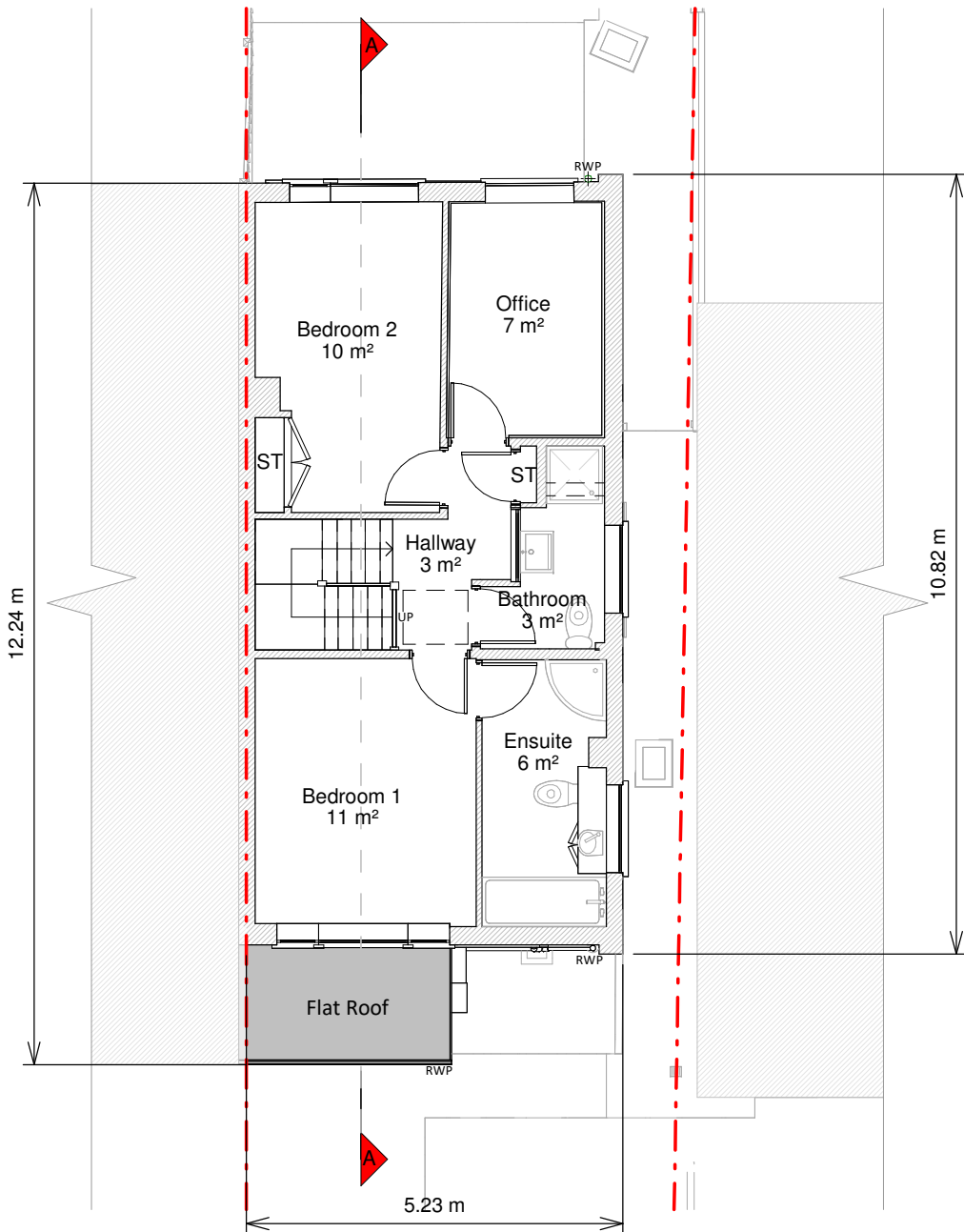
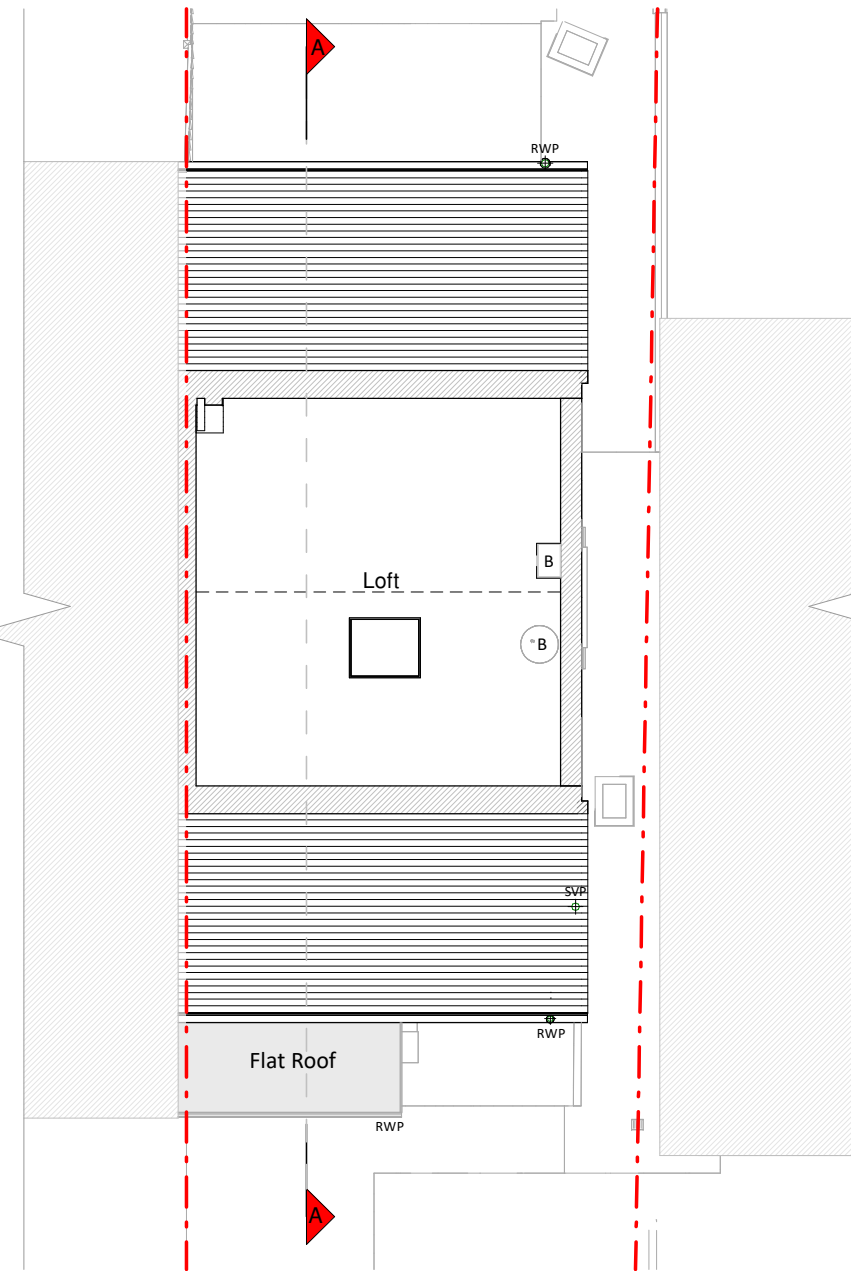


