



Design & Access Statement

Maple and Poplar Hayes UB4 9NQ

Addendum November 2022



Prepared by:

Kasia Szlachta
MSc Arch, ARB

Contact:

Baily Garner LLP
146-148 Eltham Hill
London SE9 5DY
T. 020 8294 1000
F. 020 8294 1320

www.bailygarner.co.uk

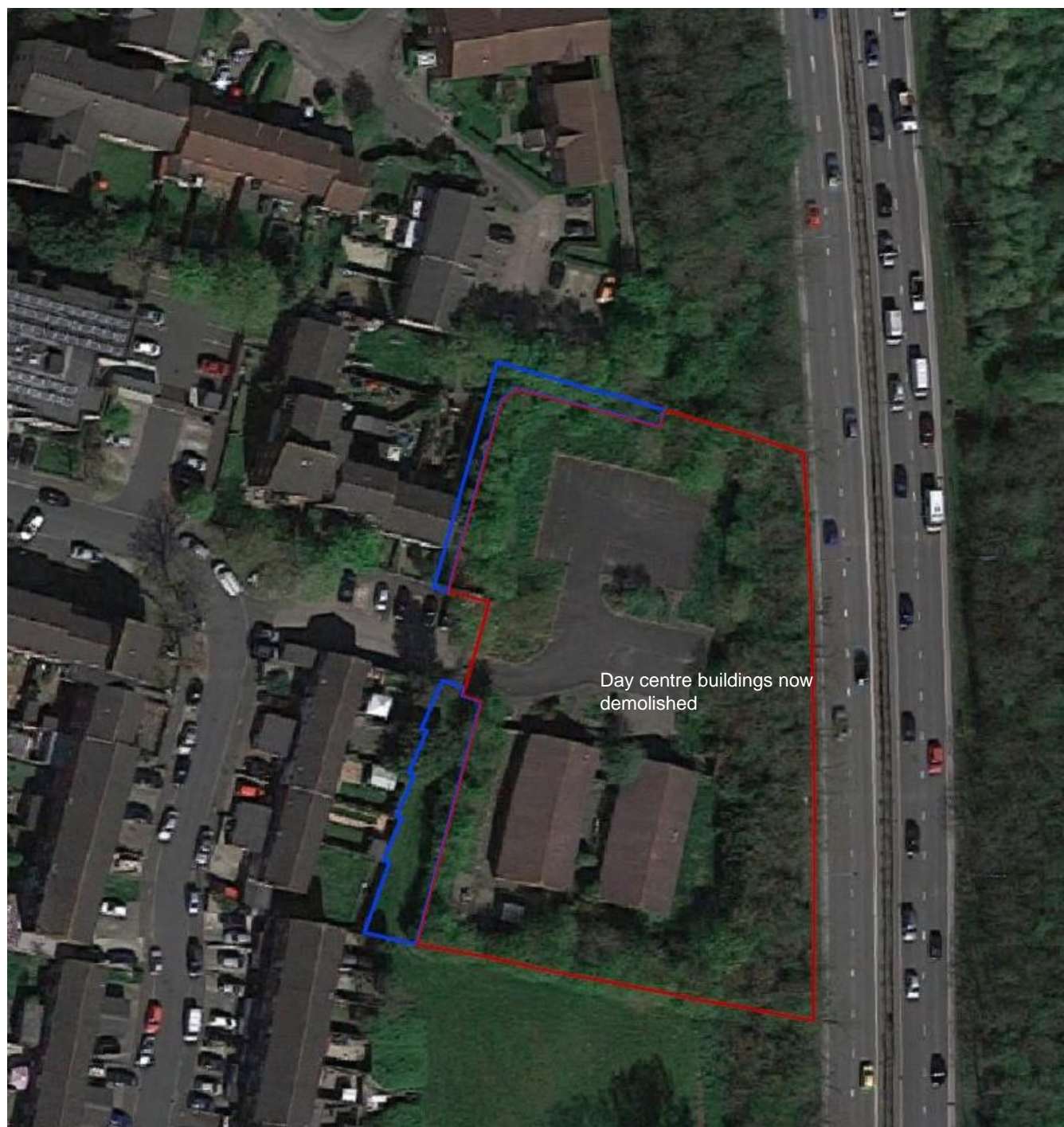
Authorised For Issue:

Michelle Minogue
ARB, RIBA

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1.0 INTRODUCTION



Satellite View (image courtesy of © Google Street View)

This Design Statement has been prepared by Baily Garner LLP on behalf of the applicant The London Borough of Hillingdon, in connection with the development proposed at Maples and Poplars Day Centre site, Hayes UB4 9NQ

The initial scheme, planning ref. 43762/APP/2018/396, approved on 12.10.2018, included the demolition of all existing buildings and erection of 2no three - storey residential buildings comprising of 34 affordable units.

