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Planning

## Planning Statement

Island Apartments, Apartments 4 & 6, 32 Royal Quay, Harefield, UB9 6FG

*Erection of external pillar balcony to rear elevation.*

November 2025

## Executive Summary

Royal Quay is a development of 70 apartments and town-houses adjacent to the Grand Union canal in Harefield. This application relates solely to a 3 storey block of apartments known as 1-6 Island Apartments, 32 Royal Quay, Harefield, UB9 6FG.

Of the 6 apartments, Apartments 1, 3, 5 (Plots 15, 17, 19) within the west building core benefit from a stacked, independently supported external pillar balconies which overlook the Grand Union Canal.

Apartments 2, 4, 6 (Plots 16, 18, 20) within the west section of the building have no external private amenity access with Apartments 2 and 6 having internal Juliet balconies.

Application 78419/APP/2023/3434 for the erection of a pillar balcony to the rear of apartments 2, 4, 6 to replicate the existing pillar stack benefitting the adjacent units within the block was submitted on the 28<sup>th</sup> of November 2023. The application was refused on two grounds:

1. *"The proposed development, by virtue of its siting, bulk and level of projection out above the ground floor windows serving the neighbouring apartment, would be detrimental to the amenities of the occupiers at no.2 Island Apartments, giving rise to a harmful loss of outlook, loss of light, overbearing nature and sense of enclosure to the ground floor apartment and the associated patio area, as well as reducing the quality of communal amenity space in the rear garden....."*
2. *"In the absence of a supporting information to satisfy the concerns raised by the Environment Agency, the application has failed to address the issues relating to flood risk and the proposal is therefore contrary to Policy EM6 of the Hillingdon Local Plan...."*

This revised application seeks to address the previous application reasons for refusal. The balcony dimensions have been reduced from 1.5m depth x 3.75m width to 1.5m depth x 3.15m width with a supporting daylight sunlight assessment confirming *"the proposed balcony would be fully compliant with the BRE daylight and sunlight guidelines."*

Further a full Flood Risk Assessment (FRA) has been undertaken by Fernbrook Consulting Engineers confirming *"the Site will not be at significant risk of flooding or increase the flood risk to others."*

The proposal would enable external private amenity to two 2-bedroom 3 and 4 person dwellings in accordance with current London Plan and Local Plan Policy, while retaining the vernacular and character of the existing building, mirroring provision in line with the adjacent east elevation.



The development is located north-west of Harefield, a village in the London Borough of Hillingdon, 17 miles (27 km) north-west of Charing Cross.

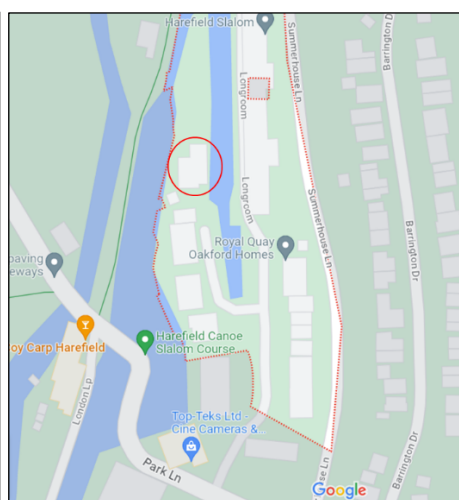
Directly west of the development is the Grand Union Canal and to the east is Summerhouse Lane. Primary access and egress to the development is via a gated entrance on Park Lane into a private estate road.

This application relates to a new-build block of apartments to the rear of the development with postal address: 1-6 Island Apartments, 32 Royal Quay, Harefield, UB9 6FG.

Island Apartments is located between two waterways with the Grand Union Canal on a lower plain to the west with the Longrooms, a converted former rope-making factory to the east separated by a secondary waterway.



*Site location within wider context (OS map)*



### Island Apartments – Context

The adjacent Longroom Apartments comprises a locally listed two-storey building beneath pitched slate roof. The building was converted under planning application ref: 49004/APP/2013/3740 (as amended) was converted to provide 31 apartments.

Photographs of the Island Apartments and adjacent landscaping is provided at **Annex 1**.

## Description

Island Apartments comprises a new-build block of 6 x two-bedroom apartments across ground, 1<sup>st</sup> and 2<sup>nd</sup> floors beneath a slate pitched roof.

The building has a communal pedestrian entrance to the south elevation with two apartments per floor, three apartments within the east core adjacent to the Grand-Union Canal (Apartments 1,3,5) and three within west core (Apartments 2,4,6) opposite the Longroom which is separated by a waterway and pedestrian / vehicular accessway.

The building accommodation comprises:

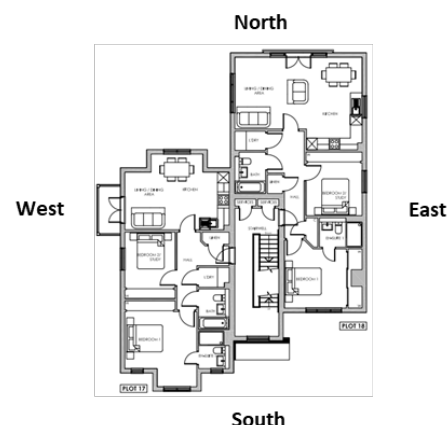
Apartment Number	Original Plot Number	East / West Core	Floor	Planning Beds/Persons	Planning NSA (sqft)	Planning NSA (sqm)	Balcony / Terrace
1	15	West	Ground	2B3P	722	67.10	Yes
2	16	East	Ground	2B4P	859	79.80	No
3	17	West	First	2B3P	698	64.80	Yes
4	18	East	First	2B4P	859	79.80	No
5	19	West	Second	2B3P	667	62.00	Yes
6	20	East	Second	2B3P	696	64.70	No

**Source - 43159/APP/2013/1094 - Schedule of accommodation**

The building floorplate is designed to enable an offset of east and west building cores with floorplan arrangements generally duplicated between floors. Extracts of the front building elevation and first-floor plan are provided below.



*Island Apartments - Front (south facing) Block Elevation*



*1st Floor plans - Apartments 3 (plot 17) and 4 (plot 18)*

External elevations are cotemporary with the use of barn-style dark stained timber boarding, part cream monocouche render detail and white UPVC casement windows and doors throughout beneath slate pitched roof.

All apartments within the building are dual-aspect with Apartments 2, 4, 6 within the east core benefitting from open-plan living-rooms-kitchens with north, east and west views.

To the rear of the building (north) is an enclosed, landscaped communal garden. The residents of Apartments 2 and 4 have Juliet balconies with views over the garden while the residents of apartments 1, 3, 5 benefit from a stacked pillar balcony with railings to the west facing façade enclosed by a pitch roof.

The building does not hold a listing designation and is located within flood-zone 1.

Full elevations and floorplans from planning application the original block planning approval (Reference: 43159/APP/2015/2240) are provided at **Annex 2**.