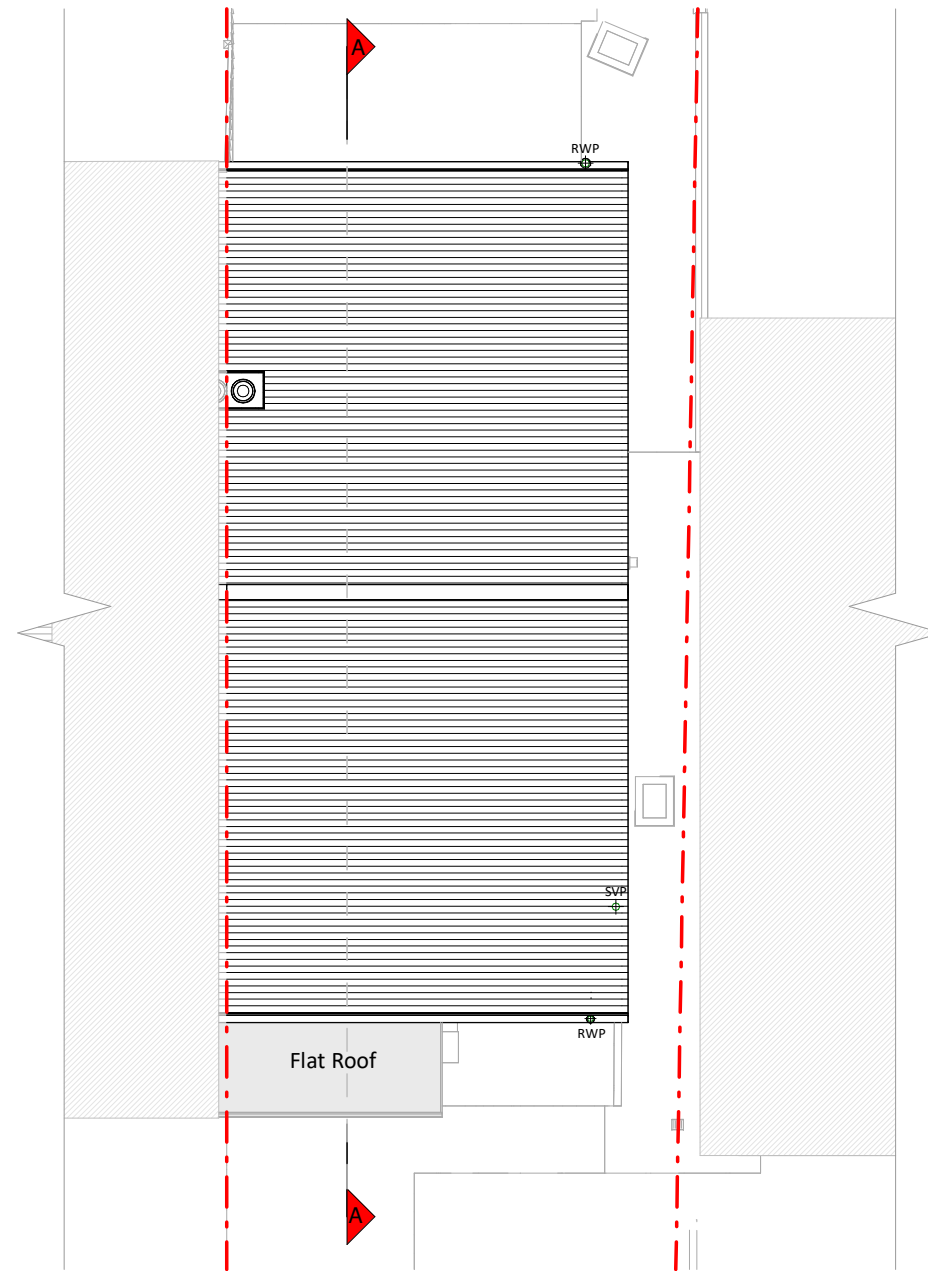
Ground Floor Plan



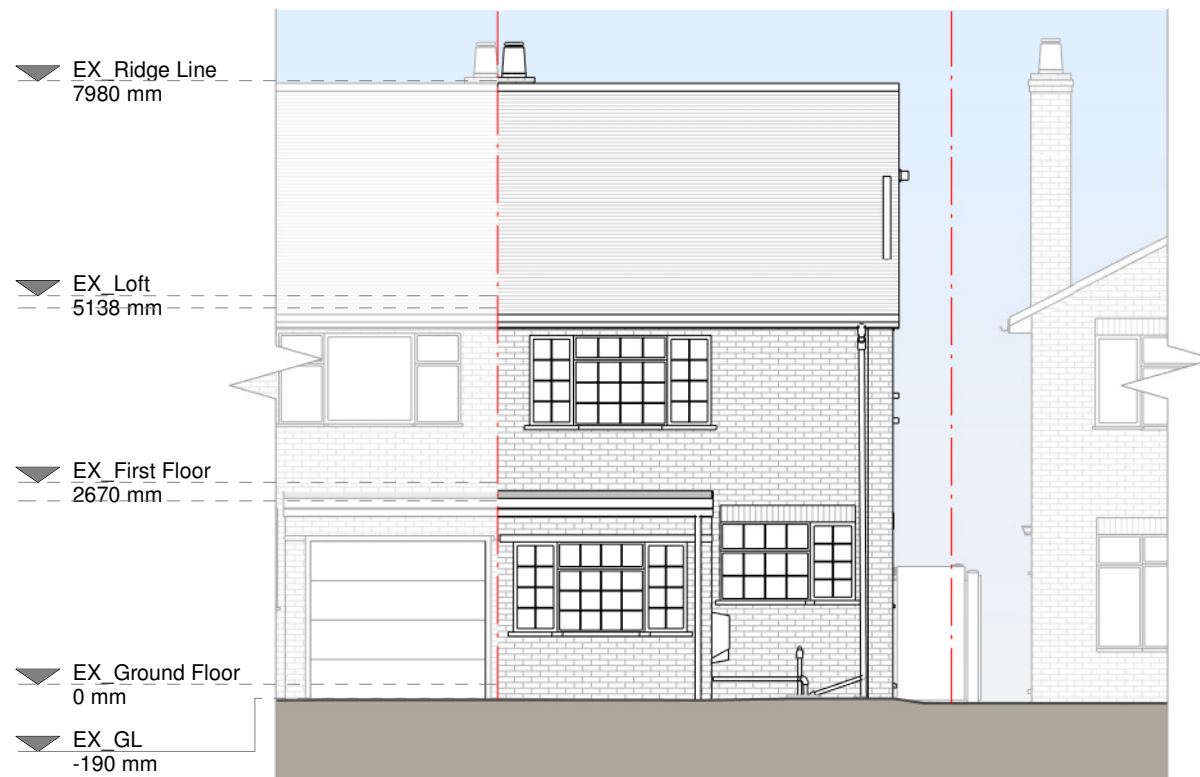
First Floor Plan



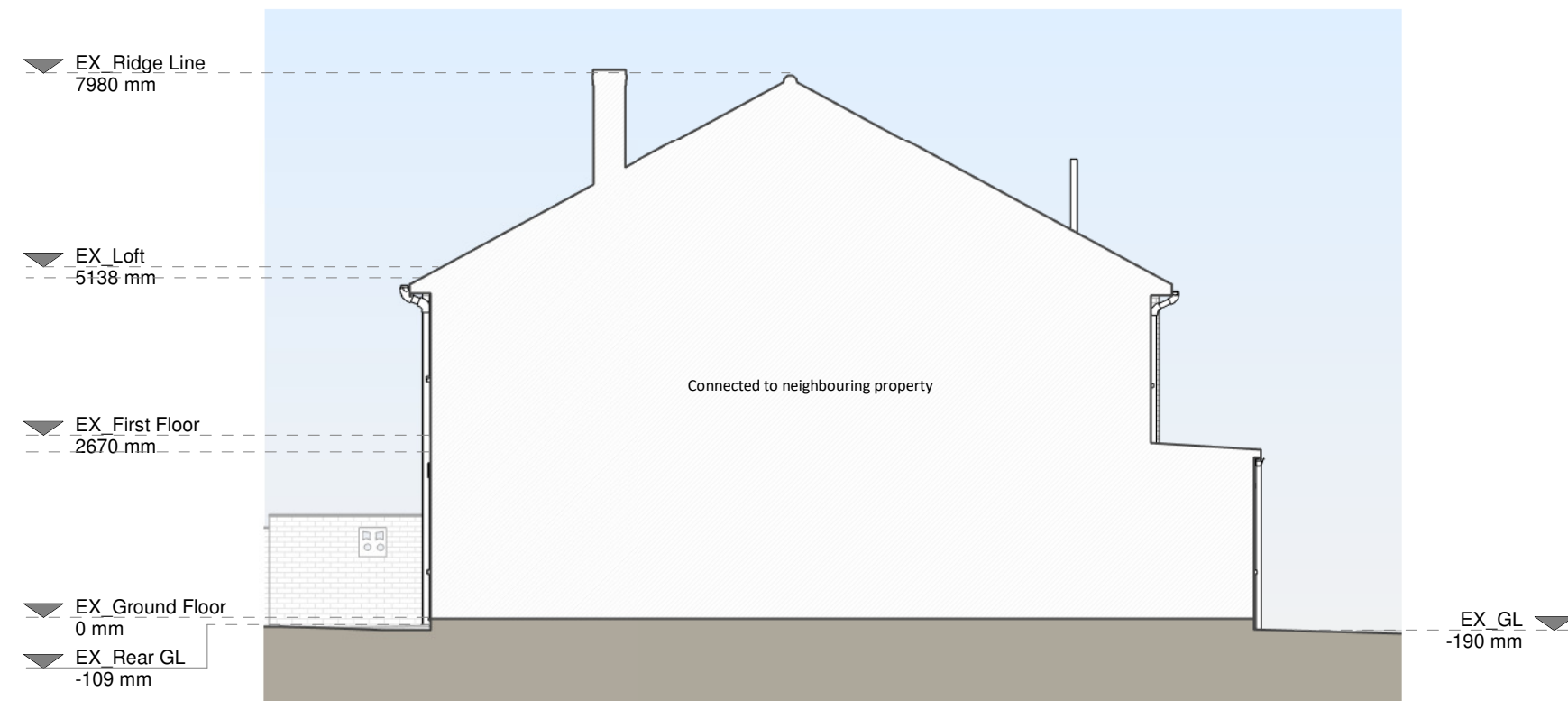
Loft Plan



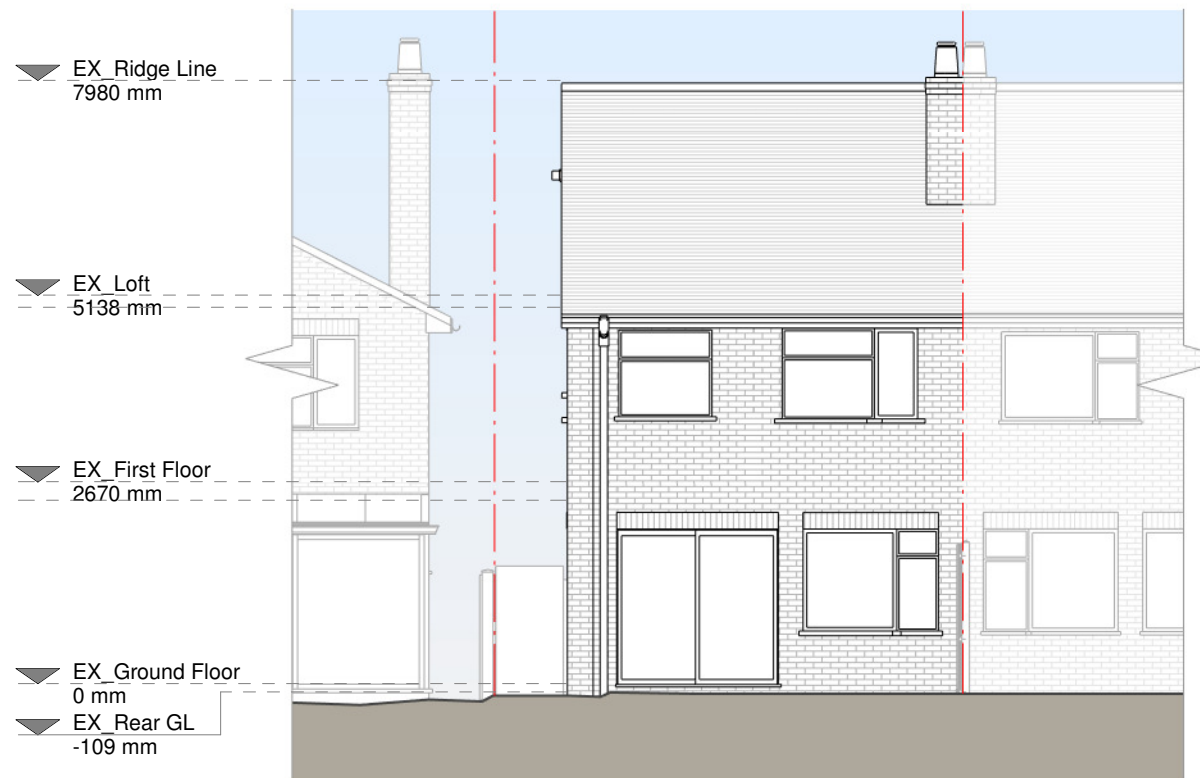
Roof Plan



Front Elevation



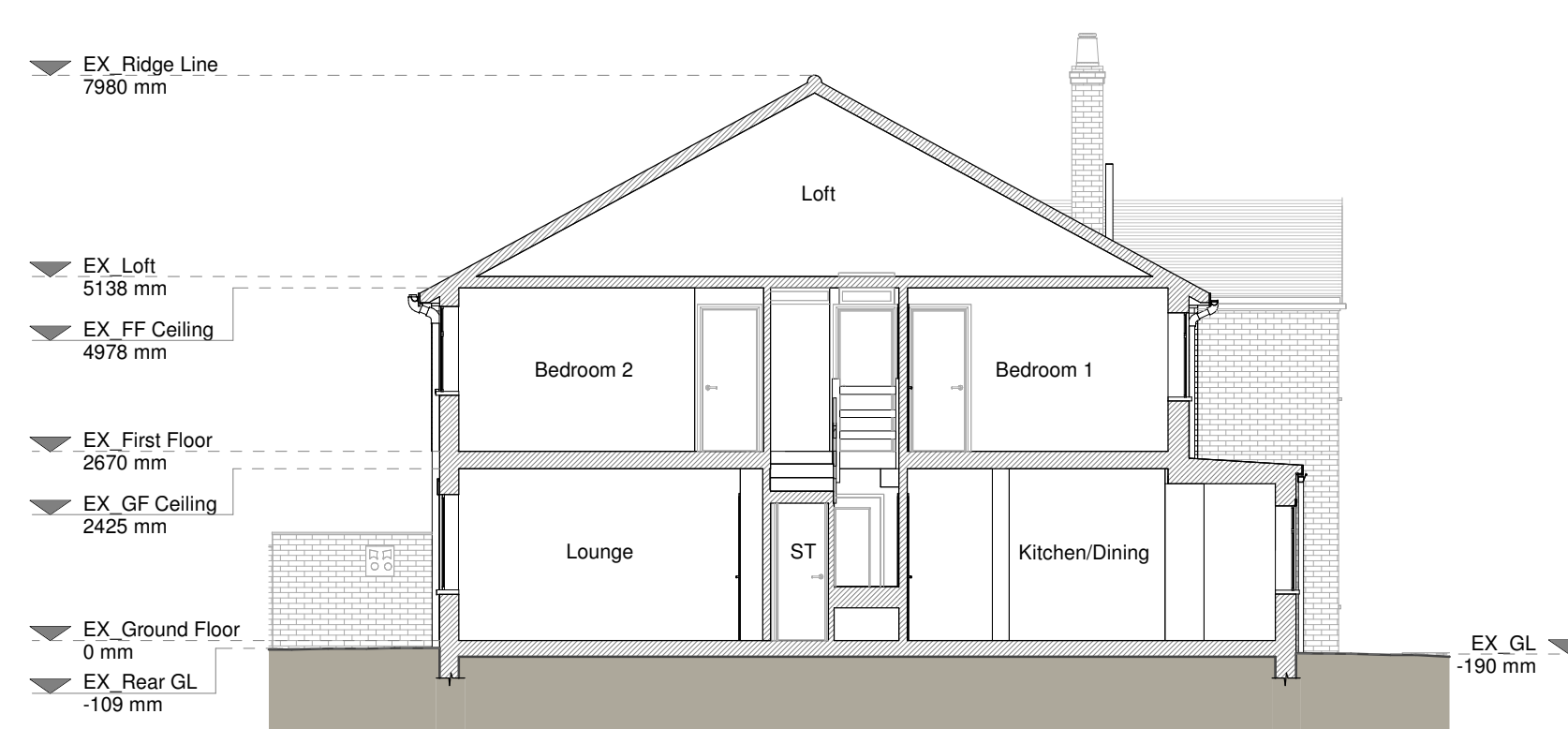
Left Side Elevation



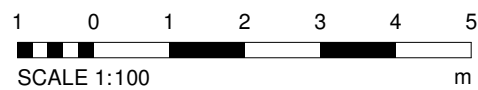
Rear Elevation



Right Side Elevation



Section A - A



Copyright in the design and this drawing is the property of RESI. Permission is granted to the client to use the drawing for the purposes of the project only. The drawing must be read in conjunction with all other relevant documentation and drawings.

RESI accepts no liability for any expense, loss or damage of whatever nature and however arising from any variation which has not been referred to them and their approval obtained.

