

Report of the Head of Development Management and Building Control Committee Report

Case Officer: **Analese Haynes**

43892/APP/2026/52

Date Application Valid:	12-01-2026.	Statutory / Agreed Determination Deadline:	24-04-2026
Application Type:	Householder	Ward:	Hillingdon East

Applicant: **Mr Garry Bates**

Site Address: **9 Pastures Mead**

Proposal: **Erection of single storey rear extension, and conversion of detached garage to a habitable use to use as a gym with WC**

Summary of Recommendation: **GRANT planning permission subject to conditions**

Reason Reported to Committee: **Required under Part 2 of the Planning Scheme of Delegation (Member call-in request)**



Summary of Recommendation:

GRANT planning permission subject to the conditions set out in Appendix 1.

1 Executive Summary

- 1.1 The application seeks planning permission for the erection of a single storey rear extension and the conversion of detached garage to a habitable use to use as a gym with WC.
- 1.2 The application has been called into committee by Councillor Bridges for the following reasons:
 - Overbearing impact and loss of light due to the height and proximity of the proposed rear extension.
 - Implications for protected trees (including TPO designated oak).
 - Concerns around garage conversion to habitable use and the precedent this may set.
 - Inaccuracies identified within the submitted drawings.
 - Potential impacts on parking, amenity space and the established character of this densely built close.
- 1.3 The main issues which shall be addressed within this committee report relate to the impact on neighbouring properties in terms of loss of light, overshadowing and the degree to which the scale of the extension would appear overbearing, as well as the impact on the design and impact on the character of the surrounding area, parking impact and trees.
- 1.4 The committee report seeks to provide a comprehensive assessment of the householder application and supporting documentation. All material planning considerations have been considered.
- 1.5 It is recommended that planning permission is granted subject to conditions (Appendix 1) by virtue that the development would not have a significant impact on the amenities of neighbouring properties, nor would it harm the character and appearance of the existing property and surrounding area. It also would not have a harmful impact on the highway network.

2 The Site and Locality

- 2.1 The application site comprises a two-storey detached property located within the cul-de-sac of Pastures Mead, Hillingdon. The property is linked to No.11 Pastures Mead by an attached garage structure.
- 2.2 The surrounding area is predominantly residential in character comprising similar two storey linked detached properties, many of which have benefited from extensions. The application site lies within an area protected by Tree Preservation

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Order, with one large Oak tree located directly outside of the property. The site has a PTAL ranking of 2. The site is not located within a Conservation Area, nor within the setting of a Conservation Area.

Figure 1: Location Plan (application site edged red)



Figure 2: View of the front of the Application Property



Figure 3: Photograph of Garage subject of the planning application located on the left side. The neighbouring garage (right side) is currently being converted in line with an existing planning permission.



Figure 4: Photograph of Rear Elevation of Property and Relationship to 7 Pastures Mead on Right Side of Image

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Figure 5: Photograph of Rear Elevation of Property and Relationship to 11 Pastures Mead on Left Side of Image

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3 Proposal

- 3.1 Planning permission is sought for the erection of single storey rear extension, and conversion of detached garage to a habitable use to use as a gym with WC.
- 3.2 During the process of the application, revised drawings were submitted to include two existing sheds onto the existing block plan which did not trigger a second period of consultation because no changes were made to the proposed plans.