## Planning History

The Royal Quay development has an extensive planning history. Relevant planning history across the wider Royal Quay development and 1-6 Island Apartments is identified below:

Application Reference	Location	Proposal	Received	Status
78419/APP/2023/3434	4 & 6 Island Apartments	Erection of external pillar balcony to rear.	28-11-23	Refusal
43159/APP/2015/2240	Royal Quay	Details of fenestration (plots 15 to 20), in part compliance with condition 6 (materials) of planning permission 43159/APP/2013/1094 dated 30/10/2013	16-06-15	Approval
43159/APP/2015/2241	Royal Quay	Non Material Amendment to application ref. 43159/APP/2013/1094 to allow alterations to the internal layout and external appearance of Units 15-20.	16-06-15	No Further Action(P)
43159/APP/2015/1623	1-6 Island Apartments	Non Material Amendment to application ref. 43159/APP/2013/1094 to allow alterations to the internal layout and external appearance of Units 15-20.	05-05-15	Refusal
43159/APP/2013/1094	Royal Quay	Conversion and refurbishment of the Manor House to provide 4 x 2-bed apartments, construction of 9 x 3-bed three-storey houses and 10 x 4-bed four-storey houses and a three-storey building comprising 6 x 2-bed apartments, refurbishment of the Long Room for continued office use, together with associated car parking and landscaping.	30-04-13	Approval

The wider Royal Quay has been the subject of significant redevelopment in recent years following the approval of application 43159/APP/2013/1094 in October 2013 as subsequently varied.

Of note, Application ref: 43159/APP/2015/1623 seeking materials condition discharge was refused on technical grounds as the proposed amendments could not be considered as non-material amendments to planning permission 43159/APP/2013/1094. A revised Section 73 Minor Material Amendment Application was recommended.

Application Reference: 78419/APP/2023/3434 sought the erection of a similar, stacked pillar balcony of dimensions 1.5m depth x 3.75m width. The application was refused with the Decision Notice issued 16<sup>th</sup> February 2024 providing the following reasons for refusal:

1. *"The proposed development, by virtue of its siting, bulk and level of projection out above the ground floor windows serving the neighbouring apartment, would be detrimental to the amenities of the occupiers at no.2 Island Apartments, giving rise to a harmful loss of outlook, loss of light, overbearing nature and sense of enclosure to the ground floor apartment and the associated patio area, as well as reducing the quality of communal amenity space in the rear garden. Therefore, the proposal would be contrary to Policies DMHB 11, DMHB 18 and DMHD 1 of the Hillingdon Local Plan: Part Two – Development Management Policies (2020) and the NPPF (2023)."*
2. *"In the absence of a supporting information to satisfy the concerns raised by the Environment Agency, the application has failed to address the issues relating to flood risk and the proposal is therefore contrary to Policy EM6 of the Hillingdon Local Plan: Part One - Strategic Policies (November 2012), Policy DME1 9 of the Hillingdon Local Plan: Part Two – Development Management Policies, Policy SI 12- Flood Risk Management (f) of The London Plan 2021, paragraphs 005 and 020 to 021 of the Flood Risk and Coastal Change of the PPG, the National Planning Practice Framework (NPPF)."*

The revised proposal provides for a reduced balcony width from 3.75m to 3.15m width ameliorating impact on visual amenity. The application is supported by a Daylight & Sunlight assessment confirming full compliance with the BRE daylight and sunlight guideline and a Flood Risk Assessment confirming the Site will not be at significant risk of flooding or increase the flood risk to others

## Proposal

This application seeks approval from the LPA for the installation of a 2.5 storey stacked pillar balcony to the rear of Apartments 2, 4, 6 by removing the existing internal Juliet balconies to Apartments 4 and 6. This will enable the existing and future residents to benefit from access to external private amenity space also enabling for cleaning and maintenance of external timber elevations which are subject to the build-up of green algae.

The proposed, revised structure would be 6.9m in height, 1.5m in depth with a revised width of 3.15m from the previous applications 3.75m width. The revised 1.5m x 3.15m dimensions would provide each apartment with private amenity dimensions of 4.73 sq m.

Extracts of the proposed drawing elevations are provided below and at **Annex 3**.



The pillar balcony structure would be identical in style to the existing benefitting Apartments 1,3 and 5 with the exception of the pitched roof extension. The removal of the pitched roof extension seeks to ensure a similar façade to the existing arrangement with no increase in height from the existing Juliet railings.

The proposal takes inspiration from the character of the existing western balcony elevation and is sensitive to its local context.

## Planning Policy

Core planning policy framework considered relevant to this application are the: National Planning Policy Framework ("NPPF"), The London Plan and the Hillingdon Local Plan Parts 1 and 2.

### National Planning Policy Framework (NPPF)

At the heart of the NPPF as updated December 2024 is a presumption in favour of sustainable development (para 11) to secure the wellbeing of the community and residents.

The NPPF states at paragraph 39 that Authorities should approach decisions on proposed development in a positive and creative way, authorities being encouraged to work proactively with Applicants to secure developments that will improve the economic, social and environmental conditions of the area in seeking to approve applications for sustainable development where possible.

Section 12, paragraph 131 sets out the Government's approach to design in the round. The revision raises the bar to previous NPPF versions confirming that *"Good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities"*. Good design and sustainable development are thereby synonymous.

Paragraph 135 notes (inter-alia) that planning policies and decisions should ensure that developments:

- a) will function well and add to the overall quality of the area, not just for the short term but over the lifetime of the development;

- b) are visually attractive as a result of good architecture, layout and appropriate and effective landscaping;
- c) create places that are safe, inclusive and accessible and which promote health and well-being, with a high standard of amenity for existing and future users.

The proposal will improve the quality of life in perpetuity to two x 2 bedroom 4 person family units providing health and well-being through private amenity provision. The design is of a high quality which seeks to mirror the existing west pillar balcony façade benefitting flats 1, 3 and 5 utilizing the same materials and style.

#### London Plan Policy

The GLA Housing Design Standards SPG June 2023 under policy C10.1 identifies new-build development should provide a minimum 5 sq m step-free private outside amenity space for 1 and 2 bedroom homes with a minimum balcony depth 1.5m to ensure balconies remain functional. Balconies should be accessed via the main sitting area or kitchen/dining room (C10.3).

The revised GLA Design Standard pre-consultation draft (module C) under C4.2 retains as key standards:

- *"C4.2.1 A minimum of 5 sqm of private outside space should be provided for one-to-two person dwellings.*
- *C4.2.2 The minimum depth and width of all balconies and other private external spaces is 1500mm."*

The emerging housing standard identifies *"Private outside space is desirable in all circumstances"*. It is clear within both the existing and emerging London Plan Policy private amenity space is a key requirement particularly for 2-bedroom family dwellings.

The requirement for private amenity at both a National and London Plan level is clear.

#### Local Plan Policy

Previous Application reference 78419/APP/2023/3434 described the hierarchy of planning policies relevant to that application. This section considers the referenced Decision Notice reasons for refusal and in-turn discusses the revised application amendments and additional evidence in support of the application. The concludes by referencing National and London Plan guidance.

**Reason for refusal 1** – The previous Decision Notice references concern regarding a *"loss of outlook, loss of light, overbearing nature and sense of enclosure to the ground floor apartment and the associated patio area, as well as reducing the quality of communal amenity space in the rear garden"*.