Read do not advise using planning drawings for the construction stages. All discrepancies to be referred to the architect or structural engineer and construction. Any discrepancies to be reported to RESI immediately.

Existing Materials

Brickwork / Walls - Red Brick

Pitched roof - Concrete roof tile

Flat roof - Felt or similar

Windows - White uPVC

Doors - White uPVC

RWPs / Gutters / Facias - Black and white uPVC

KEY

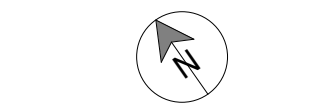
Existing walls - Red dashed line

Existing furniture - Blue dashed line

Level line - Blue dashed line

1.5m head height - Blue dashed line

1.8m head height - Blue dashed line



Revision		
Rev	Notes	Date
A	Planning Issue	02-02-2024

RESI
Grow your home

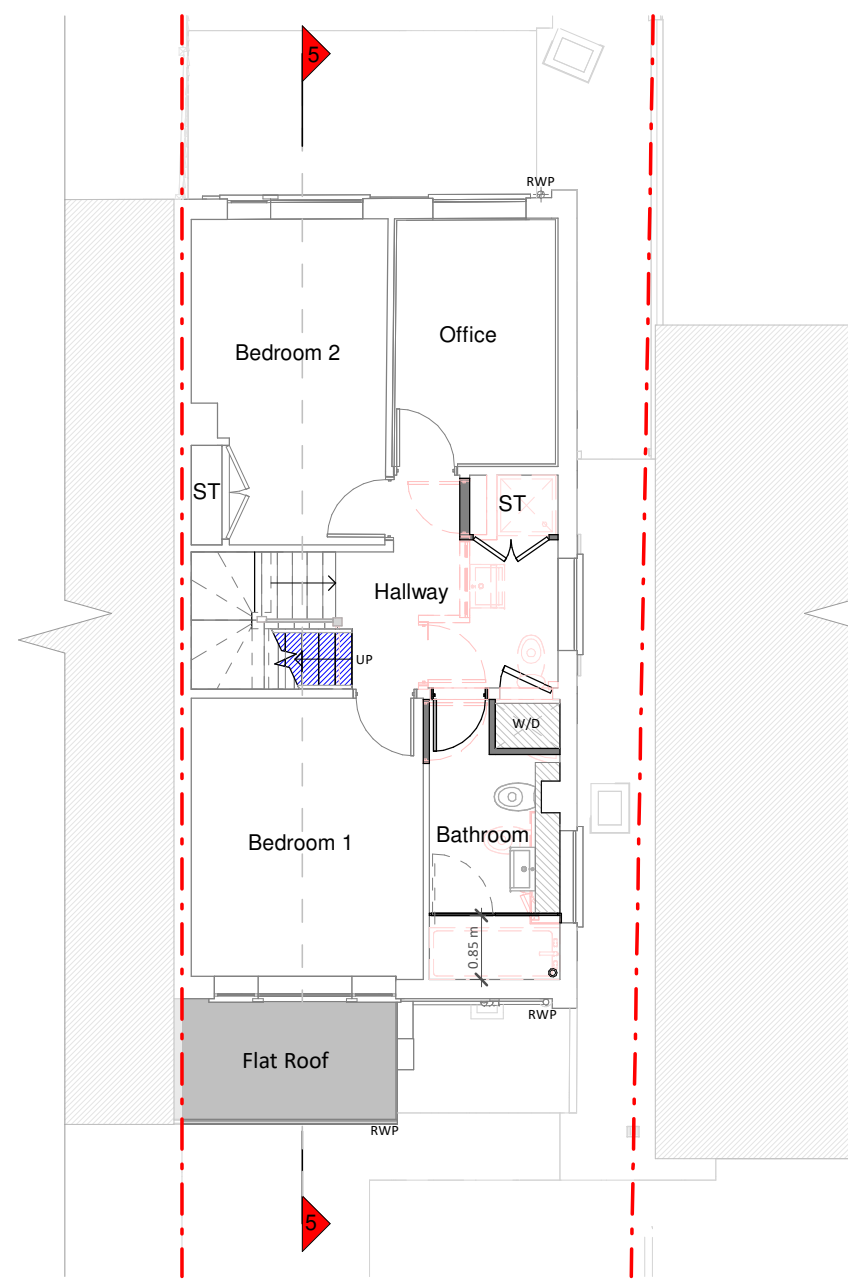
Job Title
Proposed loft main dormer, floor plan redesign, and all other associated works at 25 Mellow Lane West

