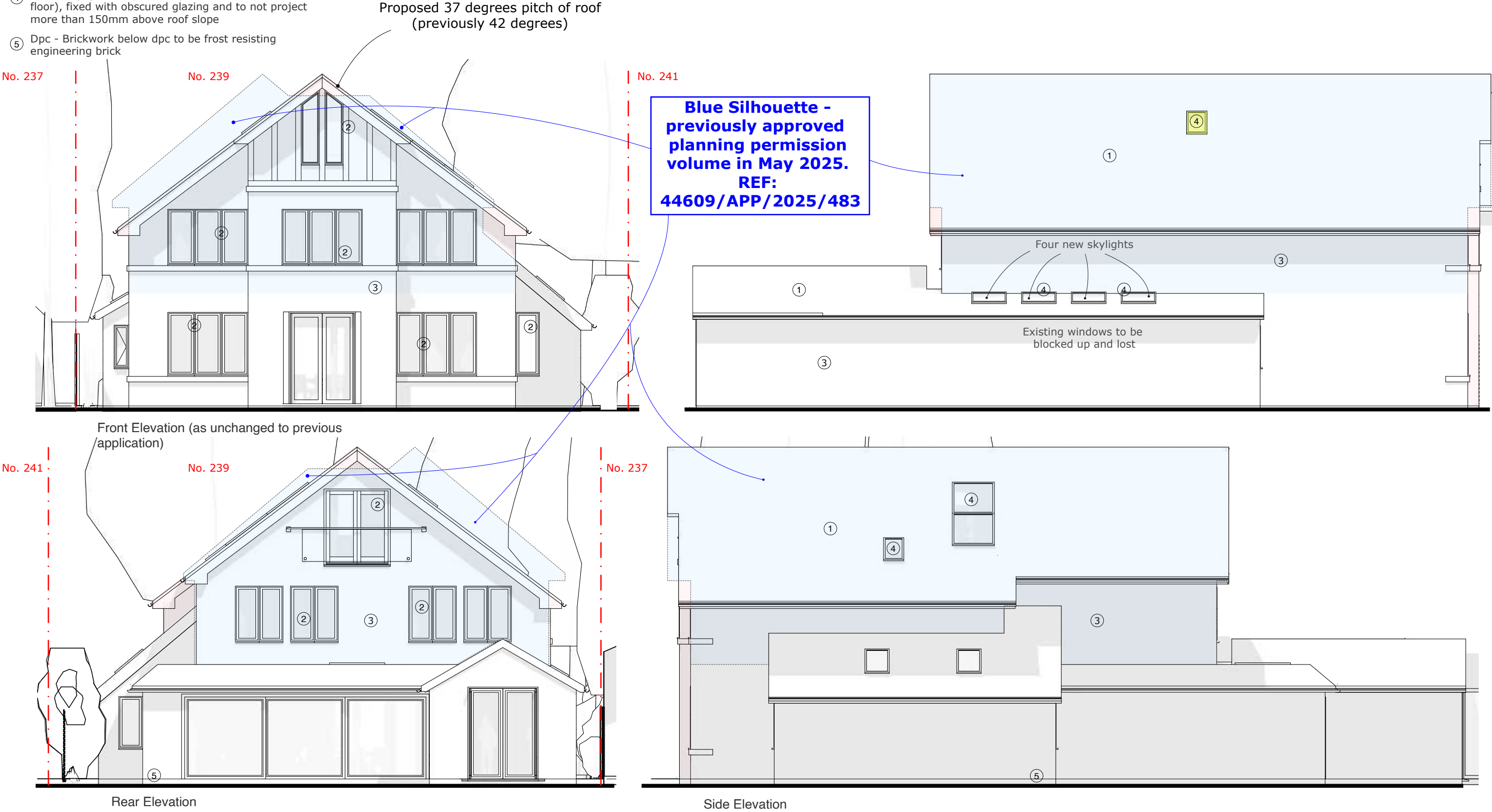
MATERIALS KEY:

- ① Grey tiles to match that of 241 Park Road (given planning approval in 2019).
- ② Windows to match existing in colour and material
- ③ White render proprietary 2 coat waterproof render system to match the existing in colour and texture
- ④ Fakro Skylight, unopenable (when below 1.7m from floor), fixed with obscured glazing and to not project more than 150mm above roof slope
- ⑤ Dpc - Brickwork below dpc to be frost resisting engineering brick

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KEY

-  = Obscured glazing to windows (minimum scale for the Pilkington scale)
-  = Proposed structure



Address Client Date
239 Park Road, Uxbridge Hasil Makkar September 2025
UB8 1NS

1:100 @ A3
0 1 2 3 4 5 10m

Drawing Title
As Proposed (third application)
Elevations

Project no./ Stage/ Drawing no./ Revision
0427- PLA- 82_A
Revision notes: Drawn by: RA
A - First Issue
B - Fenestration and minor amendments
05/09/25