As part of the detailed design development stage, the diversion costs obtained in relation to the Affinity Water main to the north of the site have resulted in the need to look at alternative development approaches. We have been asked to consider options for achieving the same number of units as the approved scheme, with a revised footprint and massing, in order that the prohibitive diversion costs are not incurred.

The appointed design team and contractor, have worked collaboratively with the Client, to accommodate a 3m easement zone for the water main by reducing the footprint of the North block whilst still seeking to retain the original number of units.

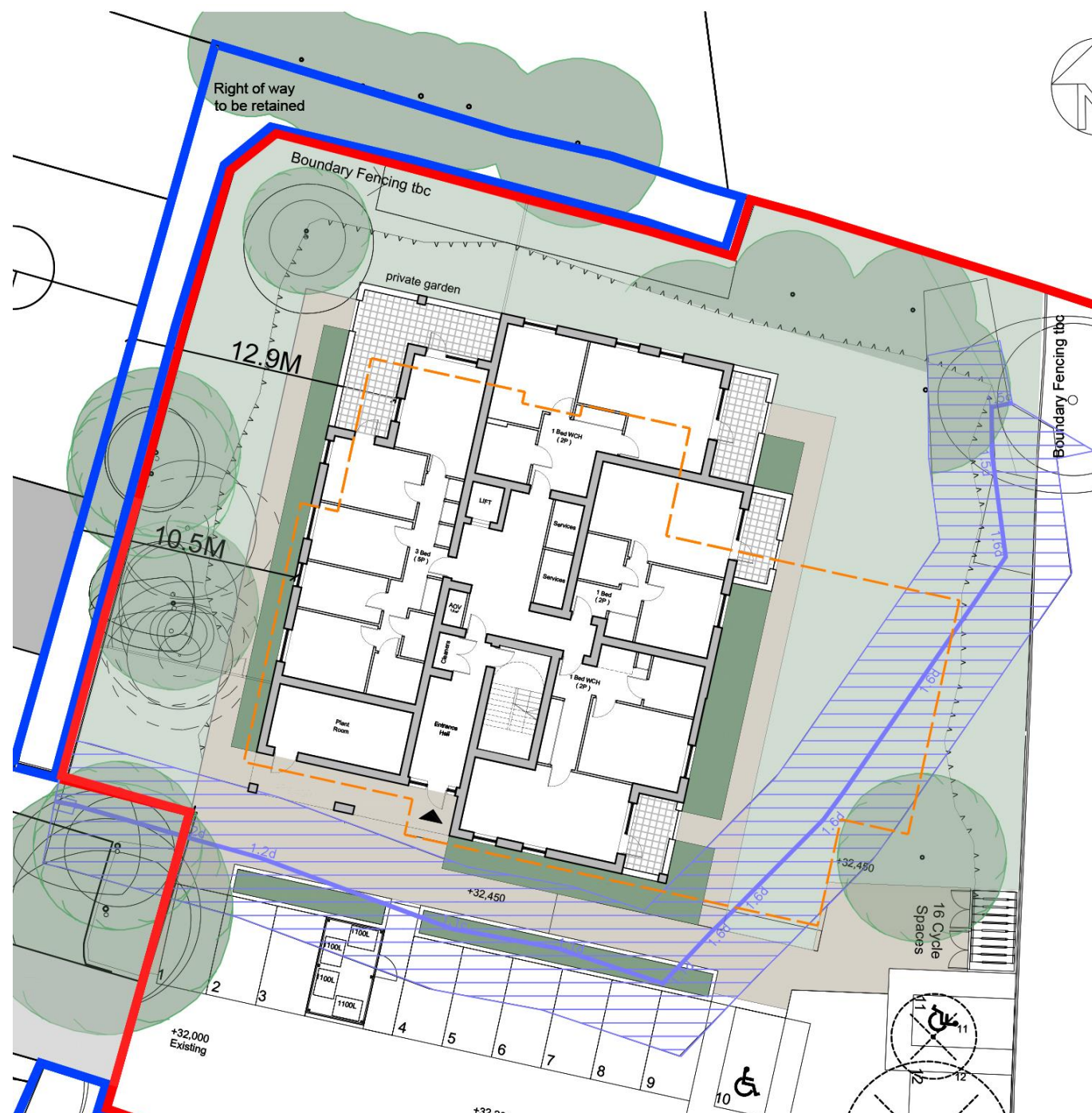
This report is addendum to the Design and Access Statement and should be read alongside with the updated reports as a supplement. The following pages describe the changes and present a side-by-side comparison of the previously submitted design with the new proposed amendments.