Drawing Status
Planning Drawings

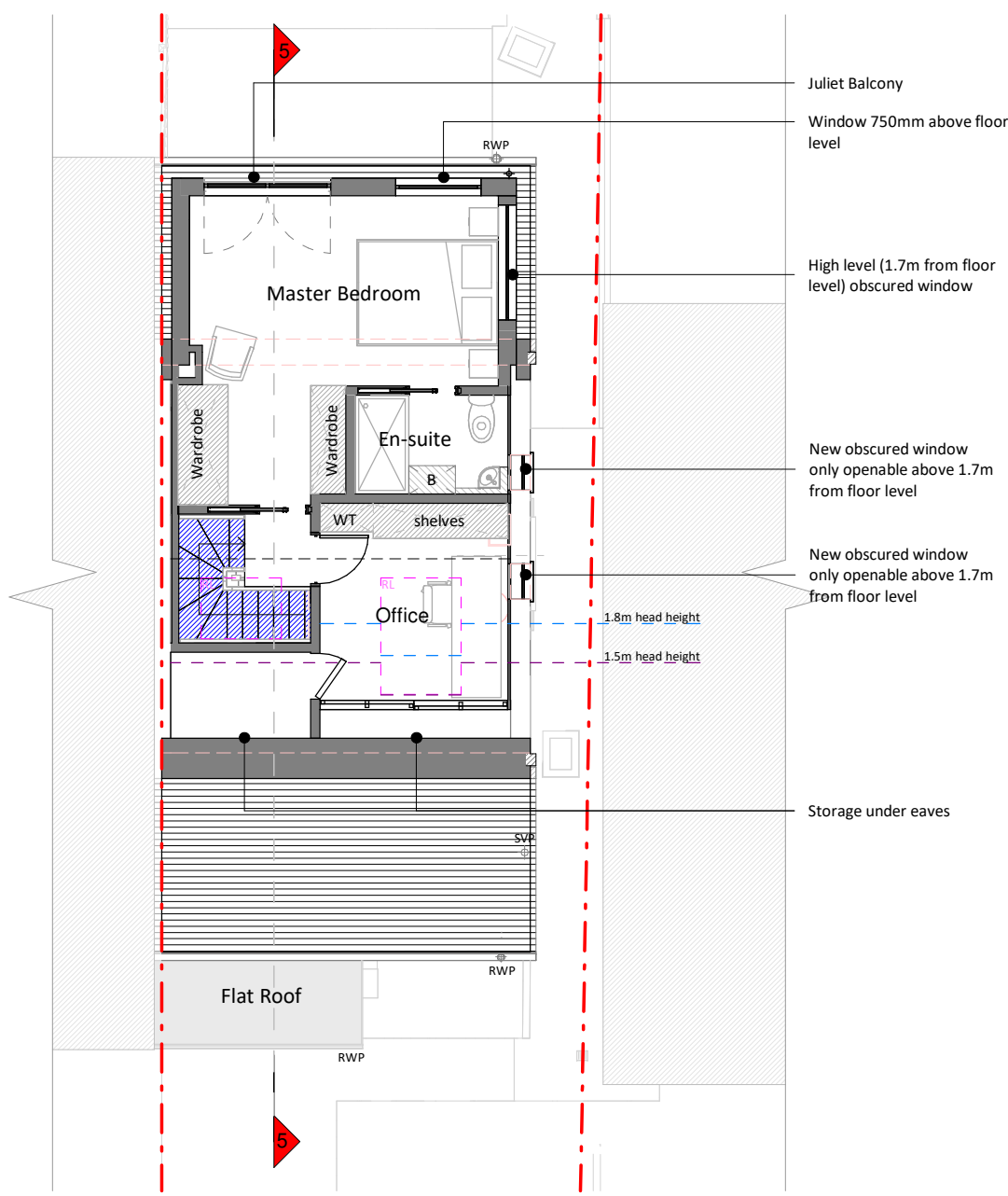
Client
Sufian Chowdhury

Drawing Title
Existing Drawings

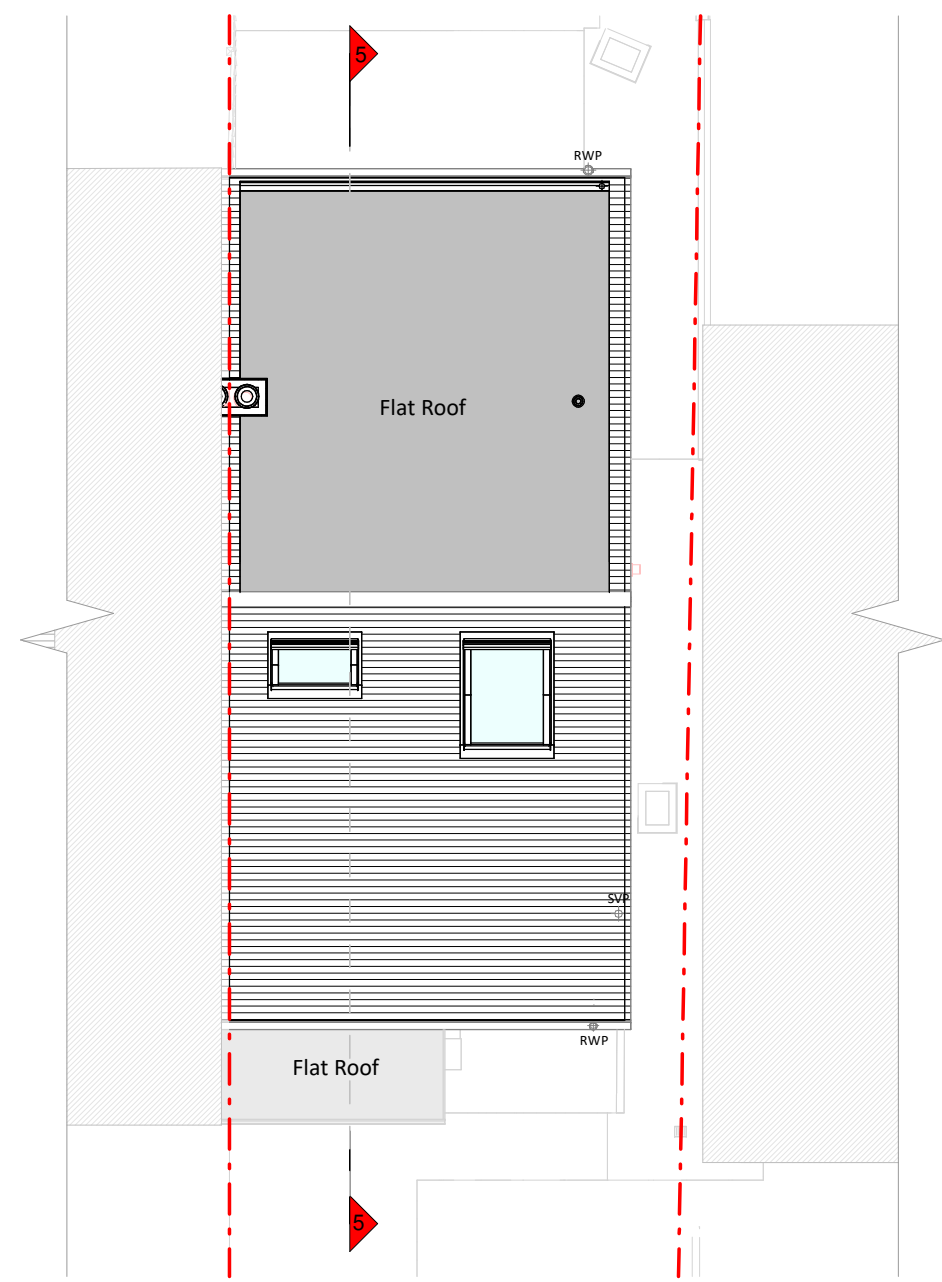
Scale 1:100 @ A1	Drawn IG
Date Feb 2024	Checked IG
Drawing No. 8211503-1100	Rev A