10 Parkfield Avenue, Hillingdon, Middlesex, UB10 0DF, Great Britain

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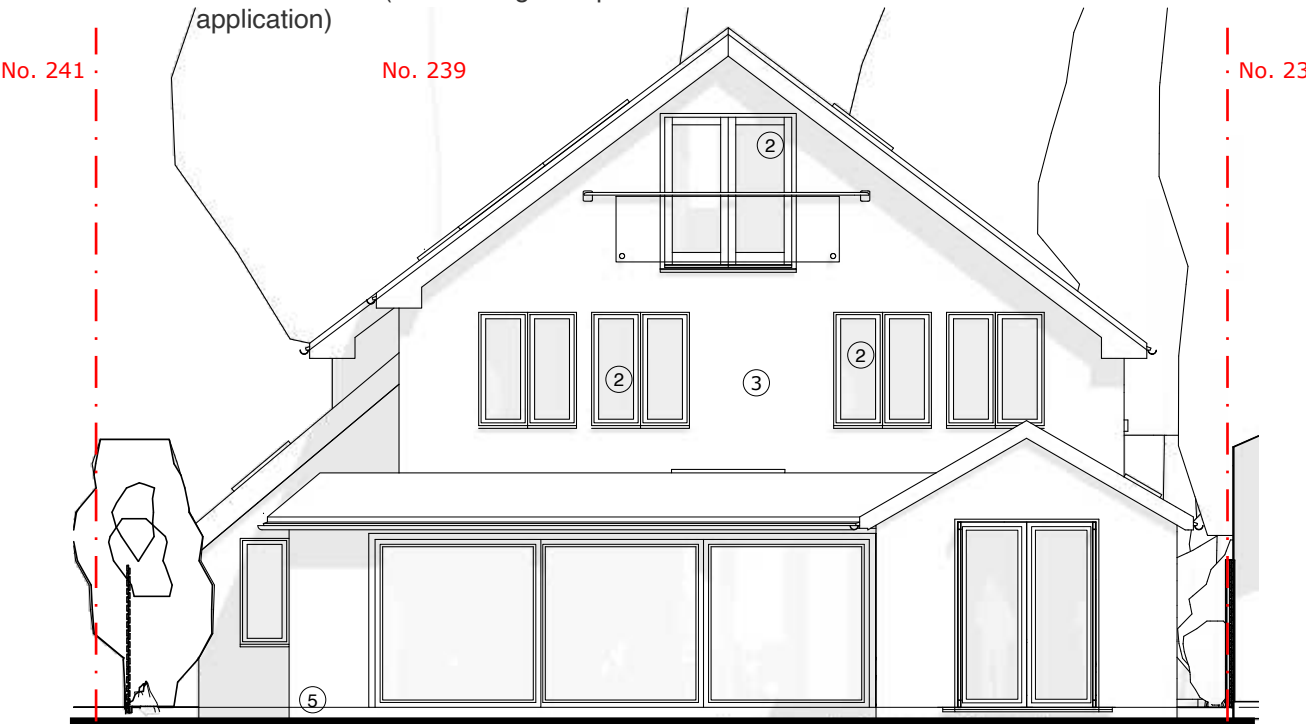
KEY

= Obscured glazing to windows (minimum scale for the Pilkington scale)

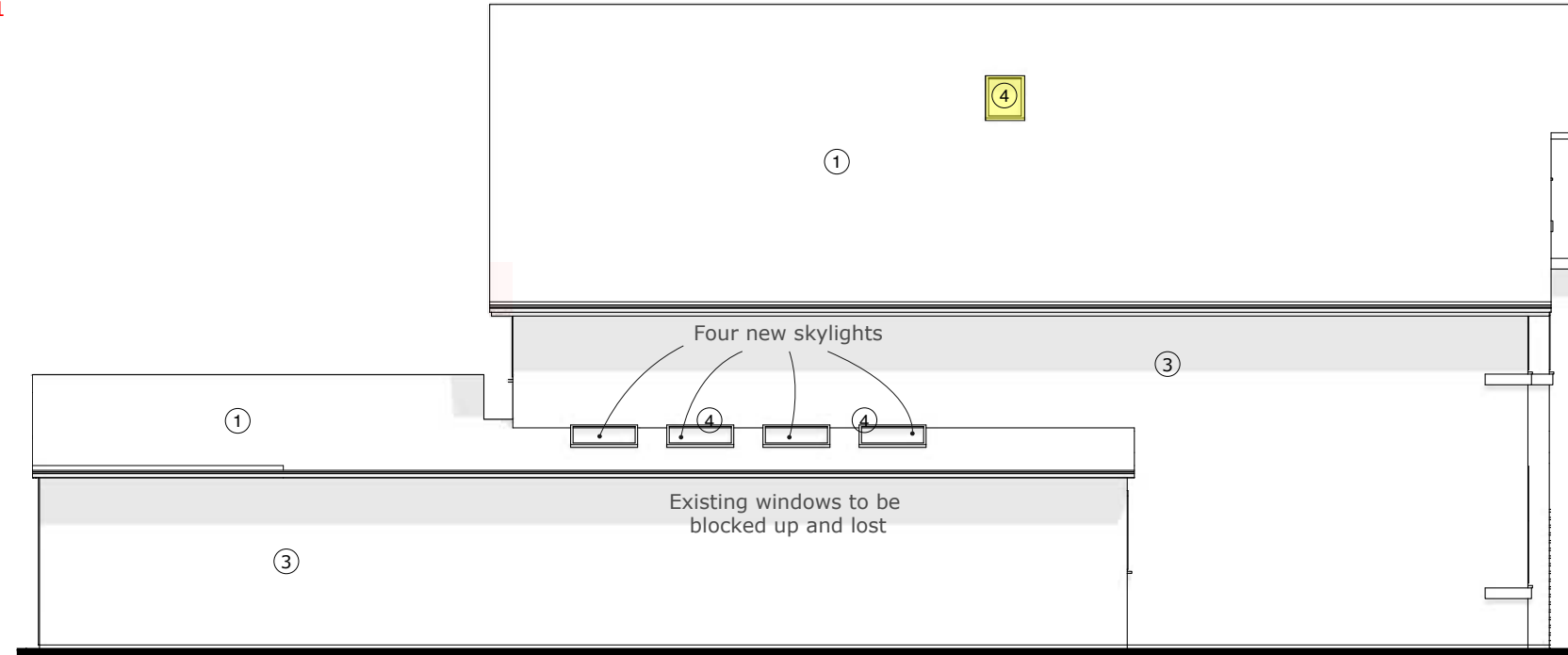
= Proposed structure



Front Elevation (as unchanged to previous application)