Figure 6: Proposed Block Plan

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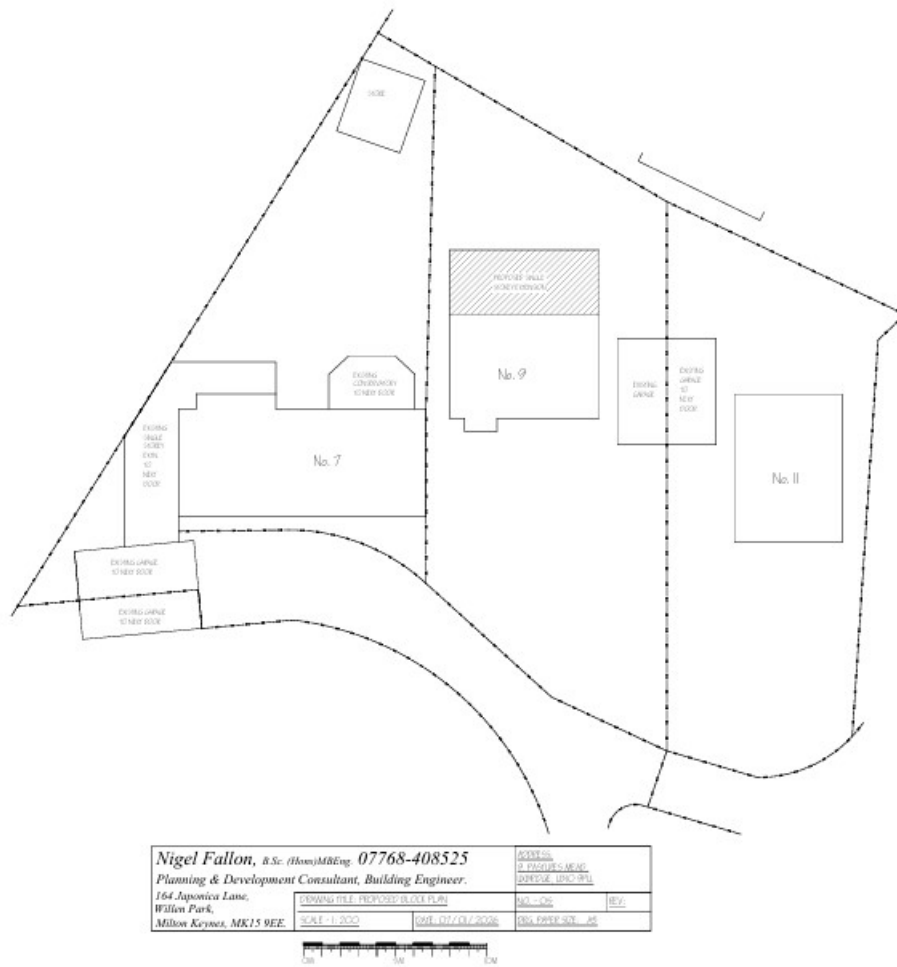


