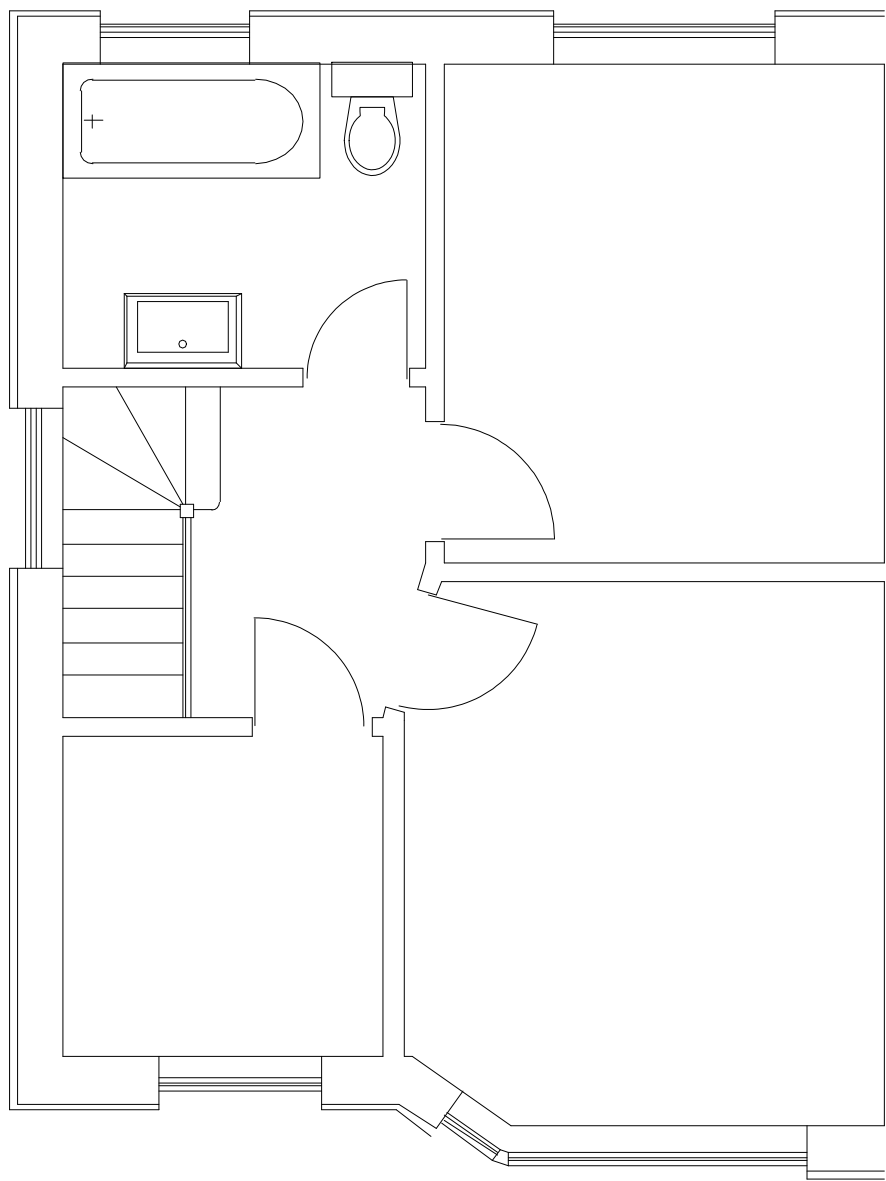


EXISTING GROUND FLOOR

STAIRS
New stairs to leave a minimum of 2m headroom over existing flight below
New stairs to have a minimum of 2m headroom over
Stair pitch not to exceed 42 degrees, handrail on one side at 900mm above pitch
Stirs supported on doubled up timber joists/trimmers

NEW DORMER
Dormer to be erected of doubles up rafters on party wall side and off new gable wall
Dormer face and cheeks constructed in 100x50 timbers, clad externally with 18mm WBP Plywood, Tyvek breathable felt membrane, 38x25mm battens and tiles to match existing
Dormer insulated with 90mm Kingspan PIR insulation between studs and 72.5mm Kingspan insulated plasterboard internally, with a 3mm plaster skim