Rear Elevation



Side Elevation

Address	Client	Date
239 Park Road, Uxbridge UB8 1NS	Hasil Makkar	September 2025

1:100 @ A3

0 1 2 3 4 5 10m

Drawing Title

As Proposed (third application)
Elevations

Project no./ Stage/	Drawing no./ Revision
0427- PLA-	83_A
Revision notes:	Drawn by: RA
A - First Issue B - Fenestration and minor amendments 05/09/25	

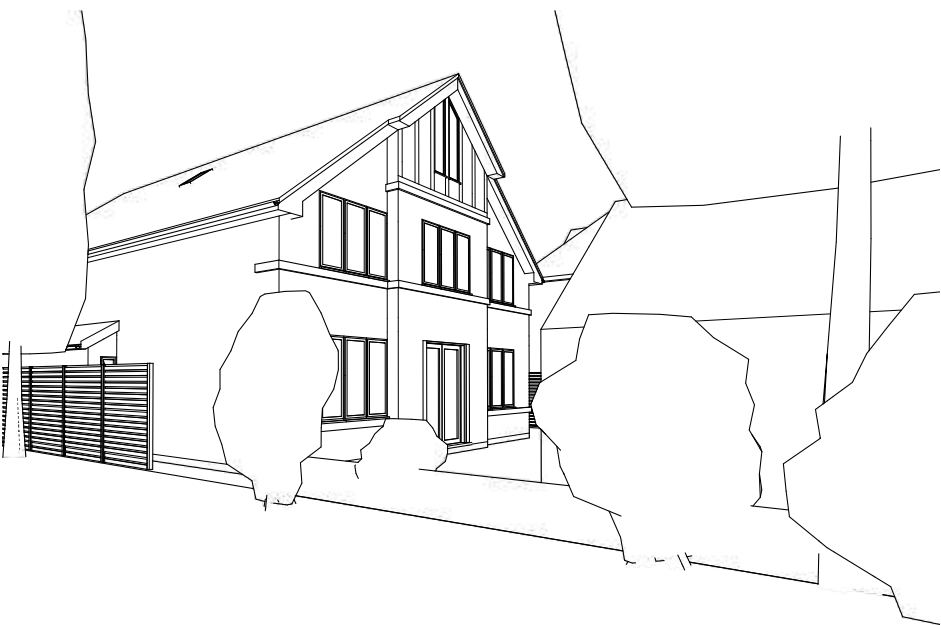
10 Parkfield Avenue, Hillingdon, Middlesex, UB10 0DF, Great Britain