Figure 7: Proposed Ground Floor Plan

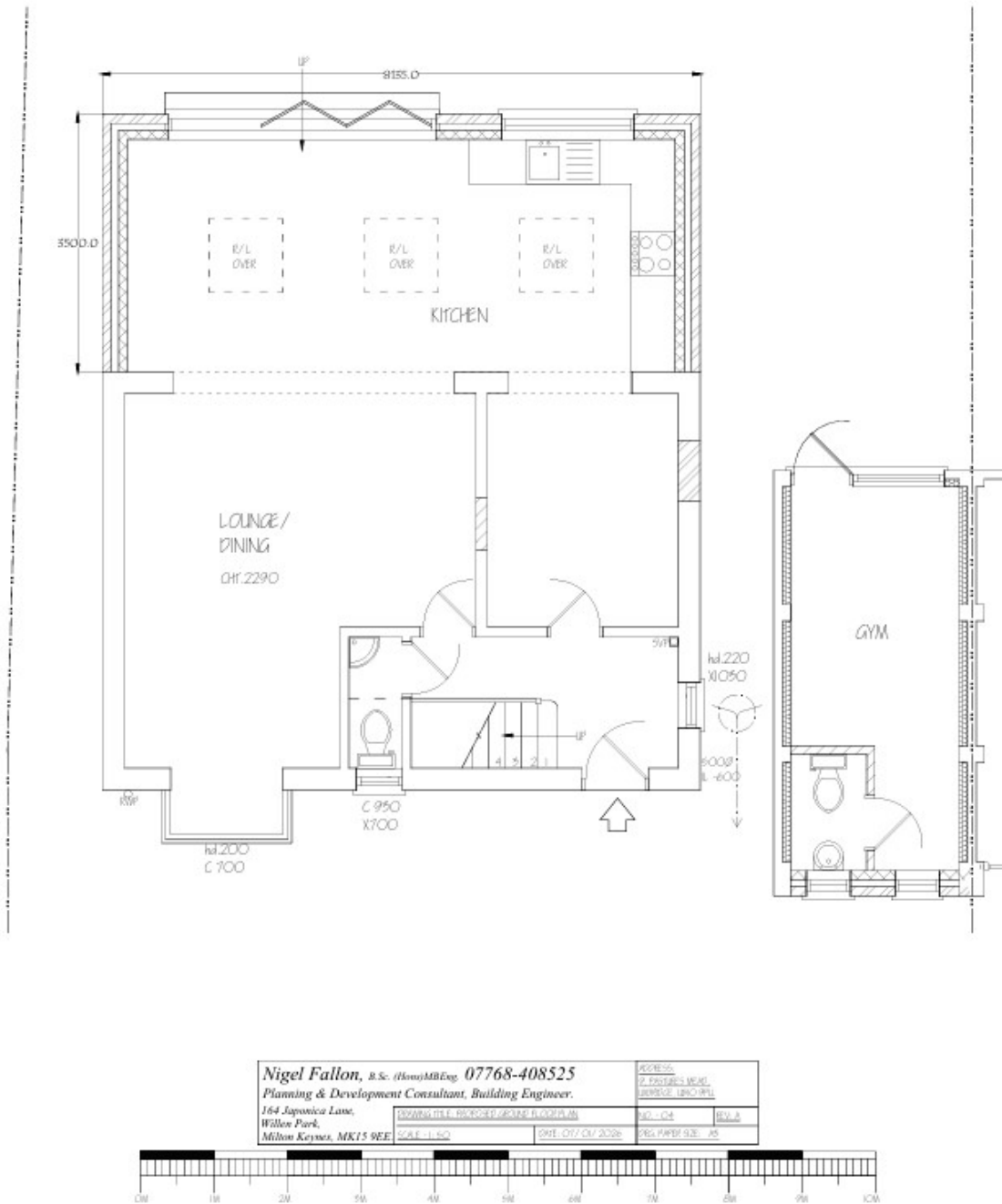
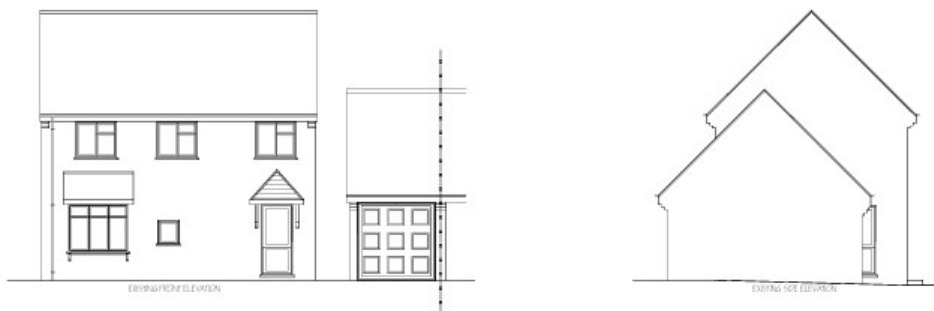


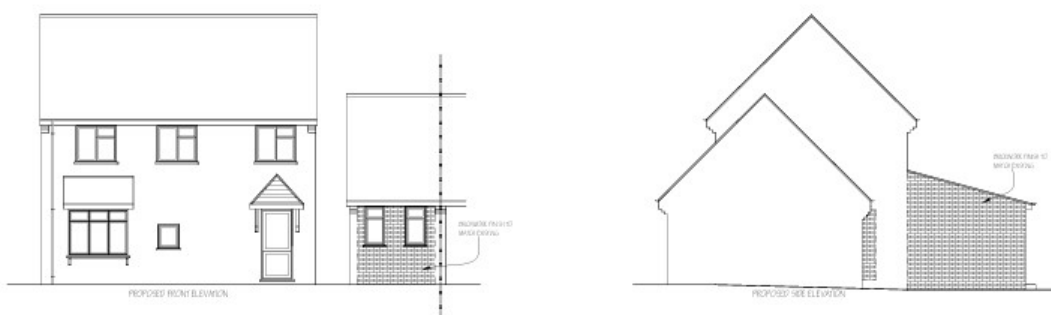
Figure 8: Proposed Elevations



Figure 9: Existing Elevations



Nigel Fallon, B.Sc. (Hons) MRBEng 07768-408525 Planning & Development Consultant, Building Engineer.		ADDRESS: 164 JAPONICA LANE WILTON PARK MILTON KEYNES MK15 9EF
DRAWING TITLE: EXISTING FRONT ELEVATION	NO: 132	REV: A
SCALE: 1:100	DATE: 07/07/2024	DRG. PAPER SIZE: A3



4 Relevant Planning History

4.1 A list of the relevant planning history related to the property can be found in Appendix 2.

5 Planning Policy

5.1 A list of planning policies relevant to the consideration of the application can be found in Appendix 3.

6 Consultations and Representations

6.1 Seven neighbouring properties and Pastures Mead Resident Association were consulted on the application by letter dated 20/01/26.