NEW WINDOWS
Double glazed UPVC windows with Argon filled with low E glass to 1.6 W/m2k
openable area to be equivalent to 1/20th of floor area, and background ventilation equivalent to 10,000mm2 per room



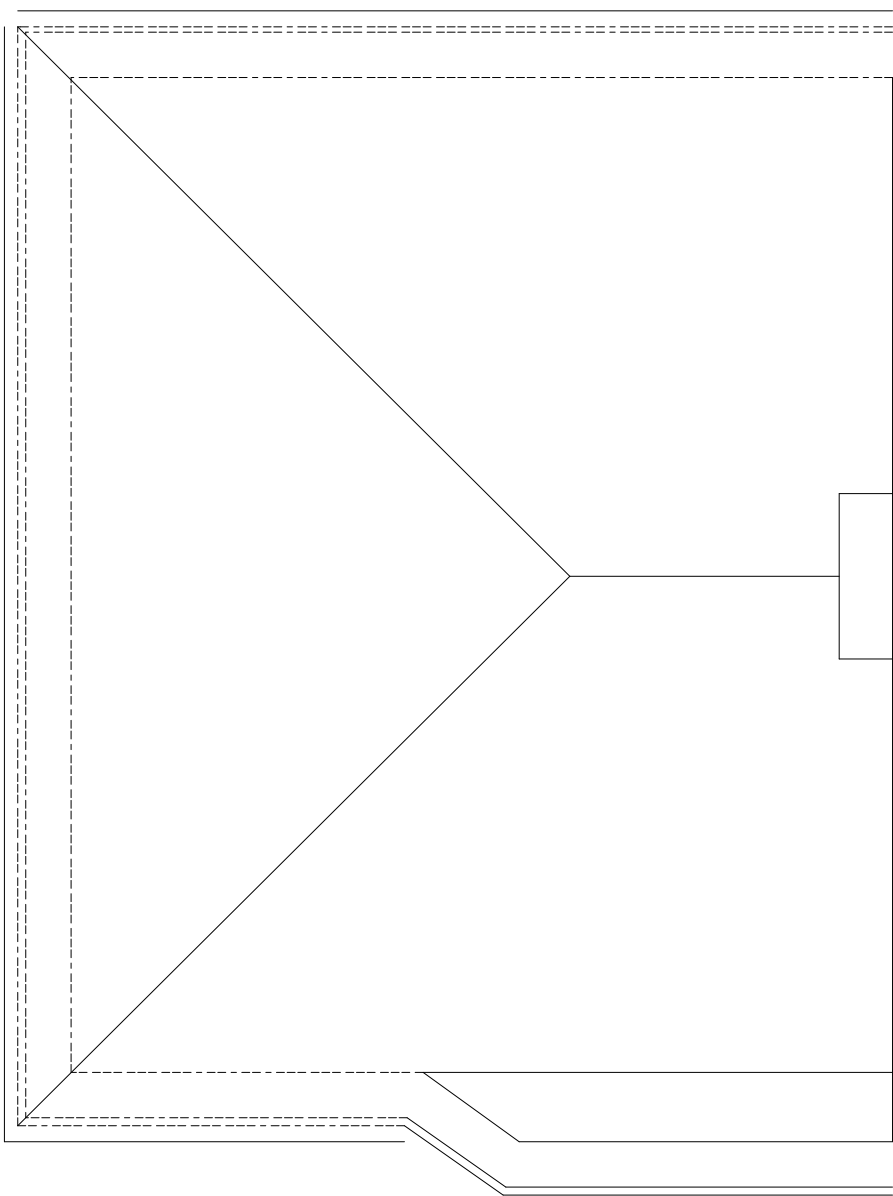
EXISTING FIRST FLOOR

NEW FLOOR
18mm t&g chipboard flooring P5 grade on 195 x 50 c24 grade joists at 600mm centres
new joists to be hung from new steel beam, with min 25mm space between bottom of new joist and existing ceiling.
100mm mineral wool suspended on chicken wire to filled new floor void

EXISTING CEILING TO FIRST FLOOR
Additional layer of 12.5mm plasterboard and skim to be fixed to underside of existing ceiling

WASTES
32mm basin, 40mm bath and 100mm WC waste to connect to extended SVP.
SVP to extend to 900mm above any window within 3m.