The design principles and concept summarized in the original Design and Access Statement are still valid and retained:

- High quality design led approach
- Respond to local character and scale
- Create a green, secure and uplifting place to live .

— Site Boundary — Existing right of way

2.0 AMENDMENTS SUMMARY

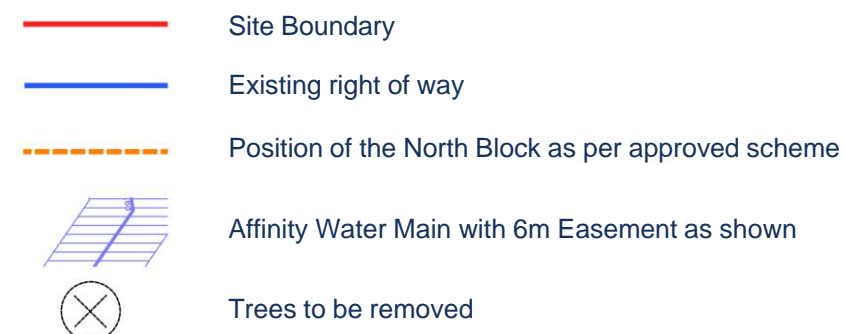


Proposed Site Plan

Various iterations to the North Block have been tested to explore options for retaining the approved number of units whilst avoiding the need for diversion. The proposed North block has been developed through detailed design work, discussions with council officers and design team of the appointed contractor to minimise the changes to the approved scheme.

This Design Statement summarizes the proposed amendments which are broadly as follows:

- Update of the North building footprint
 - footprint reduction due to 3m easement zone
 - update of the internal layouts to accommodate 3-bedroom unit at ground floor
 - there is no change to the total number of units – 17 residential units in total
- Update of the external elevations:
 - increase in height – 4-storey block with a top floor setback to reduce the visual appearance
 - omission of corten cladding and replaced with brickwork to ensure consistency with the South Block
- Update of the site plan
 - update of the car parking arrangement and location of cycle and bins stores – car parking to include 36 spaces in total



3.0 TECHNICAL CONSIDERATIONS

Each design discipline technical consideration are listed below:

Architecture:

- There is no change to the total number of units. However, the unit mix has been updated to meet the current housing needs of the local community. The scheme now proposes 1-, 2- and 3-bedroom units as follows:

1Bed/2P Flat - 6 No	35%
2Bed/3P Flat – 8 No	47%
2Bed/4P Flat – 2 No	12%
3Bed/5P Flat – 1 No	6%

- The proposal includes 2 wheelchair accessible dwellings, representing 10% of the total units. They are designed to meet the standards for Category 3 M4(3) dwellings, with all remaining units designed to the standards for Category 2 M4(2) dwellings, as set out in approved Document M to the current Building Regulation.
- Attention was given to the impact of height and massing of development on neighbouring properties. The top floor has been set back and the balconies re-positioned from the west elevation to the north to prevent overlooking to adjoining dwellings.

Landscaping

- The proposed development will not result in any major changes to the landscaping scheme previously approved.
- The immediate landscape treatment around the North Block incorporates all the detail and material changes currently being discharged by Neilcott with the South Block.
- Approval of details Ref: 43762/APP/2022/1663 Detail pursuant to Condition 6 (Landscaping)

Car parking and Transport:

- The proposed development will not result in any changes to the access arrangements approved as part of planning permission.
- New proposed car parking layout include 36no spaces in total, including 4no disabled spaces and 2no motorcycle spaces.

- The transport consultant has been instructed to update the Transport Assessment and Travel Plan to reflect the new development proposal and ensure we are still providing a sustainable development.
Please refer to updated Transport Assessment.

Energy Strategy:

- The energy consultant have been instructed to carry out a review of the energy strategy for the site and prepare updated Energy Statement.