6.2 Internal consultations were sent to the Highway's Authority and a summary of the comments received are noted below in Table 2.

6.3 Representations received in response to public consultation are summarised in Table 1 (below). Consultee responses received are summarised in Table 2 (below). Full copies of the responses have also separately been made available to Members.

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Table 1: Summary of Representations Received

Representations	Summary of Issues Raised	Planning Officer Response
<p>3 letters of objections from neighbouring properties, non-neighbouring properties and 1 objection for a Cllr have been received.</p>	<p>I. Overbearing impact and loss of light to neighbouring property creating a cumulatively enclosed feeling when paired with the neighbouring block of flats.</p>	<p>This is discussed at sections 7.8 to 7.13 of this report.</p>
	<p>II. Concerns regarding the impact of the garage conversion were raised stating that there is no existing precedent for garages being converted into habitable space therefore the proposal would appear out of keeping with the wider area. There were also concerns regarding the impact of the garage conversion on the root protection zone of a protected Oak tree.</p>	<p>This is discussed at sections 7. 8 to 7.13 of this report.</p>
	<p>III. Additional parking stress exacerbated by the loss of a parking space</p>	<p>Comments from the Highway's Authority state that the loss of garage space would be unlikely to add to parking stress given that two parking spaces will be retained on the front forecourt.</p>
	<p>IV. Plans do not show existing outbuildings, protected trees, and shared access drives.</p>	<p>The applicants block plan has been updated to include the existing outbuildings and protected trees.</p>
	<p>V. Rear extensions have been refused at neighbouring properties</p>	<p>While noted, an adequate amount of rear amenity space has been retained in</p>

	to maintain adequate amenity space and living conditions	accordance with Table 5.3: Private Outdoor Amenity Space Standards. This matter is further addressed in the relevant section of the report below.
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Table 2: Summary of Consultee Responses

Consultee and Summary of Comments	Planning Officer Response
<p>Highways Authority</p> <p>Statistically speaking domestic garages are generally not used for housing a vehicle coupled with the fact that on-plot parking is to remain on the frontage area there are no envisaged highway related implications or demands imposed on this application.</p>	<p>The comments are noted.</p>

7 Planning Assessment

Design

- 7.1 The proposed development involves the erection of a single storey rear extension which measures approximately 3.5 metres in depth. It would be characterised by a mono-pitched roof with a maximum height of 3.55 metres which tapers to an eaves height of 2.55 metres at the lowest point.
- 7.2 It is considered that the extension would be a modest, subordinate addition to the property, the design of which relates appropriately to the host dwelling in terms of its appearance and would be constructed from matching materials. The extension would be located to the rear of the property and therefore would not be visible in public views.
- 7.3 The proposed rear extension would be modest in scale and would comply with the maximum permitted dimensions set out under Policy DMHD 1, which states that single storey rear extensions to detached houses with a plot width of 5 metres or more should not exceed 4.0 metres in depth.
- 7.4 Within the context of the area single storey extensions have previously been approved at numbers 1, 20 and 22 Pastures Mead. Consequently, there is some precedent for small rear and side extensions within the area where retention of adequate garden space is retained.
- 7.5 The rear extension would not impact visually on the street scene due to its location to the rear of the property. In addition, the extension would appear subordinate in scale to the host dwelling given the modest depth and eaves height.

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- 7.6 Whilst Permitted Development rights have been removed from the properties on Pastures Mead, this would not preclude development that would otherwise be compliant with the policies in the local plan which are duly addressed in this report.
- 7.7 The proposal includes the conversion of an existing attached garage to a habitable use which would involve replacing the garage door with a window and reconfiguring the internal layout to include a W/C.
- 7.8 It is considered that the proposed garage conversion and changes to the front elevation which would involve infilling the area covered by the door opening with a brickwork finish to match the existing garage, as well as the insertion of two front facing windows relate appropriately to the application property, the character and appearance of the immediate street scene.
- 7.9 It is noted that the neighbouring property (Number 11 Pastures Mead) has received recent planning approval (58721/APP/2025/2458 decision dated October 2025) to convert the other half of the attached garage to a habitable space, thus there is some precedent for minor alterations of this nature in Pastures Mead.
- 7.10 Having regard to the above it is considered that the proposed extension and conversion of the garage would relate appropriately in design terms to the host dwelling and the street scene in Pastures Mead. Therefore, the proposed development would comply with Policies DMHD 1 and DMHB 11 of the Hillingdon Local Plan: Part Two - Development Management Policies (2020); and Policies D4 and D6 of the London Plan 2021.