SMOKE DETECTION
Mains wired, interlinked smoke detection to be provide in circulation space on all levels



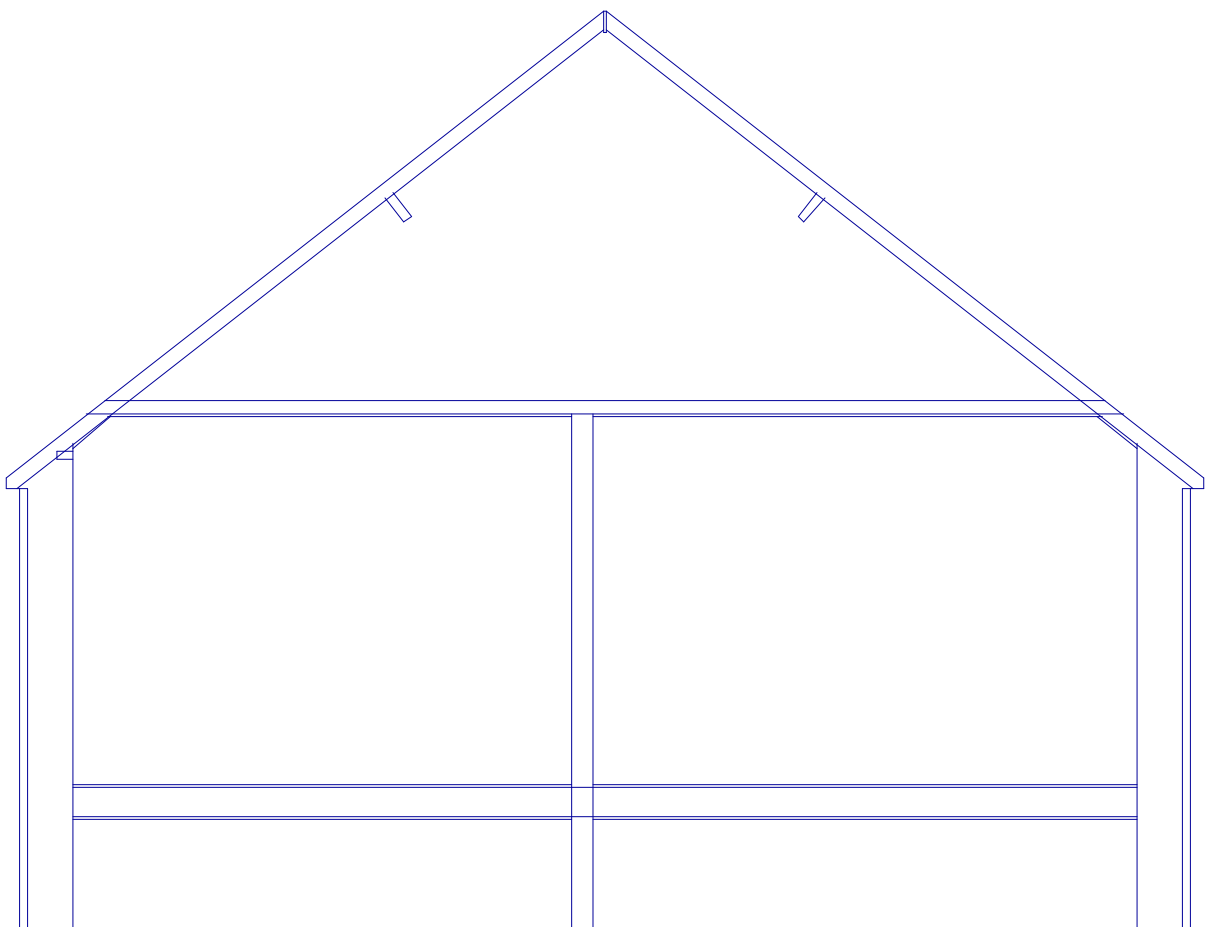
EXISTING ROOF PLAN

INTERNAL STUD PARTITIONS
12.5mm plasterboard and skim to both sides, 75x50mm studs, with void filled with min 50mm Isowool APR1200 sound deadening insulation