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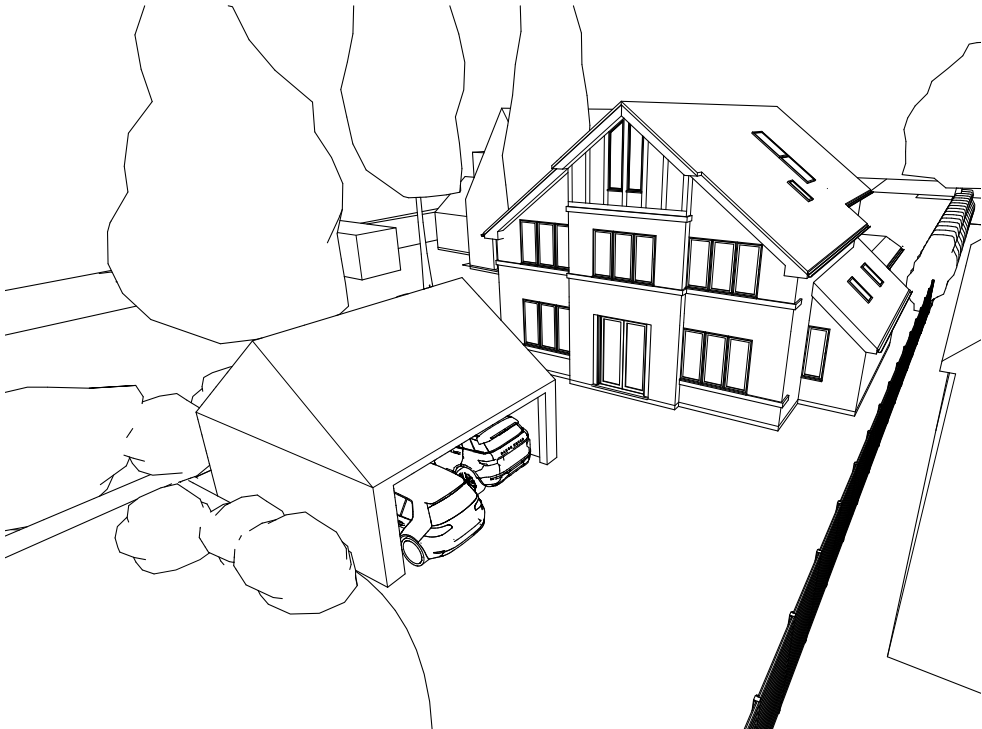
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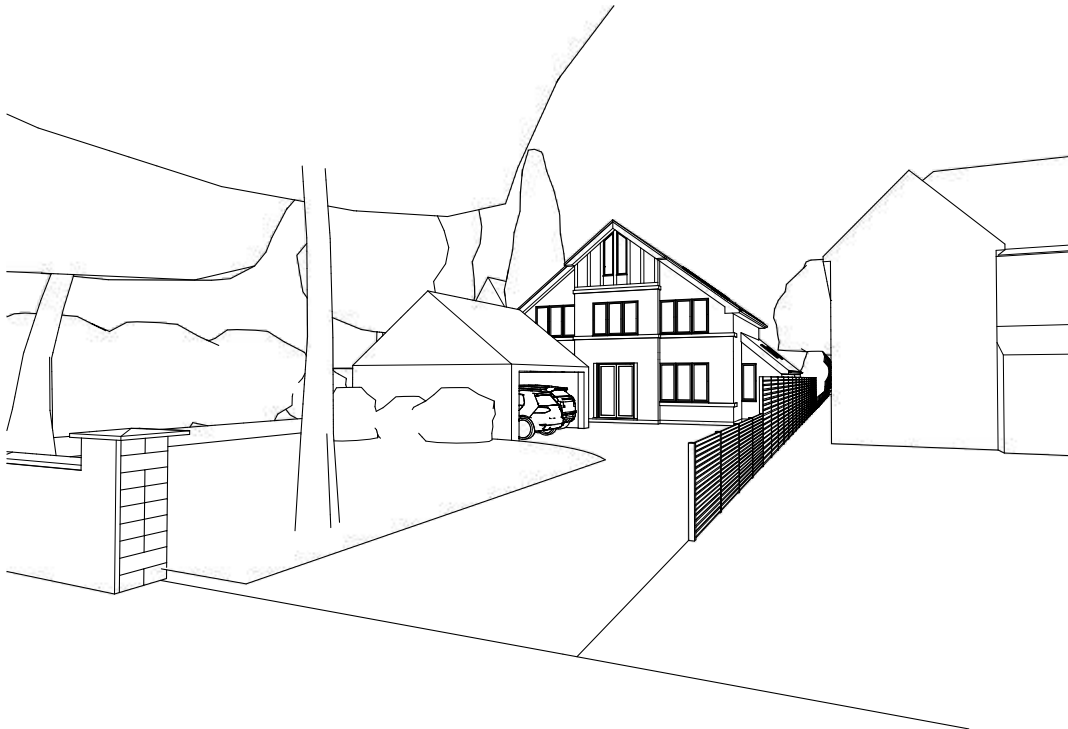
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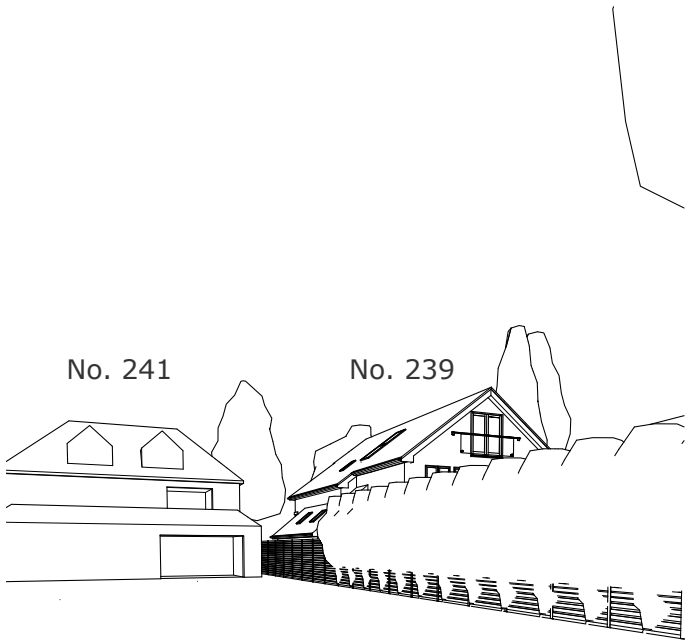
3D view at eye level from
237 Park Road