This reason for refusal focussed around the impact to the ground floor apartment outlook and amenity. Policies referenced under the above included:

**Policy DMHB 11, - Design of New Developments** – relevant limbs of this Local Plan policy to this application are:

Part A – Which highlights a requirement for new developments and extensions to be designed to the highest standards and, incorporate principles of good design including: harmonising with the local context scale (height, mass and bulk), local topography, views both from and to the site; and impact on neighbouring open spaces and their environment. Limb ii identifies the need to ensure the use of high quality building materials and finishes.

Part B identifies: Development proposals should not adversely impact on the amenity, daylight and sunlight of adjacent properties and open space.

The width of the balcony under this revised application has been reduced from 3.75m to 3.15m to ensure as supported by the application daylight sunlight assessment *"the proposed balcony would be fully compliant with the BRE daylight and sunlight guidelines"*. The materials, height and design of the proposal would be identical to the existing, adjacent stacked balcony with the removal of the pitched roof extension ensuring a similar façade to the existing arrangement with no increase in height from the existing Juliet railings.

Turning to any perceived loss in residential amenity, the daylight sunlight report identifies at the dimensions proposed there will be a marginal impact on the ground-floor amenity. To the contrary, the proposal will prevent the ground-floor user being overlooked from Apartments 4 and 6 while allows the only two larger 2 bedroom apartments within the building without external amenity to benefit through private amenity access. On balance the application proposal provides a positive impact to the residential amenity through Flats 2, 4 and 6.

**Policy DMHB18 - Private Outdoor Amenity Space** - highlights:

- a) All new residential development and conversions will be required to provide good quality and useable private outdoor amenity space. Amenity space should be provided in accordance with the standards in Table 5.3 which identifies a 25 sq m provision for 2 bedroom apartments.
- b) Balconies should have a depth of not less than 1.5 metres and a width of not less than 2 metres.
- c) Any ground floor and/or basement floor unit that is non-street facing should have a defensible space of not less than 3 metres in depth in front of any window to a bedroom or habitable room. New developments in Conservation Areas, Areas of Special Local Character will be required to enhance the streetscene and the character of the buildings.
- d) The design, materials and height of any front boundary must be in keeping with the character of the area to ensure harmonisation with the existing street scene.

Part A of the policy identifies the clear requirement for **all** new residential development and conversion to provide **private** (opposed to shared) amenity space. 2 of the 6 apartments within the block benefit from private balcony access with the ground floor units benefitting from direct access. Flats 4 and 6 are the only units within the block without direct private amenity access.

The proposal accords with the part b policy requirements of the Local Plan in enabling a 1.5m depth balcony which remains daylight sunlight approval compliant at 3.15m width.

Against Part c) it should be noted exiting ground-floor Apartment 2 has access to a small patio area which the applicant is not sure forms a sole right of use. With no identifiable defensible boundary to the wider rear communal garden the patio area is overlooked from Flats 4 and 6, the proposal providing a defensible boundary to the ground-floor occupier while resulting in an immaterial loss of outlook as identified by the daylight sunlight assessment.

In line with Part d, the vernacular of this rear elevation proposal is in line with the railed, traditional style of the existing stacked balcony benefitting apartments, 1, 3 and 5.

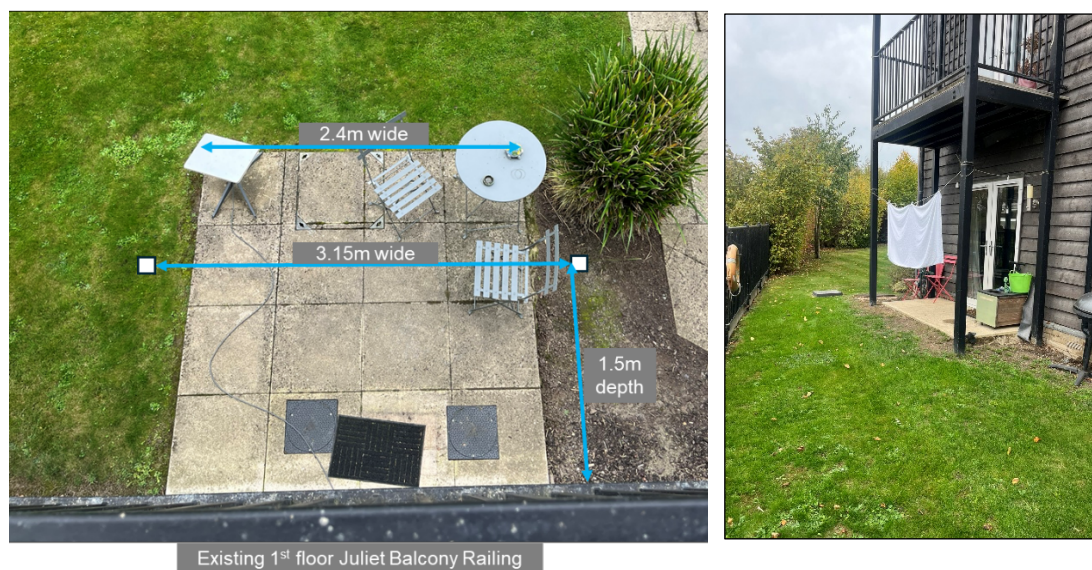
*Policy DMHD 1 of the Hillingdon Local Plan: Part Two – Development Management Policies (2020)* identifies under Part A the need for alterations and extensions to ensure:

- i) there is no adverse cumulative impact of the proposal on the character, appearance or quality of the existing street or wider area;*
- ii) a satisfactory relationship with adjacent dwellings is achieved;*
- v) there is no unacceptable loss of outlook to neighbouring occupiers;*
- vi) adequate garden space is retained;*
- ix) all extensions in Conservation Areas and Areas of Special Local Character, and to Listed and Locally Listed Buildings, are designed in keeping with the original house, in terms of layout, scale, proportions, roof form, window pattern, detailed design and materials.*

As previously identified the vernacular and materials of the proposal will in line with the existing stacked balcony with a positive impact on overlooking to the ground-floor amenity. Policy vi) identifies the need for adequate garden-space to be retained. The proposed pillars to be included installed within the communal garden would each measure 0.1m x 0.1m in diameter (as existing), two additional pillars thereby taking 0.02 sq m of amenity space from the garden. The impact of the pillars on spatial amenity take is immaterial. The indicative pillar locations and dimensions are shown in the table below. The pillars would be installed in ground adjacent to the patio area in ground which is currently void of vegetation.



The image below illustrates the proposal at ground-floor level in context.



Proposed Balcony - 0.1m x 0.1m Pillar Placement (white squares)

Flat 1 - Existing Balcony Pillars

There is no impact on the adjacent accessway. The balcony pillars are identified in white. As illustrated the impact on shared amenity is negligible.

The daylight sunlight assessment identifies the impact on the ground floor outlook at the reduced width is marginal. It should be noted ground-floor Apartment 1 (as approved) is impacted by a stacked balcony benefitting apartments 3 and 5. Thus unit has a limited dual aspect and a smaller set of French-doors, thereby benefitting from a further reduced aspect than Apartment 2.