MECHANICAL VENTILATION
New shower room to have an extract rated at 15l/s, ducted to external air

ELECTRICAL WORKS
All electrical works to be undertaken by a qualified electrician, and works signed off in accordance with Approved Document P

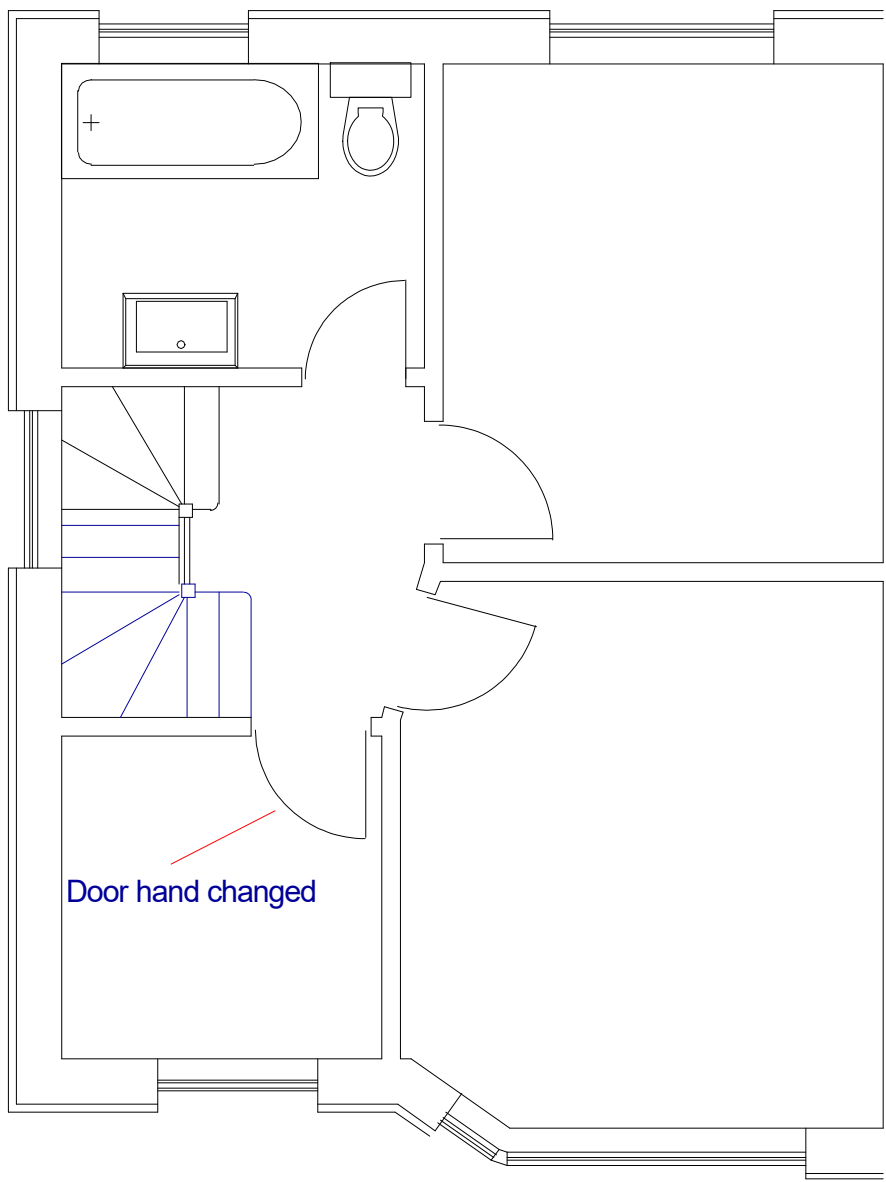
FLAT ROOFING
3 layer felt roofing, on 125mm Kingspan PIR insulation on 18mm WPB Plywood on firrings to provide 1 in 40 fall on 125 x 50mm C24 grade joists at 400mm centres