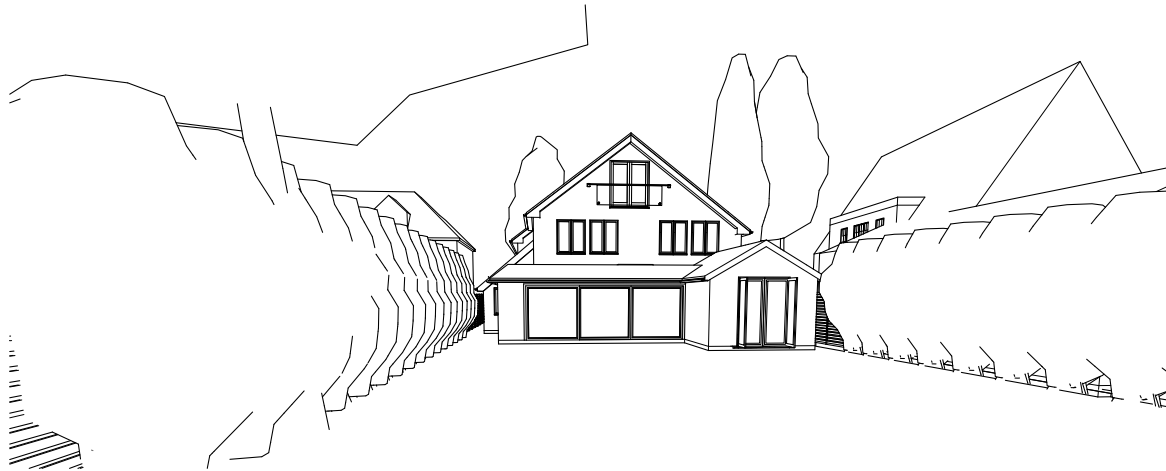
Aerial 3D View to front of
proposal



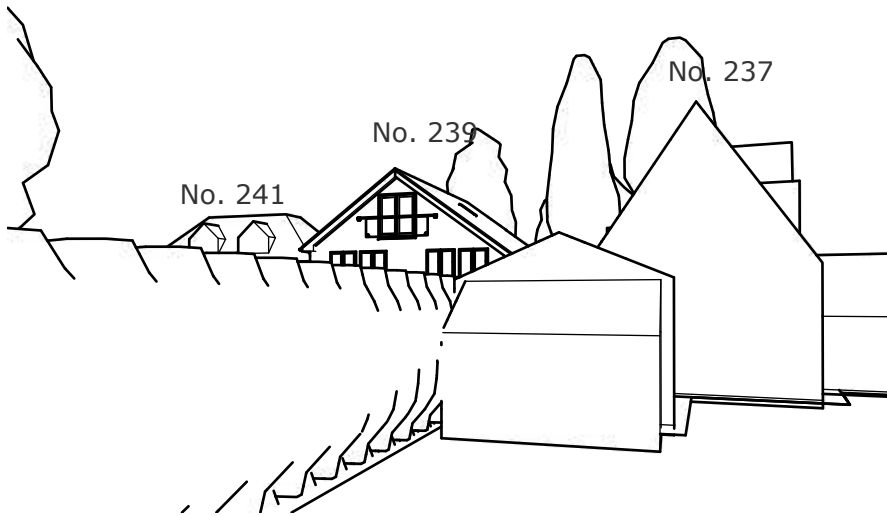
3D view at eye level from
Park Road



3D View from rear of No.
241



Ground level 3D View to rear



3D View from rear of No.
237

Address	Client	Date
239 Park Road, Uxbridge UB8 1NS	Hasil Makkar	September 2025

10 Parkfield Avenue, Hillingdon, Middlesex, UB10 0DF, Great Britain

Drawing Title
As Proposed (third application) 3D Views

Project no./ Stage/	Drawing no./ Revision
0427- PLA-	84_A
Revision notes:	
A - First Issue	
B - Fenestration and minor amendments	
05/09/25	
Drawn by: RA	

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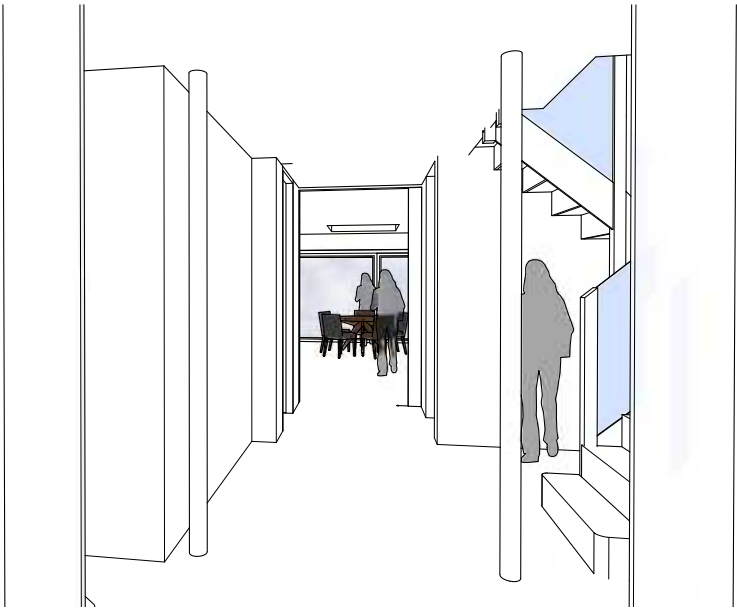
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View from the front garden



View from the front hallway



Views to rear living area



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Drawing Title
As Proposed (third application)
Perspective Views

Project no./ Stage/	Drawing no./ Revision
0427- PLA-	85_A
Revision notes:	Drawn by: RA