On-balance, the positive externalities associated with two 2-bedroom-4 person family apartment gaining direct private amenity outweigh the marginal impact on the ground-floor-unit.

**Reason for refusal 2** – identifies the previous application failed to address the issues relating to flood risk and was thereby contrary to the following hierarchy of local and national policies:

National Planning Practice Framework (NPPF) – Paragraph 176 identifies “Applications for some minor development and changes of use [including householder applications] should also not be subject to the sequential test, nor the exception test set out below, but should still meet the requirements for site-specific flood risk assessments set out in footnote 63.”

Footnote 63 identifies “A site-specific flood risk assessment should be provided for all development in Flood Zones 2 and 3...”

The Flood Risk and Coastal Change of the Planning Policy Guidance (PPG), further identifies the requirements for a site-specific flood risk assessment while *Policy SI 12- Flood Risk Management (f) of The London Plan 2021 identifies*: the need for development proposals adjacent to flood defences to protect the integrity of flood defences and allow access for future maintenance and upgrading, with proposals set-back from flood defences.

Policy DMEI 9 of the Hillingdon Local Plan: Part Two - Development Management Policies further builds on the requirement to evidence development suitability by evidencing:

- e) *Proposals that fail to make appropriate provision for flood risk mitigation, or which would increase the risk or consequences of flooding, will be refused.*

**Reason for refusal 2 – Revised Application FRA** – Fernbrook Consulting Engineers were instructed to provide a full Flood Risk Assessment (FRA) in September 2025. The report included within this application identifies

the proposal as being located within Flood Zone 1 providing for a less than 1 in 1,000 year annual probability of flooding (0.1%).

The report goes on to identify the risk of tidal/fluviat flooding is assessed as low. The report also identifies the site as being at very low risk of surface water flooding. The report identifies based on the EA Long term flood risk information the site is not at risk of flooding from reservoirs or artificial sources. Refer to **Figure 3-5** below. Therefore, the risk of flooding from reservoirs, canals and artificial sources is assessed as low. The table below summarises the assessment of flood-risk from the FRA:

Table 4-1 Flood Risk Summary

Source	Source	Risk
Tidal / Fluviat	Grand Union Canal	Low
Pluvial	Surface water runoff	Low
Groundwater	Aquifer /Chalk bedrock	Low
Sewer surcharge	Thames Water sewers	Low
Artificial sources	Grand Union Canal / Lakes	Low

The FRA concludes: that the proposals are consistent with the aims of the NPPF and the Planning Practice Guidance to the NPPF along with the aims of the Local Flood Risk Management Strategy. The Site will not be at significant risk of flooding or increase the flood risk to others.

The proposal is thereby considered to comply with all of the aforementioned policies.

## Planning Assessment

The proposal seeks to replicate the existing free-standing balcony to the west of the building providing much needed external amenity to the only two units in the block without private external amenity access. The width of the Balcony proposal has been reduced to reduce the impact on the ground floor outlook with a daylight sunlight assessment identifying a BRE pass.

The installation of private amenity space would have an immaterial impact on the extent of ground floor garden amenity and will invariably improve the health and wellbeing of existing and future residents and would bring the accommodation in line to the private amenity requirements of the London Plan and Local Plan.

Elevations would maintain a contemporary design in-keeping with the character of the existing building and locality with a retained railed balcony finish in line with the existing Juliet arrangement. Unlike the existing balcony structure serving Apartments 1, 3, 5 the proposal has a railed balcony finish with no pitched overhead extension. This maintains the existing Juliet balcony rail-height and reduces visual impact on the vicinity and impact through the construction process.

Access to the outdoor external area will be from the existing UPVC French doors located in living-areas in line with GLA guidance. In line with Policy DMHB18 the proposal would provide the residents of Apartment 2 (ground floor) with a defensible space to their existing living accommodation with an immaterial impact on outlook.

The installation would also enable the cleaning and maintenance of the 1<sup>st</sup> and 2<sup>nd</sup> floor north-facing doors and windows which are not currently part of the building maintenance plan and are inaccessible.

The impact on the immediate vistas has been carefully considered. The Island Apartments is set within its own curtilage and is elevated from the Grand Union Canal, screened from the north, west and east elevations by dense, deciduous planting. The depth of the proposed balcony has been retained at a minimum 1.5m in line with guidance while the width has been reduced from 3.75m to 3.15m to retain a sympathetic relationship to the vicinity and further reduce the impact on outlook to the ground-floor unit. The elevation inset would ensure the proposal would not be visible from the south of the building or by existing residents in the west building core given building cores are offset.

As identified by the supporting Flood-Risk Assessment, the application would not be at significant risk of flooding or increase the flood risk to others.



Taking the above on balance the positive provision of outdoor private amenity space to two 2B4P family units should be considered to outweigh any immaterial impact to the ground floor unit. to the façade against the existing arrangement is thereby considered marginal.

## Conclusion

The Applicant has proactively engaged with the Daylight & Sunlight consultant and has reduced the width of the proposal from 3.75m to 3.15m to reduce the impact on ground-floor visual amenity and ensure the proposed balcony would be fully compliant with the BRE daylight and sunlight guidelines. On balance the application would enable the compliant installation of 1.5m depth private amenity to two 2B4P family apartment units resulting in a minimal impact to the ground-floor unit, with improved privacy.

The reduction in shared garden area as a result of the pillar installations would be immaterial and the Flood Risk Assessment identifies an immaterial increase in flood risk to others as a result of the installation.

The proposed installation seeks to retain status quo so far as possible with the existing Juliet rail façade at 1<sup>st</sup> and 2<sup>nd</sup> floor levels maintained and balcony rail-height in-keeping with the existing.

The application would materially improve the quality of life to existing and future residents of these two units while having a marginal impact on ground floor outlook and the wider environment, providing a greater level of privacy. On balance officers are respectfully requested to approve the application.

*Annex 1 - Island Apartments | Vistas and Adjacent Landscaping*

*Annex 2 - Island Apartments | Existing Elevations & Floorplans*

*Annex 3 - Island Apartments | Proposed Rear Elevation planning drawings*

Annex 1 - Island Apartments | Vistas and Adjacent Landscaping

*Island Apartments – Existing Front Elevation (south)*



*Island Apartments – Existing Rear Elevation (north)*



*Island Apartments – Existing East Elevation*



*Island Apartments – Existing West Elevation*



*Island Apartments – 1st floor view over rear gardens*



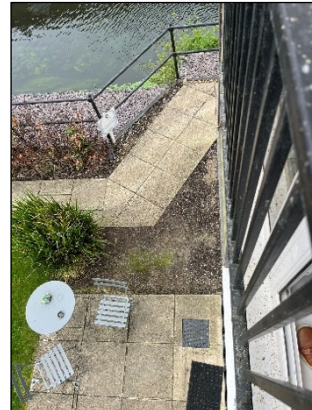
*Island Apartments – View from Grand Union Canal*