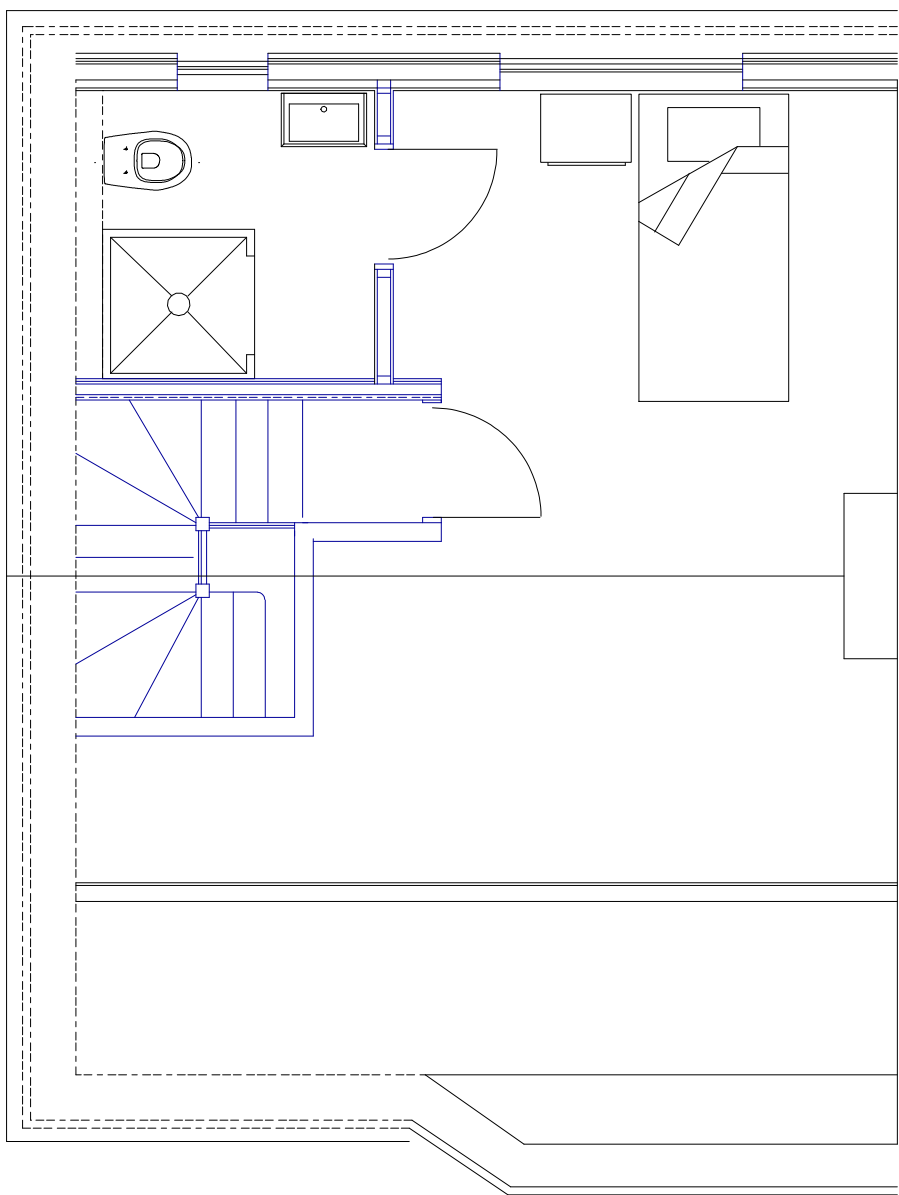
EXISTING SECTION

RAINWATER GOODS
100mm half round gutters and 68mm downpipe to discharge onto existing roof