Arboriculture:

- The arboriculture consultant have been instructed to update the open space proposal to reflect the amended scheme.
- The specialist confirmed that development provides an opportunity to enhance the site with new landscaping and can proceed without causing harm to the existing trees.
Please refer to updated Arboriculture 11.11.2022

Flood Risk:

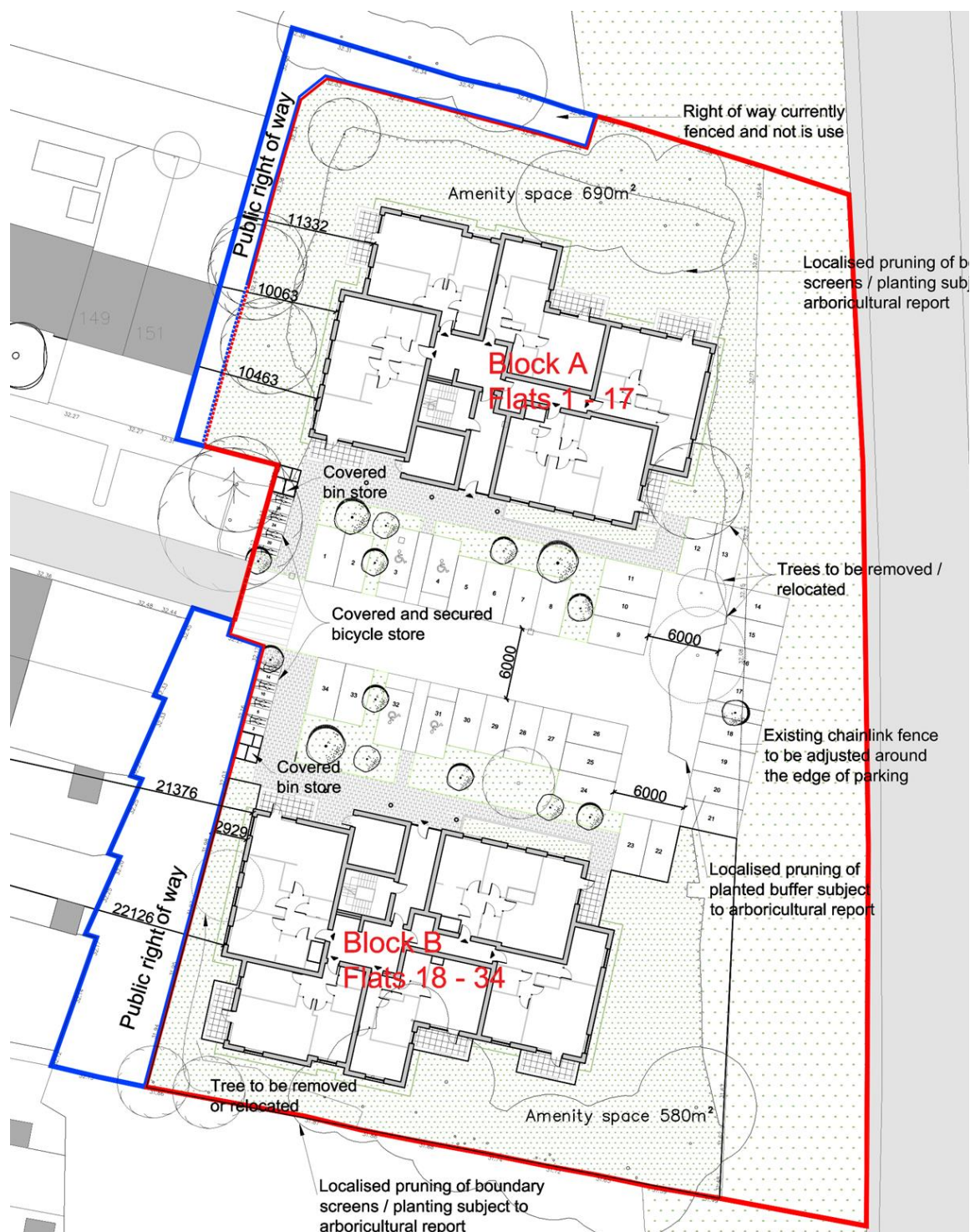
- The revised site layout has been sent to the drainage consultant for review and update their designs and reports.
- The specialist consultant confirmed that the flood risk to the site is low, reasonable and acceptable.
Please refer to updated Flood Risk Assessment 07.11.2022

Fire Strategy:

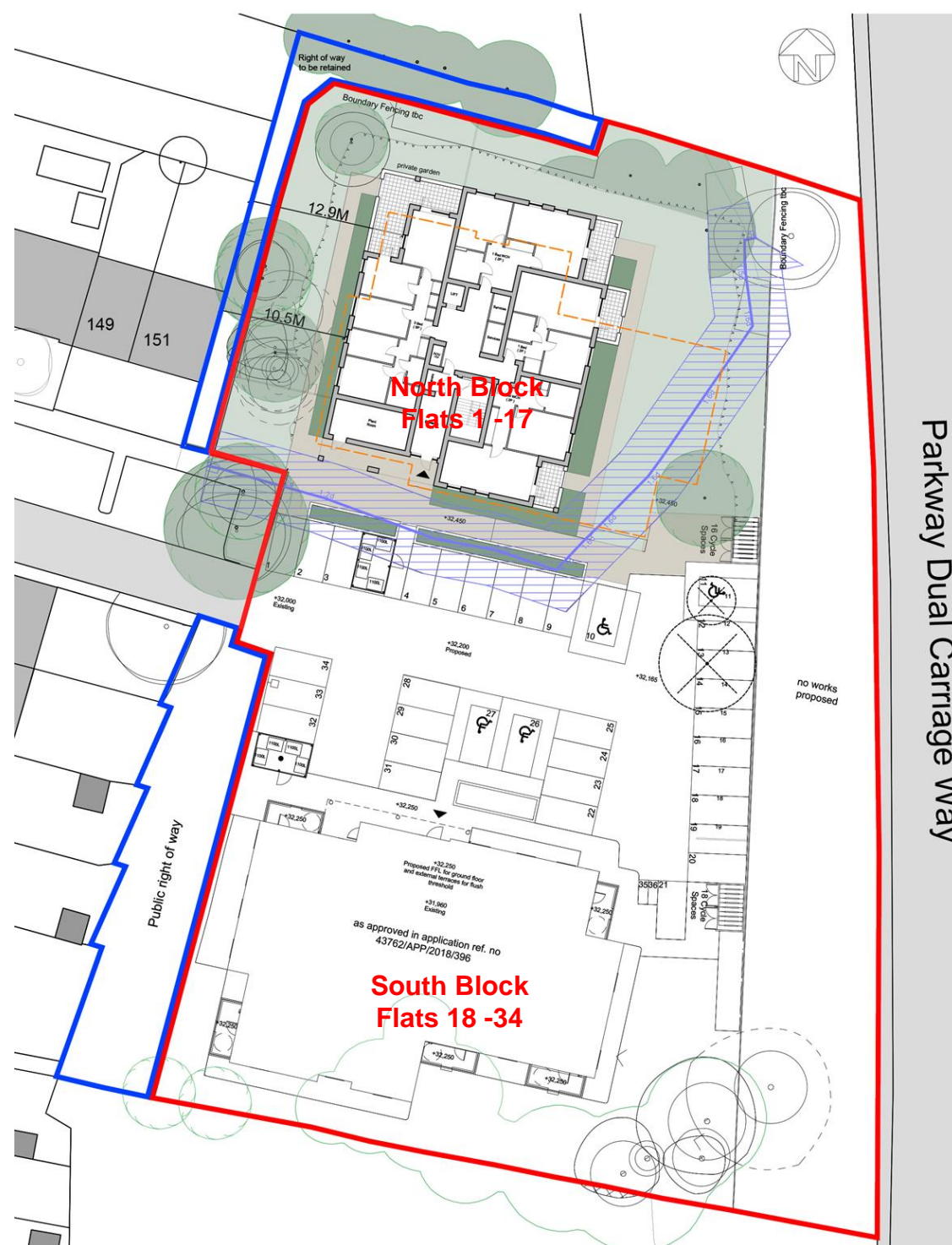
- The fire consultant has been instructed to carry out a review that the design of the building takes into account the current building regulations and guidance.
Please refer to updated Fire Statement Policy D12 (Fire Safety).