*Island Apartments - 1st floor view over ground floor patio*



*Island Apartments - 1st floor view over ground floor (river context)*

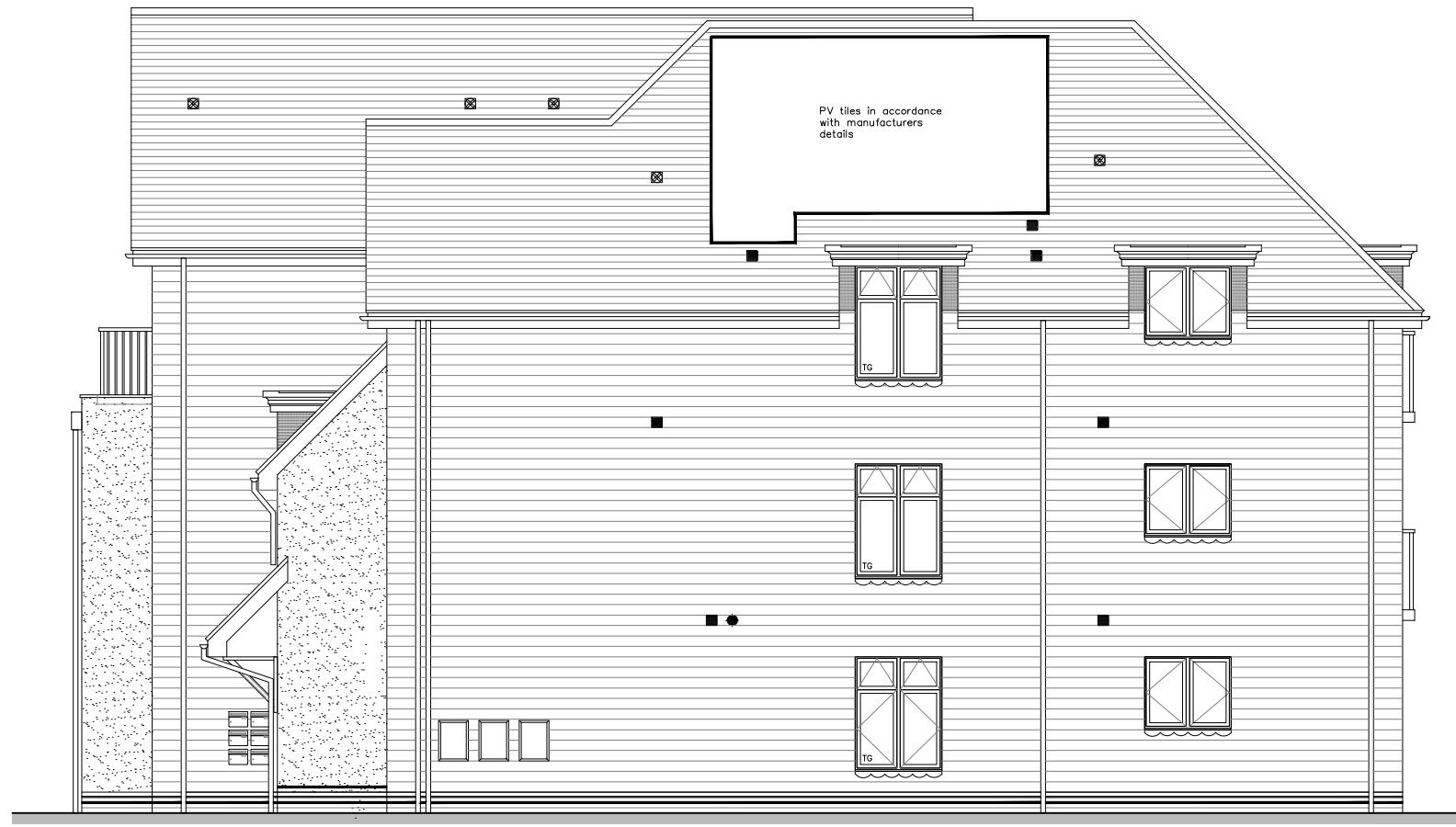




Notes:



Elevation 1



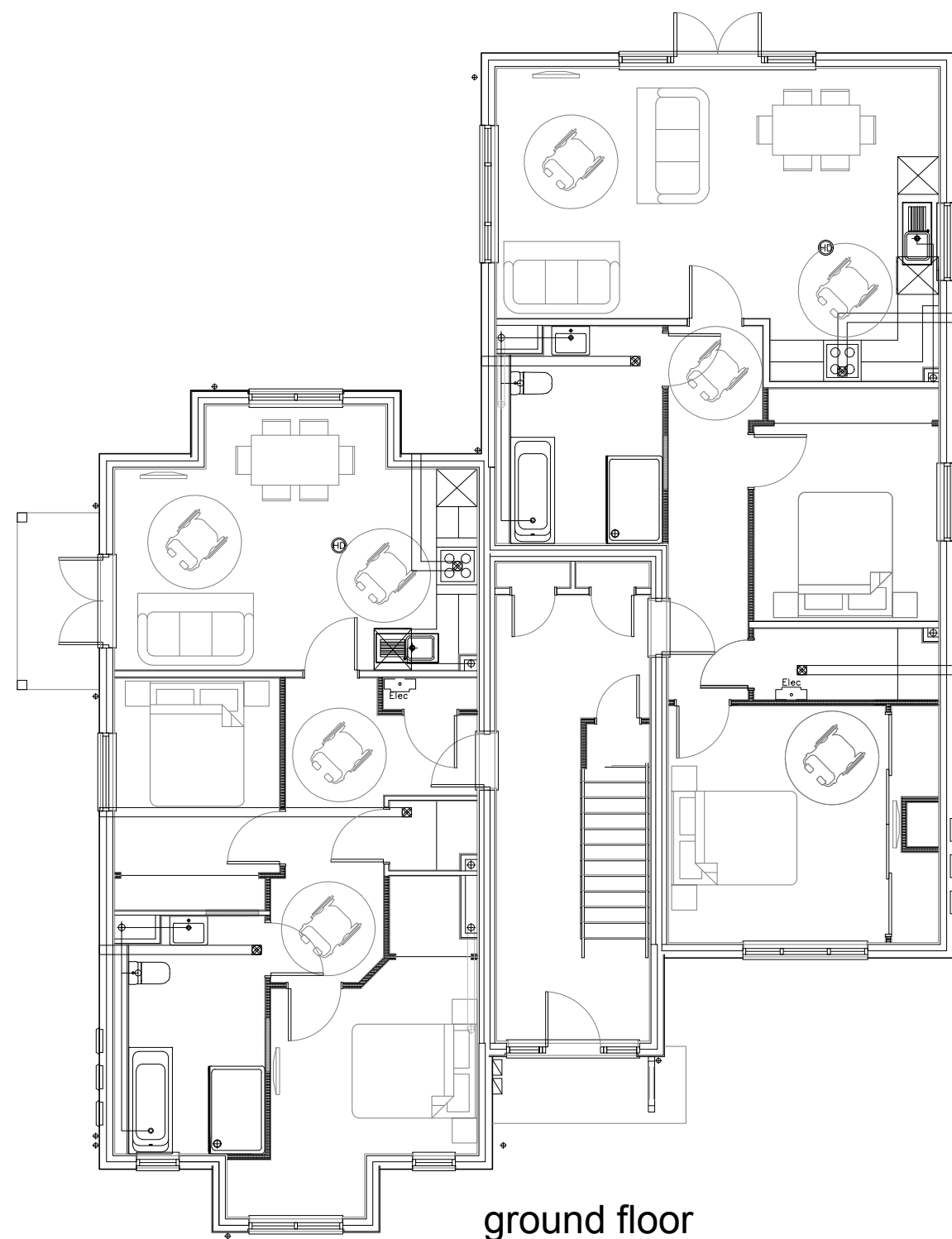
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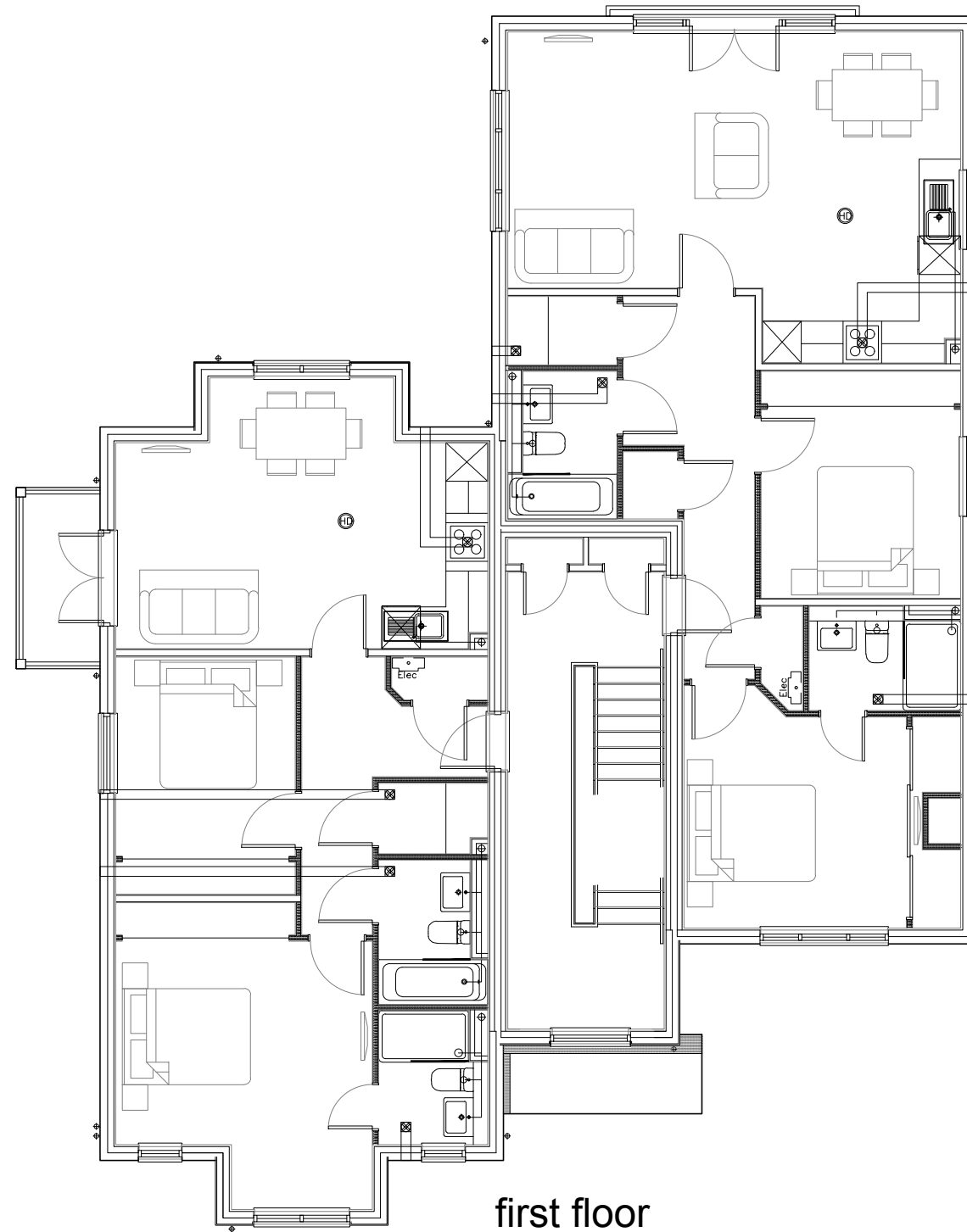
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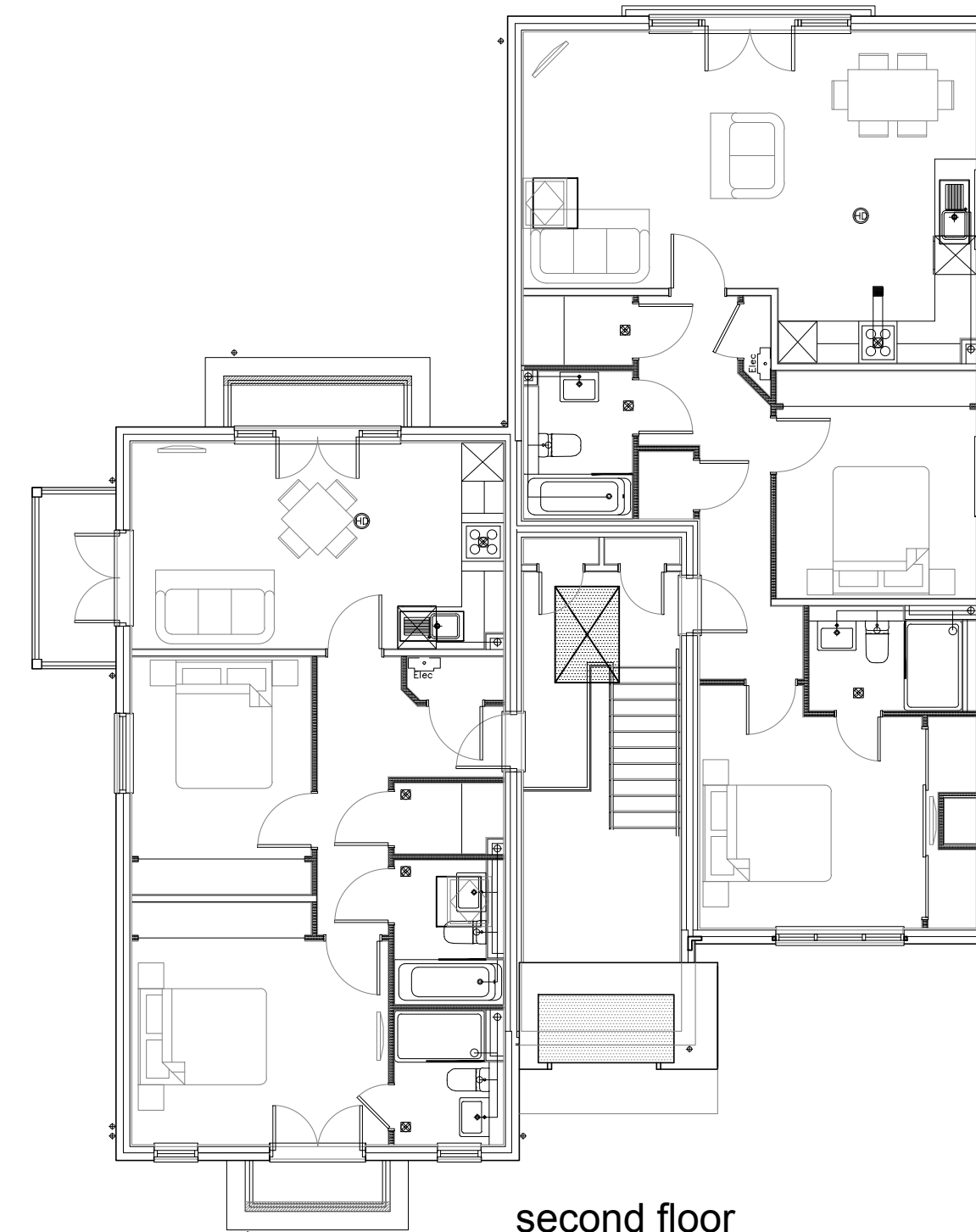
Elevation 4