Residential Amenity

- 7.11 Number 11 Pastures Mead is located to the west and is set forward of the site within its respective plot by approximately 4.3 metres. The proposed rear extension would be set away from the boundary with No.11 by approximately 3.7 metres allowing reasonable separation distance. The attached garages along the shared boundary also restrict views of the extension from the rear of No.11. Given the siting of both properties within their respective plot, it is considered that the proposed rear extension would have minimal impact on the residential amenity of the occupiers of number 11 Pastures Mead in terms of light and outlook.

Figure 9: Photograph showing the space between the side of the property and No.11 Pastures Mead



7.12 Number 7 Pastures Mead is located to the east of the site, and benefits from a generously sized south facing detached rear garden. No.7 is set forward from number 9 by approximately 5.2 metres therefore the proposed rear extension would result in a projection of 4.9 metres beyond the rear of the glazed conservatory at No.7 Pastures mead. Whilst the occupiers of No.7 would experience some loss of light to the conservatory accounting for the position of the dwelling and depth of the extension and south facing aspect of the conservatory the adjoining conservatory would still receive sunlight throughout a large proportion of the day. The majority of the south facing garden would continue to receive adequate sunlight throughout the day. The proposed rear extension would be set away from the boundary with number 7 by approximately 1.15 metres further reducing loss of light and outlook for the occupiers of number 7. Accounting for the limited depth of the extension, the aspect of the property and its relationship

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to No.7 it is considered that the extension would not have a significantly adverse impact on the amenity of this property.

Figure 10: Photograph showing current relationship between the application property and No.7 Pastures Mead



7.13 Given that the proposed rear extension would be single storey and would not have any side facing windows, the proposal would not result in a loss of privacy for future occupiers.

7.14 The proposed garage conversion would have no impact on the neighbouring properties in terms of light and outlook as the proposals do not extending the

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garage. In terms of privacy the proposed front windows in the garage provide similar views to that within the host dwelling at ground floor level and would therefore not give rise to privacy issues given their siting and position in relation to the neighbouring dwellings.

- 7.15 Overall, the proposed development would not impact detrimentally on the amenity of neighbouring properties and would comply with Policies DMHD 1 and DMHB 11 of the Hillingdon Local Plan: Part Two - Development Management Policies (2020).

Quality of Residential Accommodation (Internal and External)

Internal

- 7.16 It is considered that all the proposed habitable rooms, and those altered by the proposed development, would maintain adequate outlook and natural light, therefore complying with the requirements of Policy D6 of the London Plan (2021).

External

- 7.17 Table 5.3 of Policy DMHB 18 requires 2 - 3-bedroom properties to have a minimum of 60 sqm of private, well located external amenity space. Over 120sqm of private rear garden space would be retained post permission which accords with this standard.

Highways and Parking

- 7.18 Policy DMT 6 of the Hillingdon Local Plan: Part Two - Development Management Policies (2020) states that development proposals must comply with the parking standards outlined in Appendix C Table 1 to facilitate sustainable development and address issues relating to congestion and amenity
- 7.19 The proposed development would involve the conversion of an existing garage structure to a habitable space. Appendix C of the Local Plan Part 2 (2020) requires garages to measure 3m x 6m internally. The existing garage has internal dimensions of approximately 2.52m x 5.24m and would be classed as being of an insufficient size to house a modern vehicle. As such, the development would not technically result in the loss of a parking space where applying these standards. The front of the property is laid to hardstanding and has two dropped kerbs to facilitate off street parking for at least 2 vehicles. The proposed works would not result in an increased demand in parking or result in additional parking stress or otherwise impact negatively on highway safety and would comply with Policy DMT 6 of the Local Plan Part 2 (2020); and Policy T6.1 of the London Plan.