4.0 SITE PLAN

Approved Site Plan



Proposed Revised Site Plan

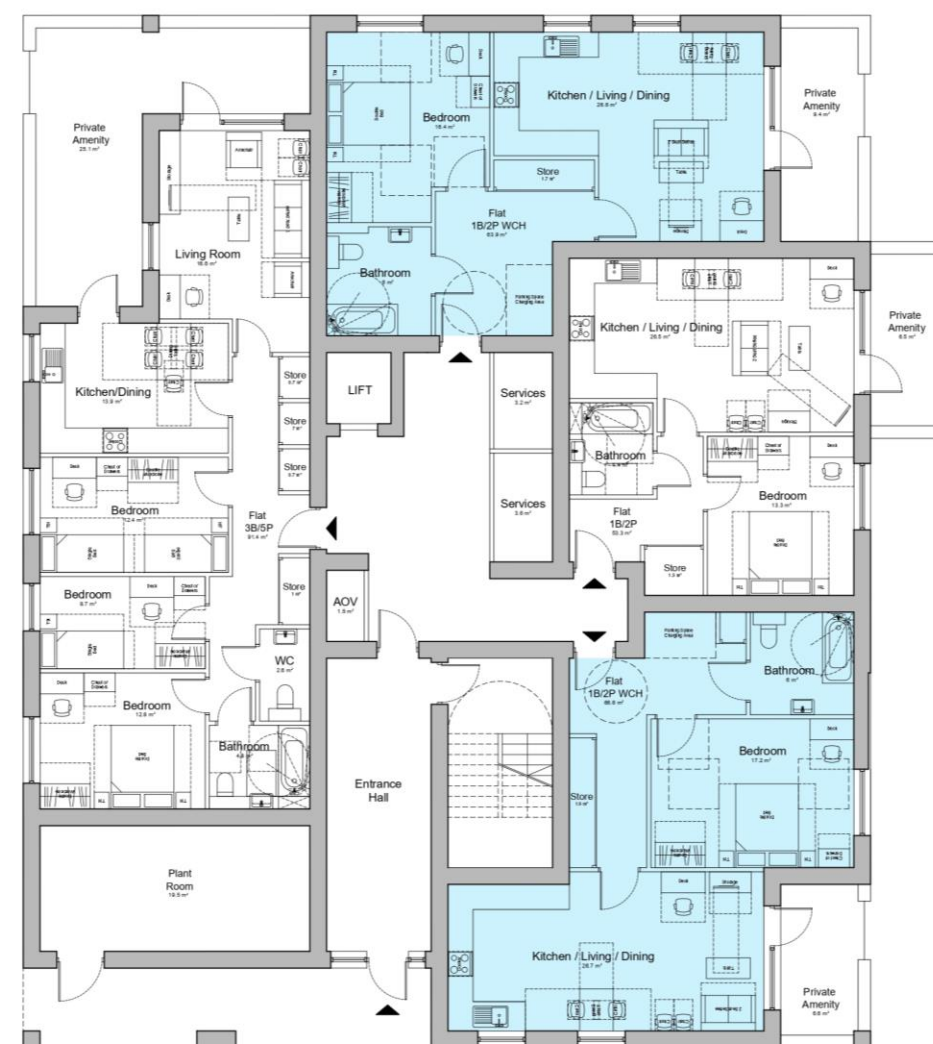


5.0 GROUND FLOOR

Approved Ground Floor Plan – Block A



Proposed Revised Ground Floor Plan – North Block



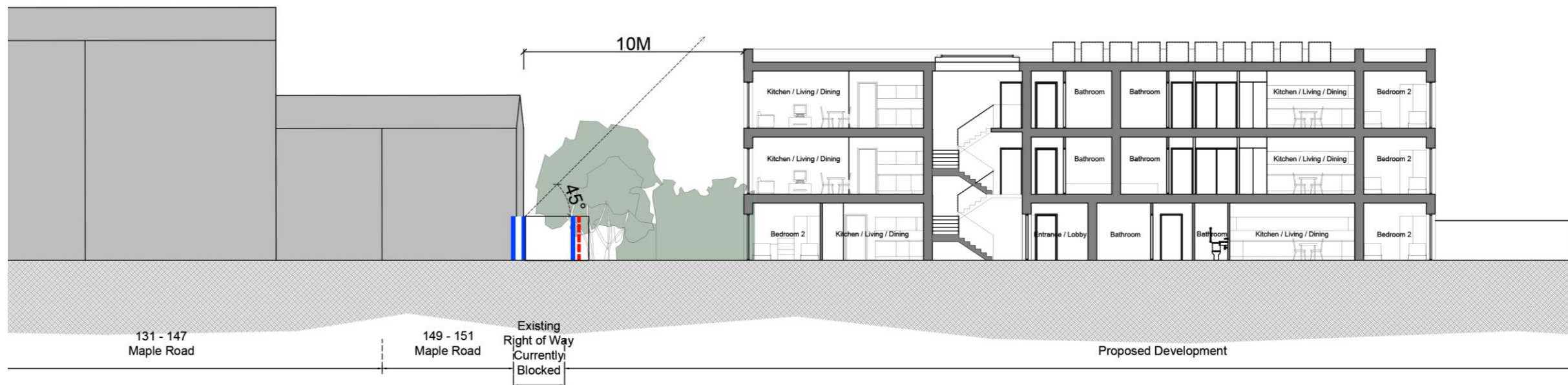
Wheelchair Accessible Unit

As a result of the changes in unit mix, the following changes have been made to the internal layout at ground floor level:

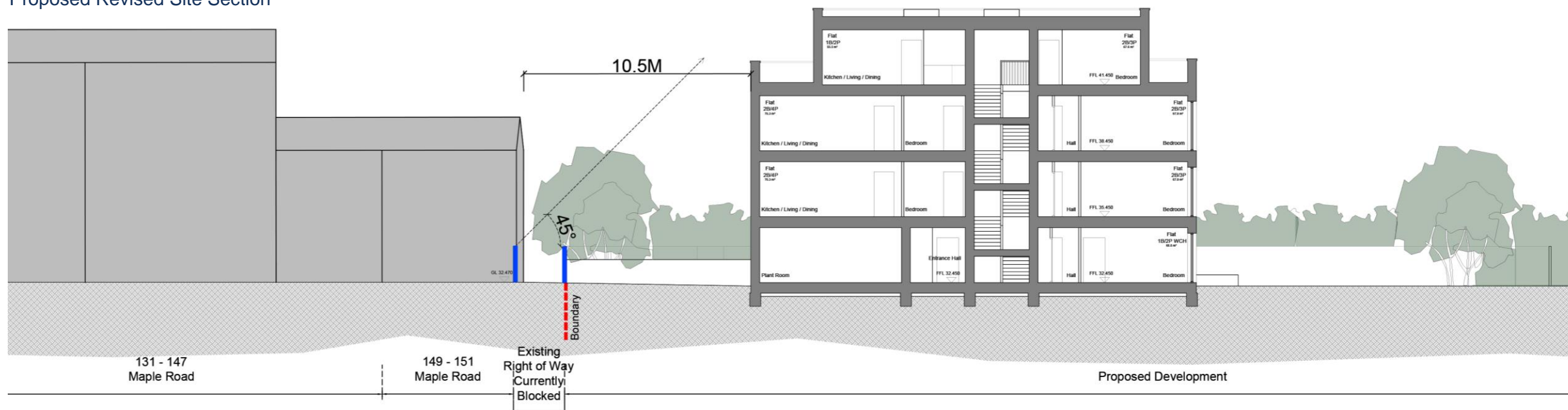
- Five 2B4P have been replaced by one 3B5P and three 1B2P units .
- Two 2B4P wheelchair accessible has been relocated and replaced by two 1B2P units.
- Reduction of number of habitable room windows on west elevation to avoid overlooking to adjoining property No. 151 Maple Road.
- Re-position of the balconies on the first and second floor of the block facing No. 151 Maple Road to its north elevation.

6.0 SITE SECTION

Approved Site Section



Proposed Revised Site Section



The site section above shows that there is no changes to relationships to neighbouring buildings. The proposed massing is formed to retain good daylighting levels to 151No Maple Road. To reduce the impact of the height top floor has been set back and all balconies have been re-positioned from the west elevation to the north to prevent overlooking to adjoining property.

7.0 MATERIALITY

Approved South Elevation



Materials

- 1 - Corten Steel Cladding
- 2 - Grey / Blue facing brickwork
- 3 - Buff Yellow facing brickwork
- 4 - UPVC Windows Grey Colour
- 5 - Glass balustrade
- 6 - Grey PPC aluminium capping to parapet
- 7 - Grey / Blue brickwork detail
- 8 - Glass block detail
- 9 - Entrance signage



Proposed Revised South Elevation



Materials

- 1 - Buff Brick - Caversham Mixture
- 2 - Grey Brick - Crest Nero Black
- 3 - Ochre Brown Brick
- 4 - Grey brickwork detail
- 5 - Glass balustrade
- 6 - UPVC grey windows
- 7 - Grey PPC aluminium capping to parapet



The design intent for the development is to achieve similar external appearance to the approved scheme in terms of bricks types, window sizes and balcony types. As a result of this approach the following has been incorporated into the new elevations:

- A corten steel cladding has been omitted and replaced by ochre brown brick. This is in keeping with the changes included within a NMA changes for South Block.
- The entrance has been emphasised by forming a set back at ground floor.
- A grey brick has been proposed at top floor to break down the mass of the building.
- Grey brickwork detail has been applied at the ground level.