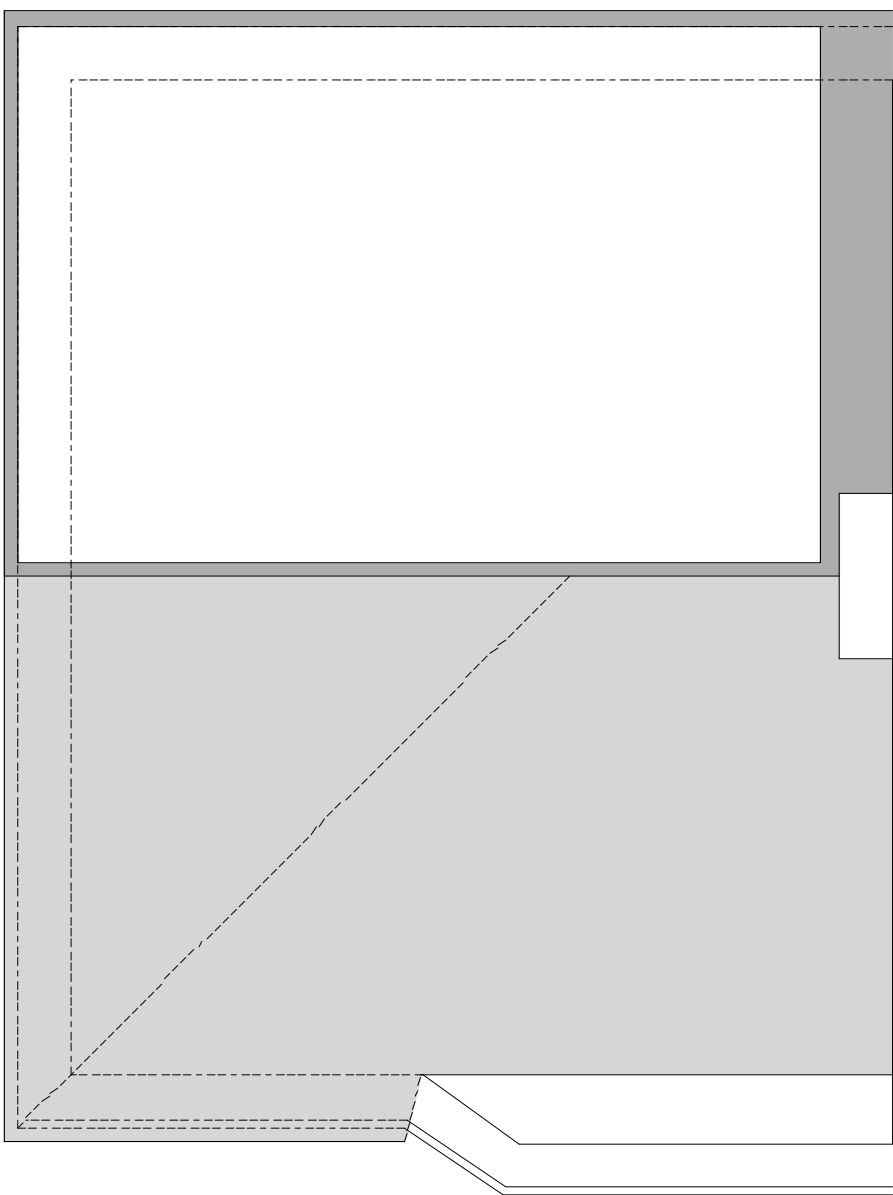
GABLE END WALL
Wall costructured in two leave of 100mm Celcon blockwork, cavity filled with 50mm rockwool
external wall to be finished with an insulated render to match walls below