First Floor Plan



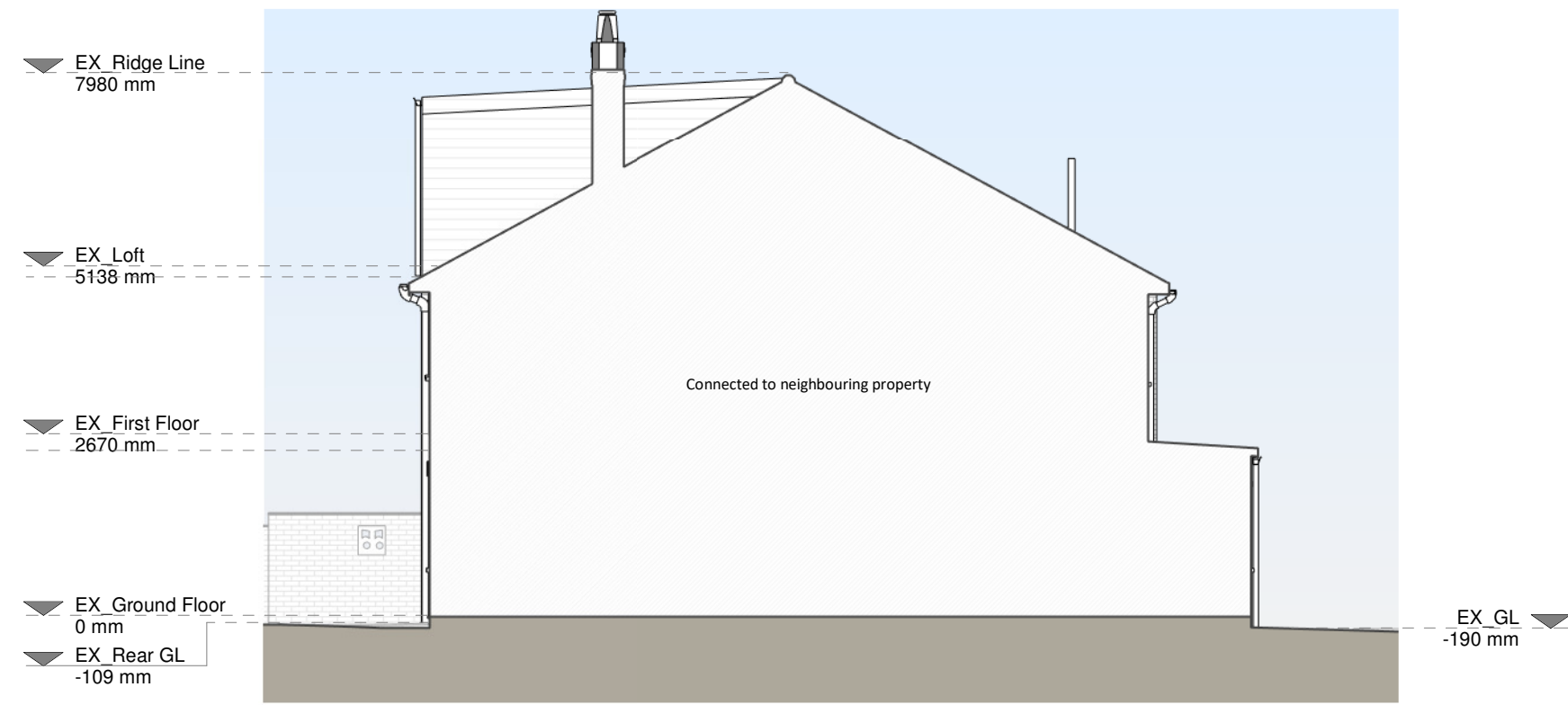
Loft Plan



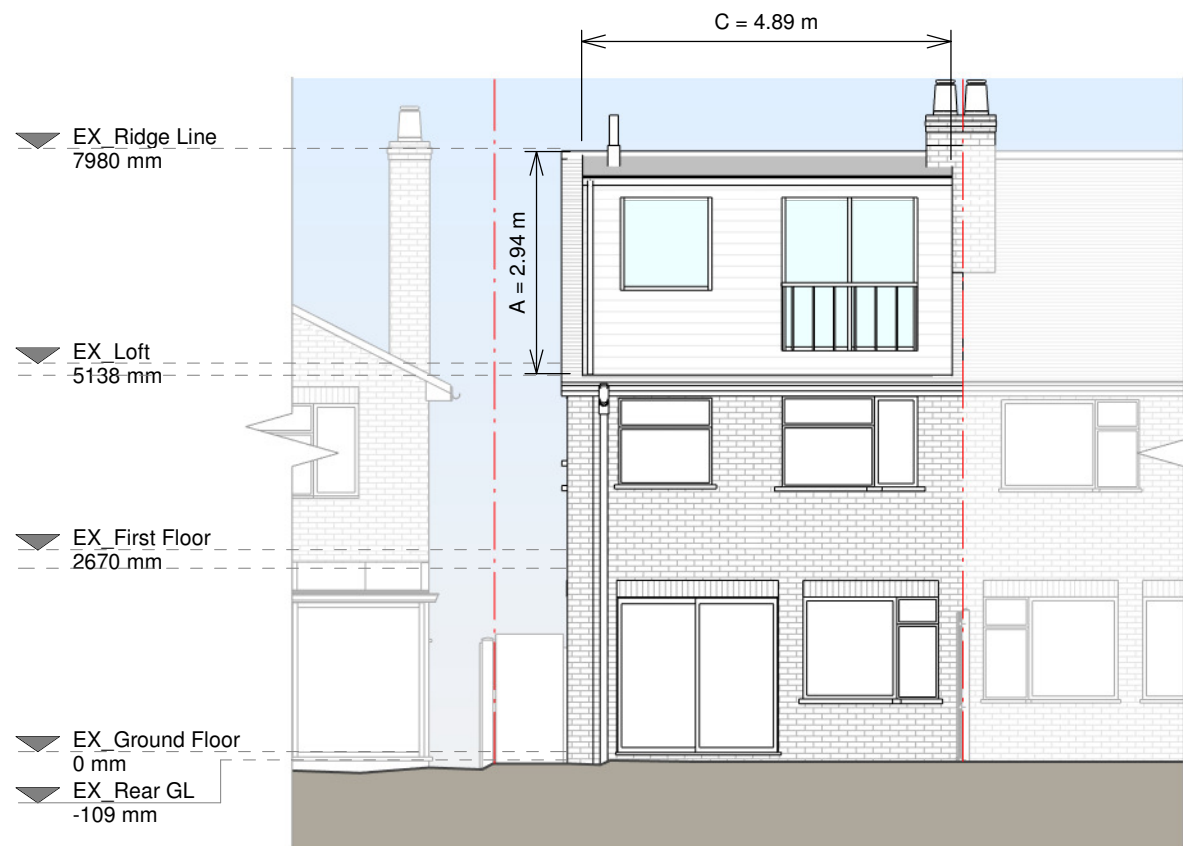
Roof Plan



Front Elevation



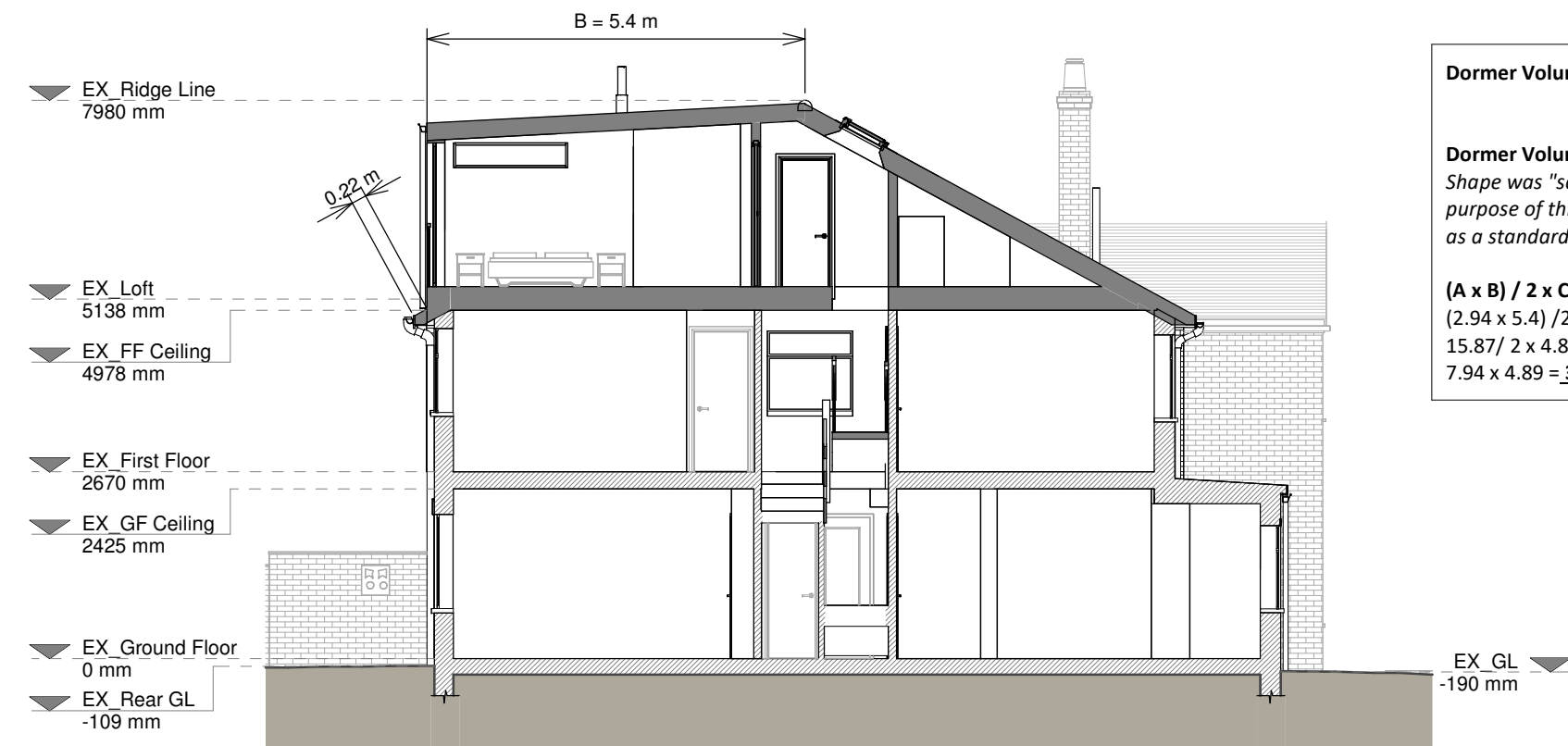
Left Side Elevation



Rear Elevation



Right Side Elevation



Section A - A

Dormer Volume Allowance: 50 m³

Dormer Volume Calculation:
Shape was "squared off" for the purpose of this calculation. Calculated as a standard "box dormer"

$(A \times B) / 2 \times C =$
 $(2.94 \times 5.4) / 2 \times 4.89 =$
 $15.87 / 2 \times 4.89 =$
 $7.94 \times 4.89 = \mathbf{38.82 \text{ m}^3}$

1 0 1 2 3 4 5
SCALE 1:100 m

Copyright in the design and this drawing is the property of RSI. Permission is granted to print or reproduce this drawing for personal use only. This drawing must be read in conjunction with all other relevant documentation and drawings.

RSI accepts no liability for any expense, loss or damage of whatsoever nature and however arising from any variation which has not been referred to them and their approval obtained.

Read do not advise using planning drawings for the construction stages. All measurements to be checked on-site prior to construction and construction. Any discrepancies to be reported to RSI immediately.

Proposed Materials

Brickwork / Walls - Tiles to match existing

Pitched roof - Tiles to match existing

Flat roof - Fibreglass or similar

Windows - To match existing

Doors - To match existing

RWPs / Gutter's / Fascia's - To match existing

KEY

Existing walls - Boundary line

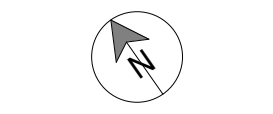
Proposed walls - Proposed beam

Proposed furniture - Proposed drainage

Proposed staircase - Existing removed

Proposed windows - 1.5m head height

Proposed rooflight - 1.8m head height



Revision		
Rev	Notes	Date
A	Planning Issue	02-02-2024

RSI
Grow your home

Job Title
Proposed loft main dormer, floor plan redesign, and all other associated works at 25 Mellow Lane West

Drawing Title
Planning Drawings

Client
Sufian Chowdhury

Drawing Title
Proposed Drawings

Scale 1:100 @ A1	Drawn IG
Date Feb 2024	Checked IG
Drawing No. 8211503-3100	Rev A