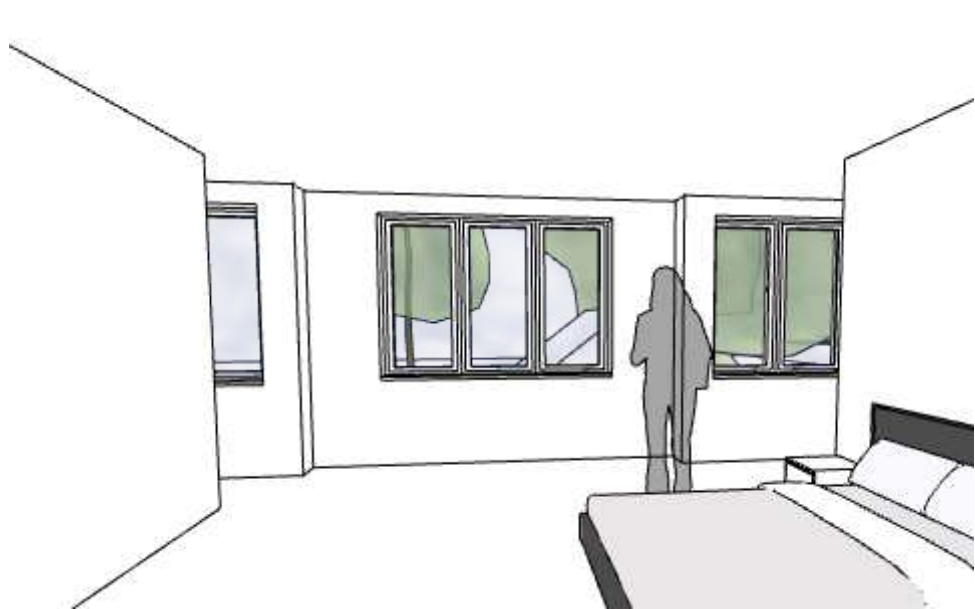
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05/09/25

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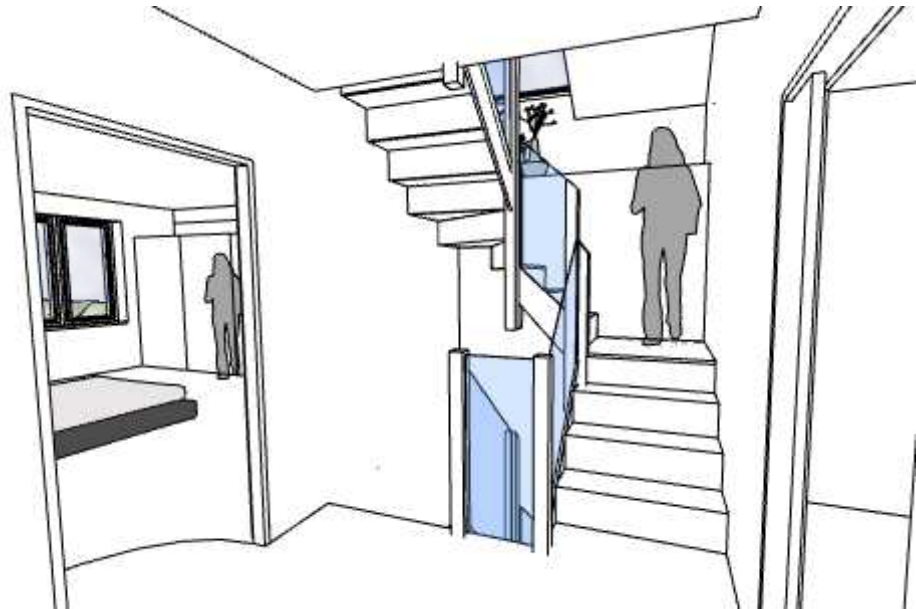
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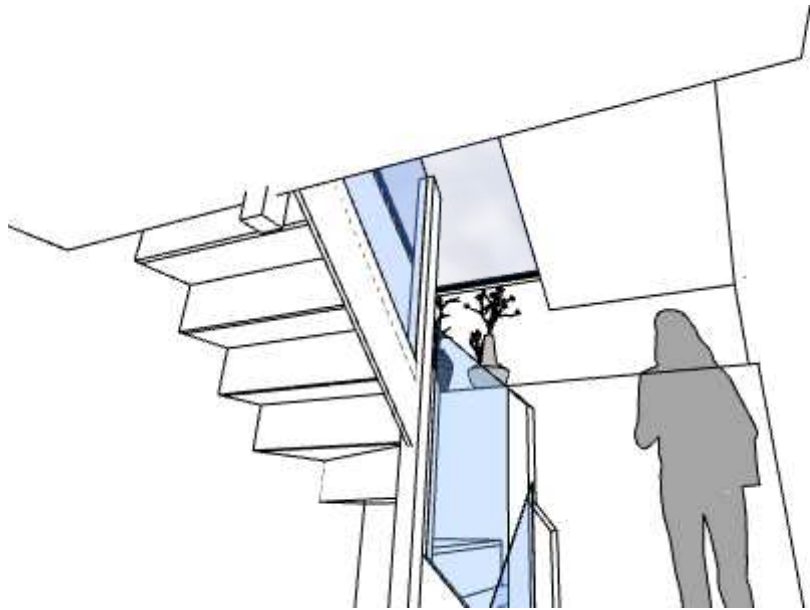
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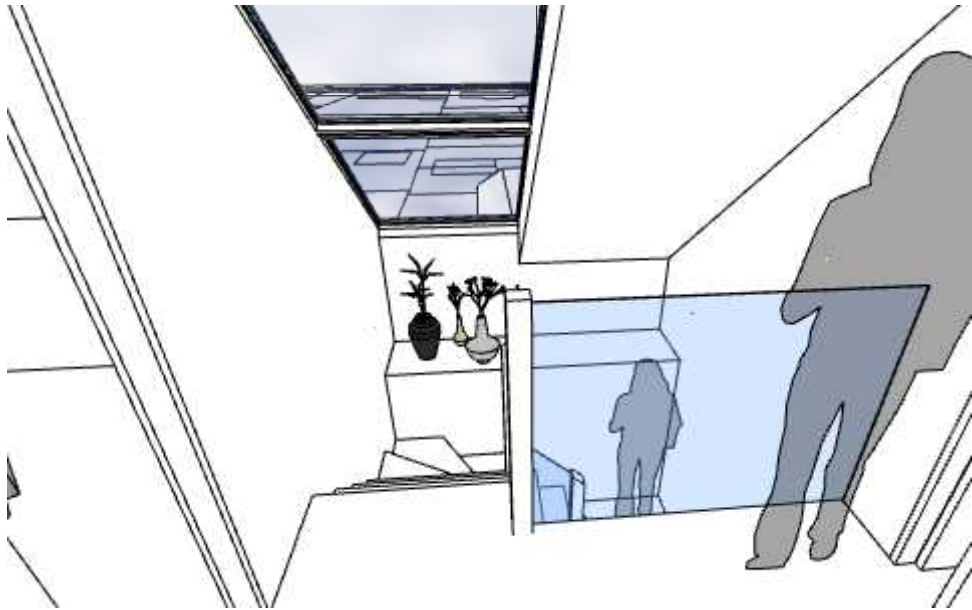
View to bedroom