Trees and Landscaping

- 7.20 The application site is located within an area covered by a Tree protection order and has a large oak tree located outside of the host dwelling within an area of soft landscaping. The applicant has confirmed that the tree will remain intact and that

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no excavation works will be carried out at the front of the property to facilitate the conversion of the garage that would impact the protected oak tree. As such, the proposed development would comply with Policy DMHB 14 of the Hillingdon Local Plan: Part Two - Development Management Policies (2020).

- 7.21 A condition is recommended to ensure the existing trees and hedges that are shown to be retained on the proposed plans are not felled or removed as these are considered to make a positive contribution to the site. A further condition is attached to ensure that the tree is protected during construction works.

Drainage

- 7.22 The proposed development site is not located in Flood Zones 2 or 3. Nor is it located within a critical drainage area, or an area known for surface water flooding. As such, no additional information is required.

8 Other Matters

Human Rights

- 8.1 The development has been assessed against the provisions of the Human Rights Act, and in particular Article 1 of the First Protocol and Article 8 of the Act itself. This Act gives further effect to the rights included in the European Convention on Human Rights. In arriving at this recommendation, due regard has been given to the applicant's reasonable development rights and expectations which have been balanced and weighed against the wider community interests, as expressed through third party interests / the Development Plan and Central Government Guidance.

Equality

- 8.2 Due consideration has been given to Section 149 of the Equality Act with regard to the Public Sector Equality Duty in the assessment of this planning application. No adverse equality impacts are considered to arise from the proposal.

Local Finance Considerations and CIL

- 8.3 Not applicable. The proposed development is not CIL liable.

9 Conclusion / Planning Balance

- 9.1 The proposal is considered to comply with the Development Plan and no material considerations indicate that a contrary decision should be taken. Consequently, the application is recommended for approval subject to the conditions set out in Appendix 1 (below).

10 Background Papers

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10.1 Relevant published policies and documents taken into account in respect of this application are set out in the report. Documents associated with the application (except exempt or confidential information) are available on the [Council's website here](#), by entering the planning application number at the top of this report and using the search facility. Planning applications are also available to inspect electronically at the Civic Centre, High Street, Uxbridge, UB8 1UW upon appointment, by contacting Planning Services at planning@hillingdon.gov.uk.

APPENDICES

Planning Application

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Appendix 1: Recommended Conditions and Informatives

Conditions

1. HO1 **Time Limit**

The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

REASON

To comply with Section 91 of the Town and Country Planning Act 1990.

2. HO2 **Accordance with approved plans**

The development hereby permitted shall not be carried out except in complete accordance with the details shown on Drawing Refs:

Location Plan

01

02

03

04

05 Rev B

and shall thereafter be retained/maintained for as long as the development remains in existence.

REASON

To ensure the development complies with the provisions of the Hillingdon Local Plan: Part One - Strategic Policies (November 2012) and the Hillingdon Local Plan: Part Two - Development Management Policies (January 2020), and the London Plan (March 2021).

3. HO4 **Materials**

The materials to be used in the construction of the external surfaces of the development hereby permitted shall be in accordance with those shown on the approved plans and shall thereafter be retained as such.

REASON

To safeguard the visual amenities of the area and to ensure that the proposed development does not have an adverse effect upon the appearance of the existing building in accordance with Policy DMHB 11 of the Hillingdon Local Plan Part 2 (2020)

4. HO9 **Tree Protection**

Prior to the commencement of any site clearance or construction work, detailed drawings

showing the position and type of fencing to protect the entire root areas/crown spread of trees, hedges and other vegetation to be retained shall be submitted to the Local Planning Authority for approval. No site clearance works or development shall be commenced until these drawings have been approved and the fencing has been erected in accordance with the details approved. Unless otherwise agreed in writing by the Local Planning Authority such fencing should be a minimum height of 1.5 metres. The fencing shall be retained in position until development is completed. The area within the approved protective fencing shall remain undisturbed during the course of the works and in particular in these areas:

1. There shall be no changes in ground levels;
2. No materials or plant shall be stored;
3. No buildings or temporary buildings shall be erected or stationed.
4. No materials or waste shall be burnt; and.
5. No drain runs or other trenches shall be dug or otherwise created, without the prior written consent of the Local Planning Authority.

REASON

To ensure that the proposed development will preserve and enhance the visual amenities of the locality and provide adequate facilities in compliance with policies DMHB 11 and DMHB 14 of the Hillingdon Local Plan Part 2 (2020) and Policies G5, G6 and G7 of the London Plan (2021).

