

1 Proposed Ground Floor Plan

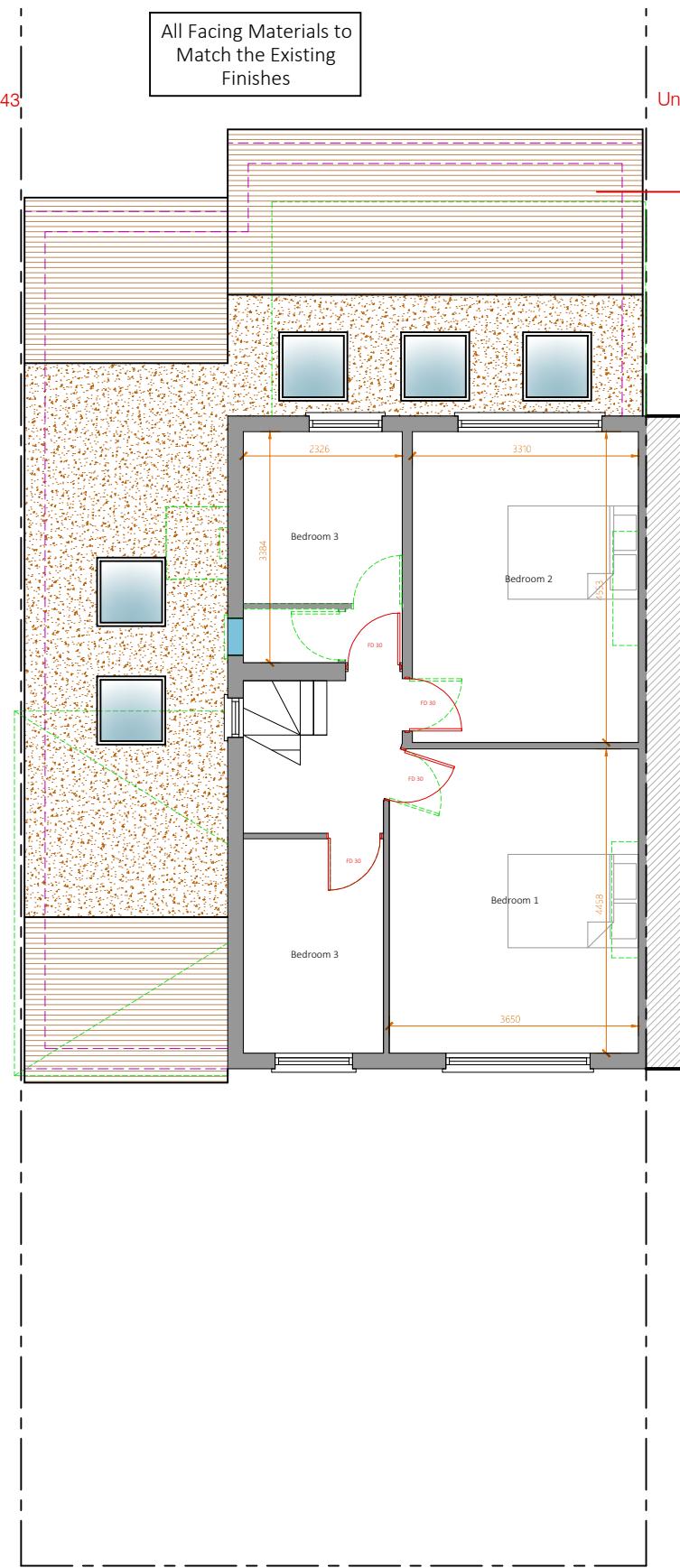
SCALE: 1/100

PARTY WALL ACT 1996
OWNER/S MUST ENSURE ALL
PARTY WALL AGREEMENTS ARE
IN PLACE BEFORE ANY BUILDING
WORKS ARE TO COMMENCE

Please note that construction must only commence once planning, building control and any other approvals have been received. It is the responsibility of the owner/contractor to commence prior to these approvals.

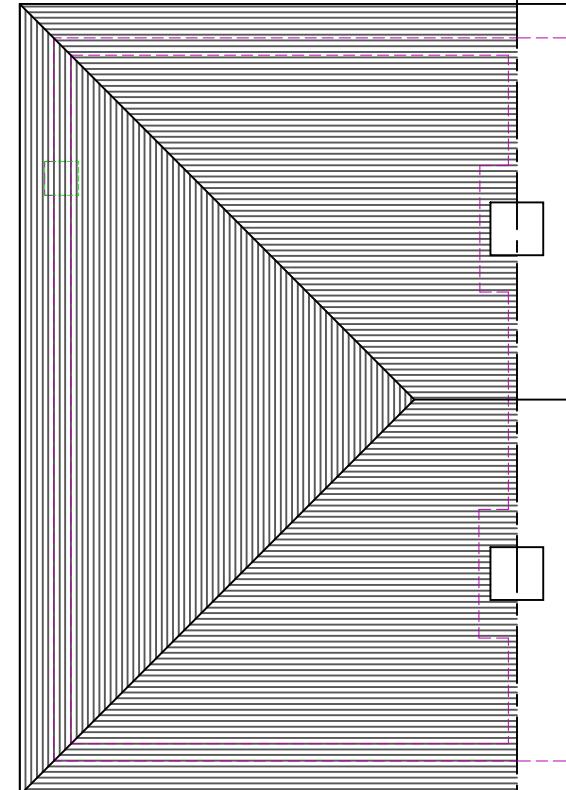
0 1 2 3 4 5

10m



2 Proposed First Floor Plan

SCALE: 1/100



3 Proposed Roof Plan

SCALE: 1/100

Legend

Walls Removed	
New Walls	
Existing Walls to Remain	
Boundary Wall	
Sound Separating Walls	
Proposed Extensions	

IMPORTANT GENERAL NOTE

The specification is to be read in conjunction with the plans/section details, and other associated Structural details may be provided. All work is to be carried out to the Local Authority Planning and Building Regulations Approval, and the Codes of Practice and British Standards as necessary. All dimensions, levels, sizes, positions and locations of particulars as indicated on drawings are to be verified by the appointed Contractor on site prior to engaging in works. Any discrepancies must be reported to the Architect/Surveyor/Engineer or responsible person/s immediately. The Contractor is responsible for ensuring compliance with the CDM Regulations, and appropriate Health & Safety on site precautions. The Client/Building Owner must obtain any necessary PARTY WALL AGREEMENTS, prior to engaging in the works on site.

Revision	Date	Description

A3

Paper Size
1:100
Revision
1st
Aug-22
Drawn By
AP
Checked By
NE

Scale
1:100
Construct 360 Ltd, Trading as:
DontMoveExtend.com
info@DontMoveExtend.com
Tel: 0208 206 0011
Site Address
68 Deane Croft Road
Pinner
HA5 1SP
Status
Planning Issue

Planning Permission Specialists
Proposed
Plans
Drawing Number
DCR68-03-1003