View to the first floor landing



View from first floor landing to amended window arrangement.



View to loft landing

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Drawing Title
As Proposed (third application) Perspective Views

Project no./ Stage/	Drawing no./ Revision
0427- PLA-	86_B

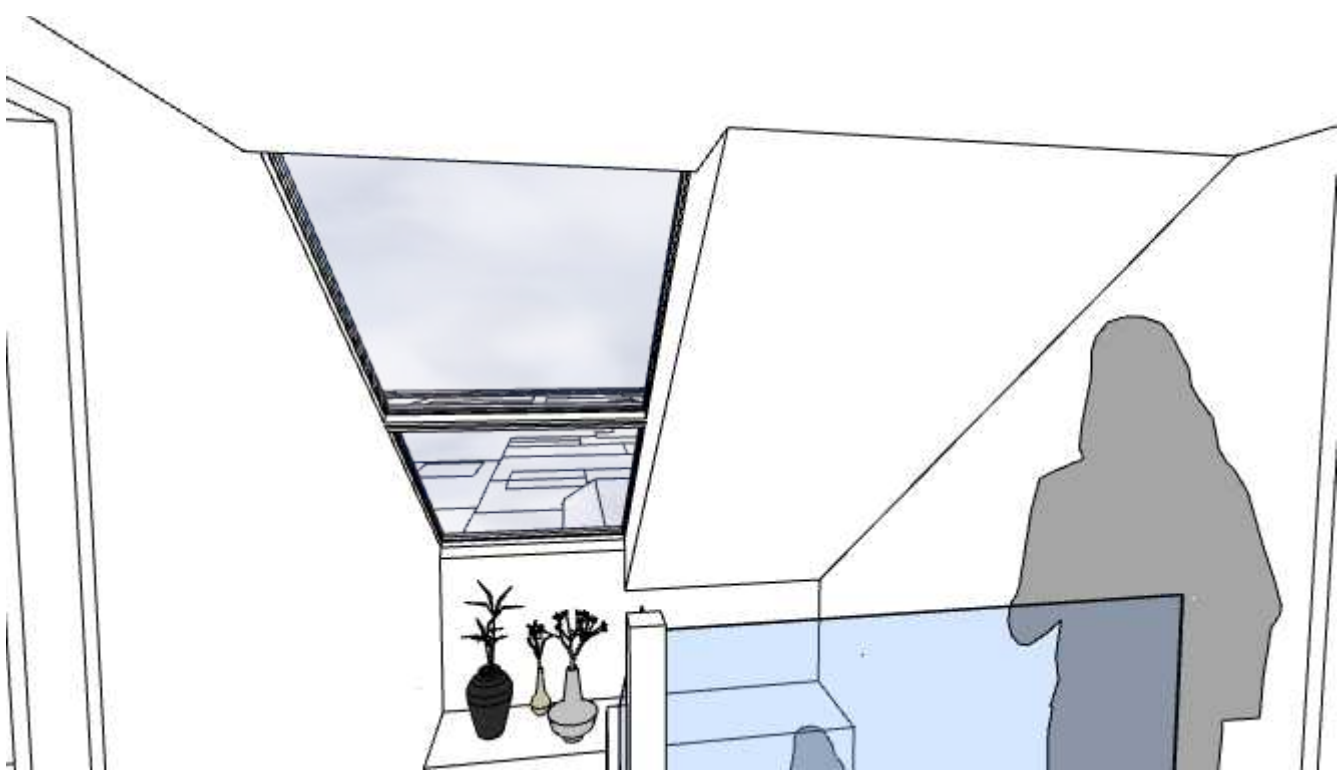
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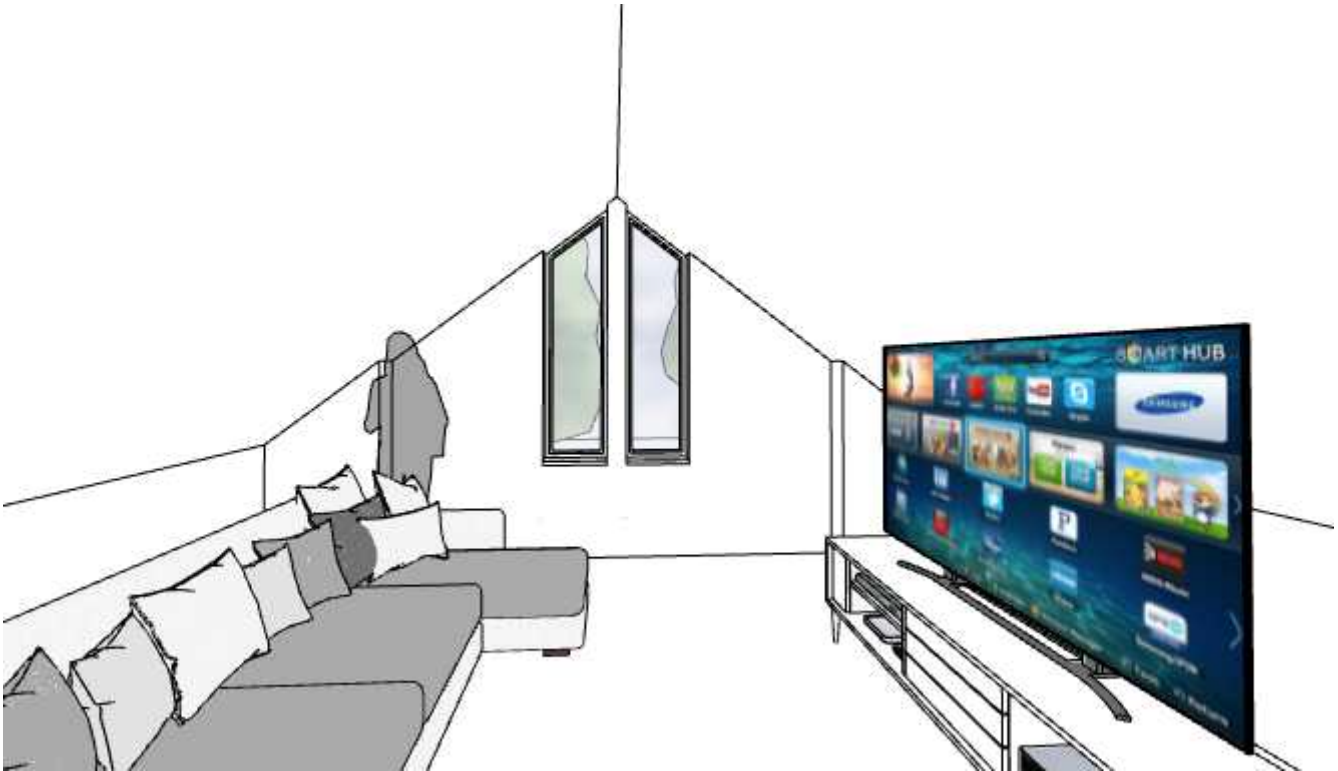
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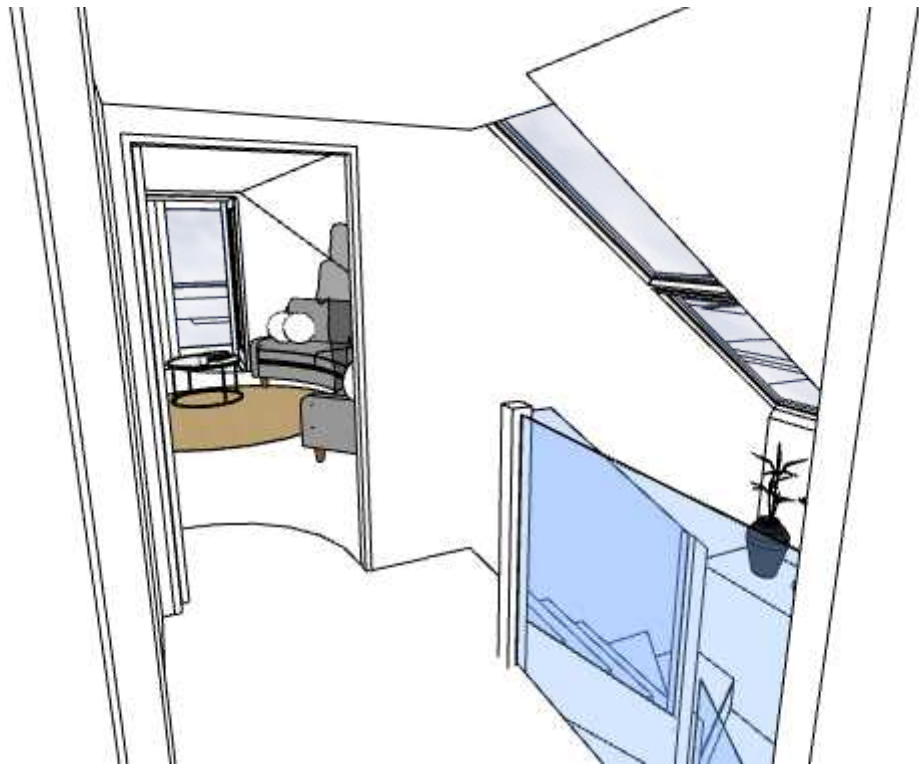
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View from second floor landing to amended window arrangement.



View to home cinema window.



View to loft landing



View to office window.

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KEY

[Pink box] = Proposed structure

[Red dash-dot line] = Site Boundary

Blue Silhouette -
previously approved
planning permission
volume in May 2025.
REF:
44609/APP/2025/483

No. 237

No. 239

No. 241

Uppermost ridge height of proposed

Front Elevation

Address Client Date

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UB8 1NS

Hasil Makkar

September
2025

1:100 @ A3



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As Proposed (third application)
Elevations

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0427- PLA-

88_A

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