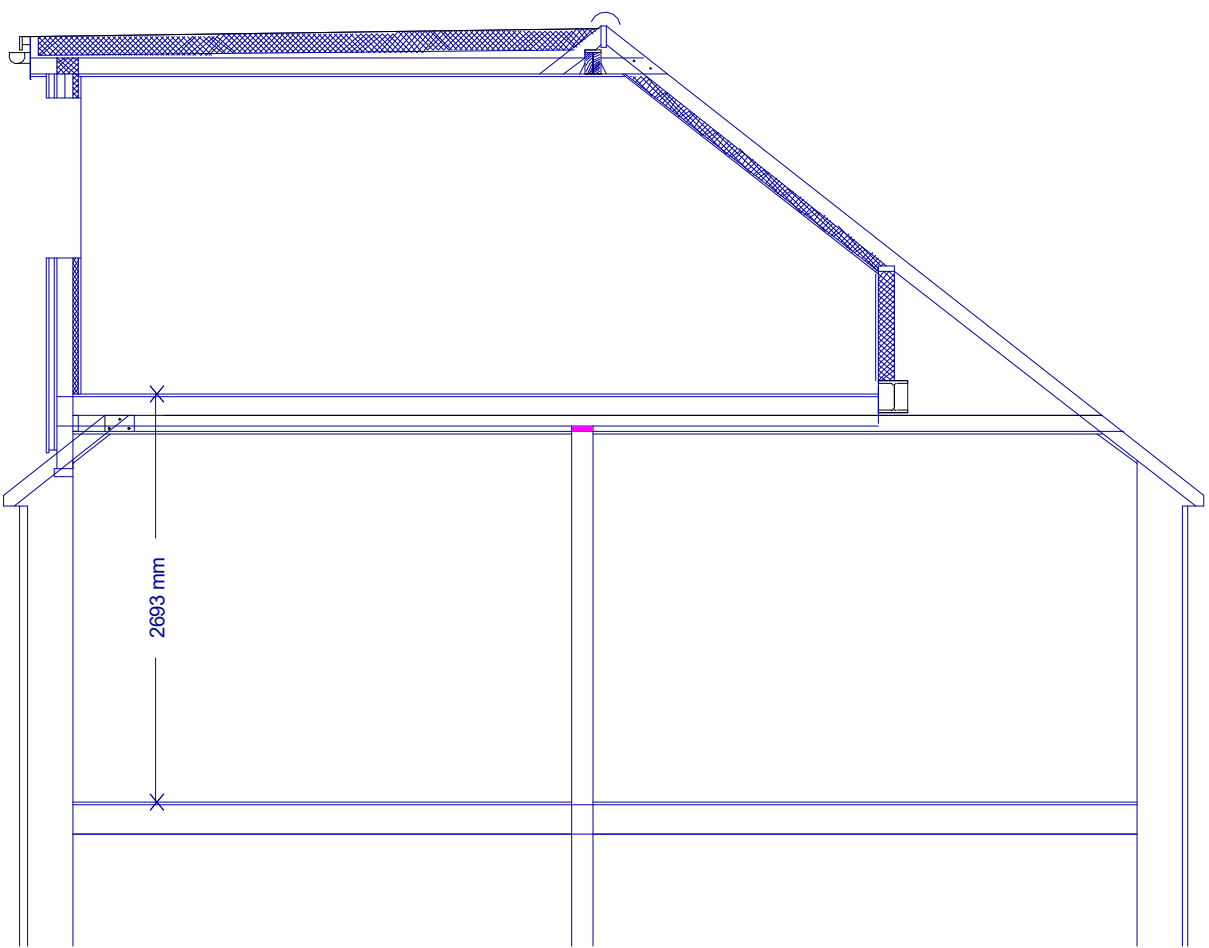
PROPOSED FIRST FLOOR



PROPOSED LOFT FLOOR



PRPOSED ROOF PLAN



PROPOSED SECTION

48 DELLFIELD CRESCENT
COWLEY

PLAN
PROJECT

Plans and details
Loft Conversion

General Notes:
1. All dimensions to be checked on site prior to construction any discrepancies should be reported to the highford design
2. All drawings are indicative of architect's visual requirements only and show design intent only
As this is a proposed design, it is subject to change and may require further design work
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This drawing should not be used to calculate areas for the purpose of valuations. All dimensions to be checked
on site by contractor and each dimension to be their responsibility

DWG No
01
Rev: -

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