8.0 SCHEDULE OF ACCOMMODATION

Approved Schedule of Accommodation (Block A)

Proposed Schedule of Accommodation for Block A 3 storey block						
Flat		2 BED	No.	Area	Hr	THr
Ground Floor						
1-5	2BED/4P Flat (A)	3	3	70-71.5m ²	3	9
	2BED/4P Flat (B) <small>Wheelchair unit</small>	2	2	91.0m ² -93.0m ²	3	6
First Floor						
6-11	2BED/4P Flat	6	6	70-71.5m ²	3	18
Second Floor						
12-17	2BED/4P Flat	6	6	70-71.5m ²	3	18
TOTALS						
		17	17			51

Proposed parking spaces for dwellings - 34 spaces including:

- 4 x disabled parking bays
- 2 x motorcycle parking spaces

Proposed Revised Schedule of Accommodation (North Block)

Proposed Schedule of Accommodation for North Block 3/4 storey block								
Flat		1 BED	2 BED	3 BED	No.	Area	Hr	THr
Ground Floor								
1 - 4	1BED/2P Flat	1			1	53.3m ²	2	2
	1BED/2P Flat <small>Wheelchair unit</small>	1			1	63.9m ²	2	2
	1BED/2P Flat <small>Wheelchair unit</small>	1			1	66.6m ²	2	2
	3BED/5P Flat			1	1	91.4m ²	4	4
First Floor								
5 - 9	1BED/2P Flat	1			1	53.2m ²	2	2
	2BED/3P Flat		3		3	64-68m ²	3	9
	2BED/4P Flat		1		1	75.3m ²	3	3
Second Floor								
10 - 14	1BED/2P Flat	1			1	53.2m ²	2	2
	2BED/3P Flat		3		3	64-68m ²	3	9
	2BED/4P Flat		1		1	75.3m ²	3	3
Third Floor								
15 - 17	1BED/2P Flat	1			1	55.5m ²	2	2
	2BED/3P Flat		2		2	64-68m ²	2	4
TOTALS								
		6	10	1	17			44

Proposed parking spaces for dwellings - 36 spaces including:

- 4 x disabled parking bays
- 2 x motorcycle parking spaces

9.0 AMENDED APPLICATION DOCUMENTS

Condition 2 of the approved planning notice (below) lists the approved drawings and for ease of comparison we have listed them below and put alongside the current equivalent proposal.

Condition 2

The development hereby permitted shall not be carried out except in complete accordance with the details shown on the submitted plans, numbers:- PL 10, PL 11, PL 12 Rev A, PL 13, PL 14 Rev A, PL 01, PL 15 Rev A, PL 22, PL 16 Rev A, PL 21, PL 17 Rev A, PL 18, PL 19, PL 20, PL 23 and PL 24 and shall thereafter be retained/maintained for as long as the development remains in existence.

Approved Drawings

PL 01 Site Location Plan

PL 10 Proposed Site Plan

PL 11 RevA_Proposed Ground Floor Plan

PL 12 RevA_Proposed First Floor Plan

PL 13 RevA_Proposed Second Floor Plan

PL 14 RevA_Proposed Roof Plan

PL 15 RevA_Proposed South and West Elevations Block A

PL 16 RevA_Proposed North and East Elevations Block

PL 17 RevA_Proposed North and East Elevations Block B

PL 18 RevA_Proposed North and East Elevations Block B

PL 19 Proposed Sections

PL 20 Proposed Sections

PL 21 Proposed Materials

PL 22 Proposed Views

PL23 Proposed Wheelchair Accessible Flat Floor Plan

PL24 Proposed Wheelchair Accessible Flat Floor Plan

Proposed revised drawings

34111_1000_Site Location Plan

34111_1100_Proposed Site Plan North Block

34111_1200_Proposed Floor Plans North Block

as above

as above

as above

34111_1401_Proposed Elevations North Block

as above

N/A

N/A

34111_1300_Proposed Sections North Block

as above

34111_1401_Proposed Elevations North Block

34111_1800_Proposed Views North Block

34111_1210_ Unit type A and B – M4(3)

as above

ARCHITECTURE
BUILDING SERVICES ENGINEERING
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COST CONSULTANCY
ENERGY AND ENVIRONMENTAL
INDEPENDENT CERTIFIER
PROJECT MANAGEMENT
QUALITY CONTROL INSPECTORS

LONDON (HEAD OFFICE)

146-148 Eltham Hill,
London SE9 5DY
T. 020 8294 1000
E. reception@bailygarner.co.uk

BIRMINGHAM

55 Charlotte Street,
Birmingham B3 1PX
T. 0121 236 2236
E. reception@bailygarner.co.uk

www.bailygarner.co.uk