Informatives

1. I47 Damage to Verge - For Council Roads:

The Council will recover from the applicant the cost of highway and footway repairs, including damage to grass verges.

Care should be taken during the building works hereby approved to ensure no damage occurs to the verge or footpaths during construction. Vehicles delivering materials to this development shall not override or cause damage to the public footway. Any damage will require to be made good to the satisfaction of the Council and at the applicant's expense.

For further information and advice contact - Highways Maintenance Operations, Central Depot - Block K, Harlington Road Depot, 128 Harlington Road, Hillingdon, Middlesex, UB3 3EU (Tel: 01895 277524).

For Private Roads: Care should be taken during the building works hereby approved to ensure no damage occurs to the verge of footpaths on private roads during construction. Vehicles delivering materials to this development shall not override or cause damage to a private road and where possible alternative routes should be taken to avoid private roads. The applicant may be required to make good any damage caused.

2. I15 Control of Environmental Nuisance from Construction Work

Nuisance from demolition and construction works is subject to control under The Control of Pollution Act 1974, the Clean Air Acts and other related legislation. In particular, you should ensure that the following are complied with:-

A. Demolition and construction works which are audible at the site boundary shall only be carried out between the hours of 08.00 and 18.00 hours Monday to Friday and between the hours of 08.00 hours and 13.00 hours on Saturday. No works shall be carried out on Sundays, Bank or Public Holidays.

B. All noise generated during such works shall be controlled in compliance with British Standard Code of Practice BS 5228:2009.

C. Dust emissions shall be controlled in compliance with the Mayor of London's Best Practice Guidance 'The Control of dust and emissions from construction and demolition.

D. No bonfires that create dark smoke or nuisance to local residents.

You are advised to consult the Council's Environmental Protection Unit (www.hillingdon.gov.uk/noise Tel. 01895 250155) or to seek prior approval under Section 61 of the Control of Pollution Act if you anticipate any difficulty in carrying out construction other than within the normal working hours set out in (A) above, and by means that would minimise disturbance to adjoining premises.

3. I2 Encroachment

You are advised that if any part of the development hereby permitted encroaches by either its roof, walls, eaves, gutters, or foundations, then a new planning application may have to be submitted. The validity of this planning permission may be challengeable by third parties if the development results in any form of encroachment onto land outside the applicant's control for which the appropriate Notice under Article 13 of the Town and Country Planning (Development Management Procedure) (England) Order 2015 has not been served.

4. I52 Compulsory Informative (1)

The decision to GRANT planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

I53 Compulsory Informative (2)

The decision to GRANT planning permission has been taken having regard to the policies and proposals in the Hillingdon Local Plan Part 1 (2012) and Part 2 (2020) set out below,

including Supplementary Planning Guidance, and to all relevant material considerations, including The London Plan (2021) and national guidance.

DMHB 11	Design of New Development
DMHB 12	Streets and Public Realm
DMHB 14	Trees and Landscaping
DMHB 18	Private Outdoor Amenity Space
DMHD 1	Alterations and Extensions to Residential Dwellings
DMT 2	Highways Impacts
DMT 6	Vehicle Parking
LPP D3	(2021) Optimising site capacity through the design-led approach
LPP D4	(2021) Delivering good design
LPP D6	(2021) Housing quality and standards
LPP G7	(2021) Trees and woodlands
NPPF12 -24	NPPF12 2024 - Achieving well-designed places

Appendix 2: Relevant Planning History

Appendix 3: List of Relevant Planning Policies

The following Local Plan Policies are considered relevant to the application:-

Part 1 Policies:

PT1.BE1 (2012) Built Environment

Part 2 Policies:

DMHB 11 Design of New Development

DMHB 18 Private Outdoor Amenity Space

DMHB 12 Streets and Public Realm

DMHB 14 Trees and Landscaping

LPP D3 (2021) Optimising site capacity through the design-led approach

DMHD 1 Alterations and Extensions to Residential Dwellings

LPP G7 (2021) Trees and woodlands

DMT 2 Highways Impacts

DMT 6 Vehicle Parking

LPP D6 (2021) Housing quality and standards

LPP D4 (2021) Delivering good design

NPPF12 -24 NPPF12 2024 - Achieving well-designed places