ground floor



first floor



second floor

Revision	Date	Description
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Project:  
Royal Quay, Island Apartments  
Harefield

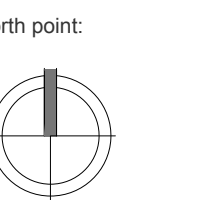
Client:  
Matthew Hallchurch

Drawing:  
Existing Floor plans and Elevations

Drawing number:  
3190.PLN.102

Revision:  
-

Date:  
31.10.2023



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Notes:



Elevation 1



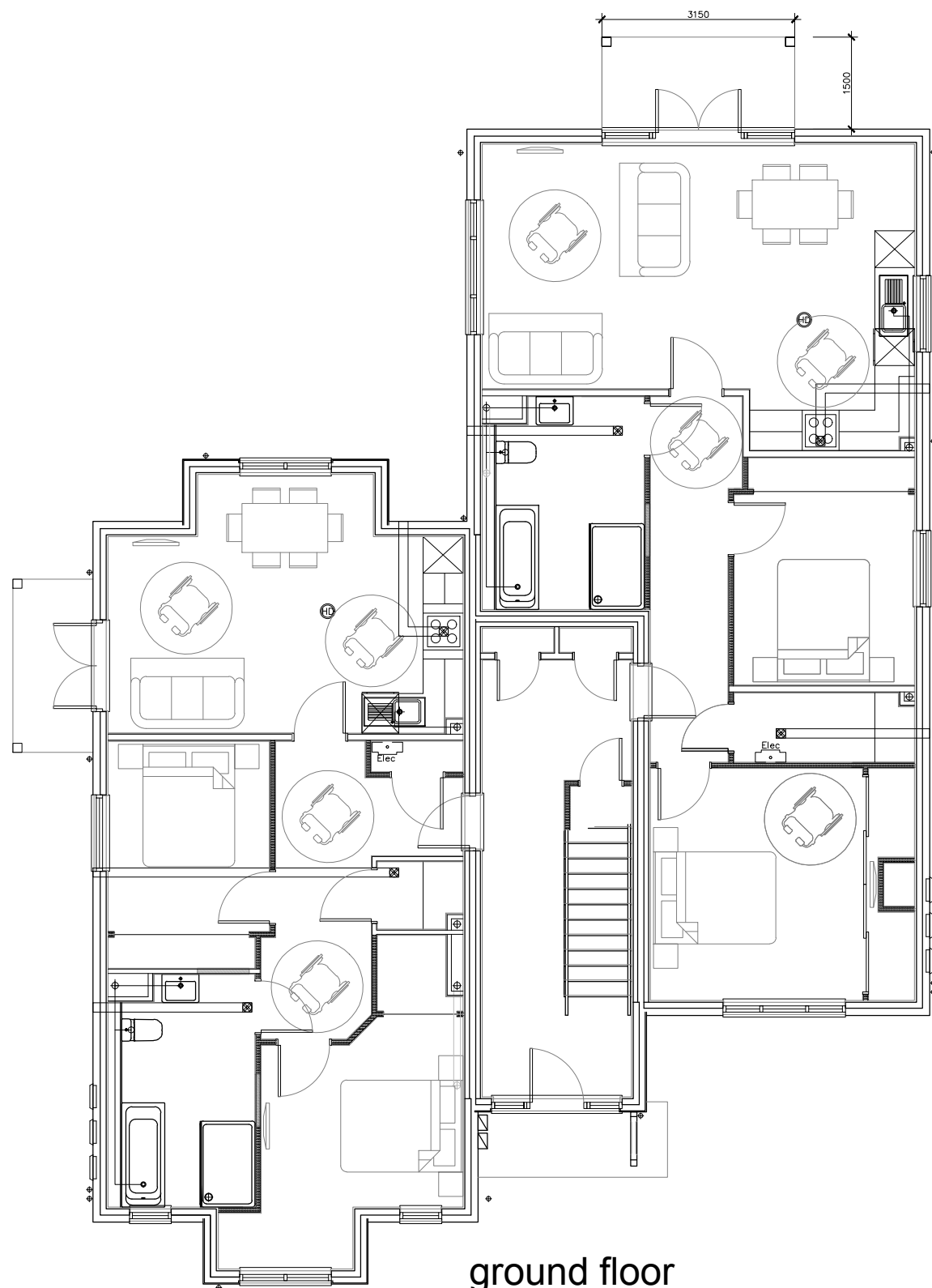
Elevation 2



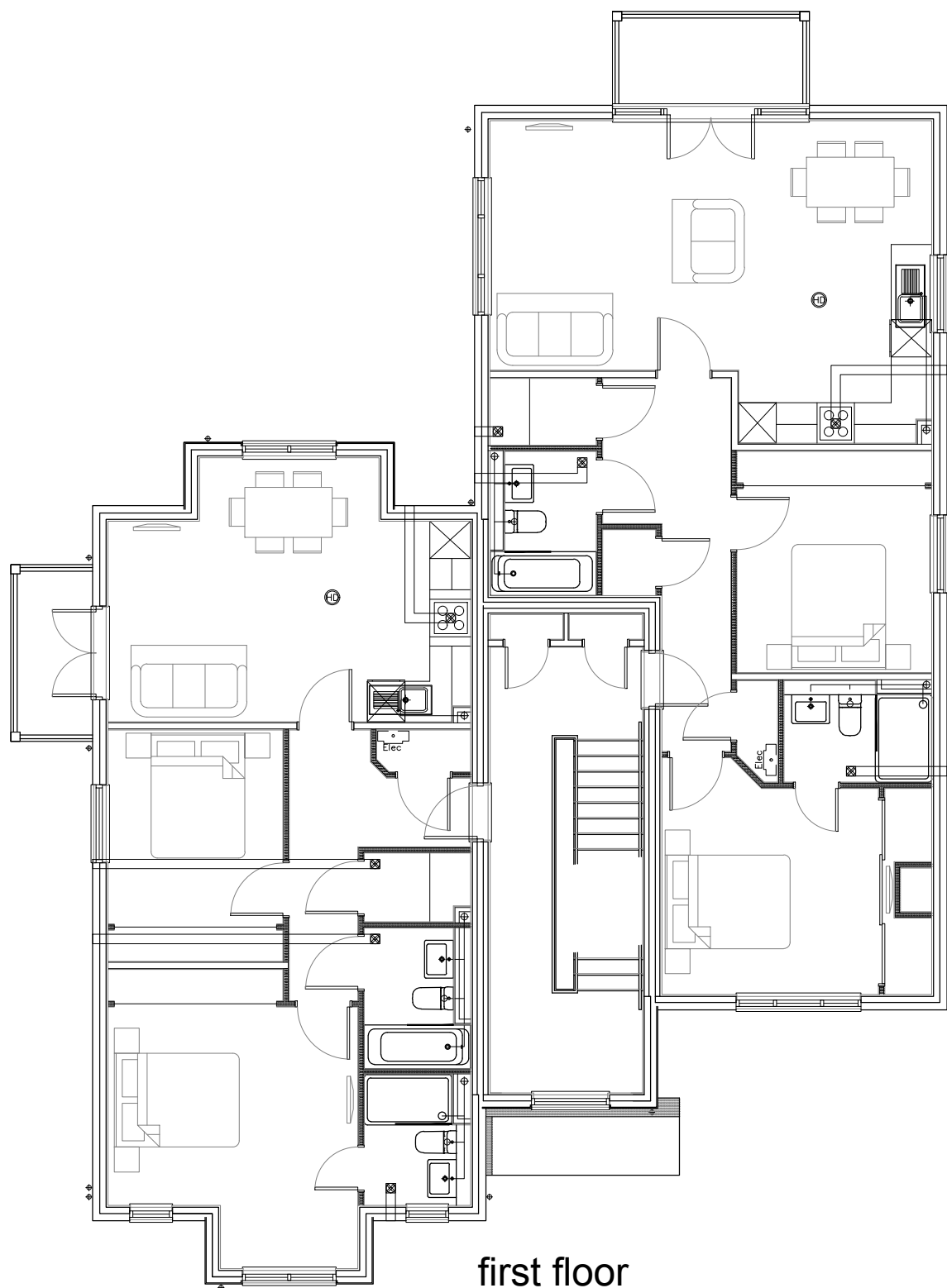
Elevation 3



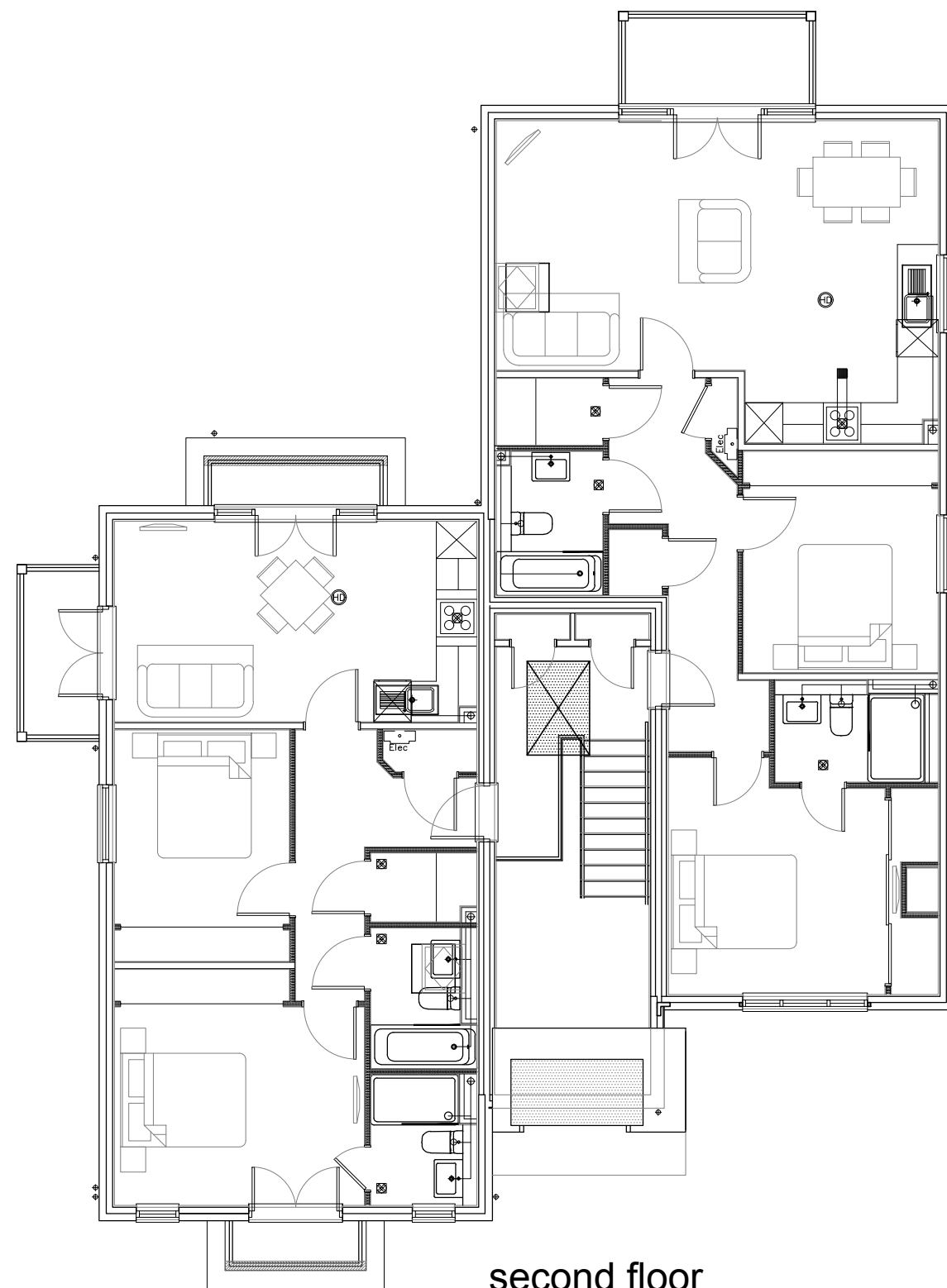
Elevation 4



ground floor



first floor



second floor

A 22.09.25 balconies reduced in width  
A 17.09.25 balconies reduced in width

Revision	Date	Description
A	22.09.25	balconies reduced in width
A	17.09.25	balconies reduced in width

Project:  
Royal Quay, Island Apartments  
Harefield

Client:  
Matthew Hallchurch

Drawing:  
Proposed Floor plans and Elevations

Drawing number:  
3190.PLN.101

Revision:  
B

Date:  
31.10.2023

North point:



1st Floor 10 - 12 The Broadway/Wycombe End (Baconfield HP9 1ND) tel: 01494 674880 (www.progressplanning.co.uk)

Scale:  
1:100  
0 2m 4m 6m 8m

A0 A1 A2 A3 A4