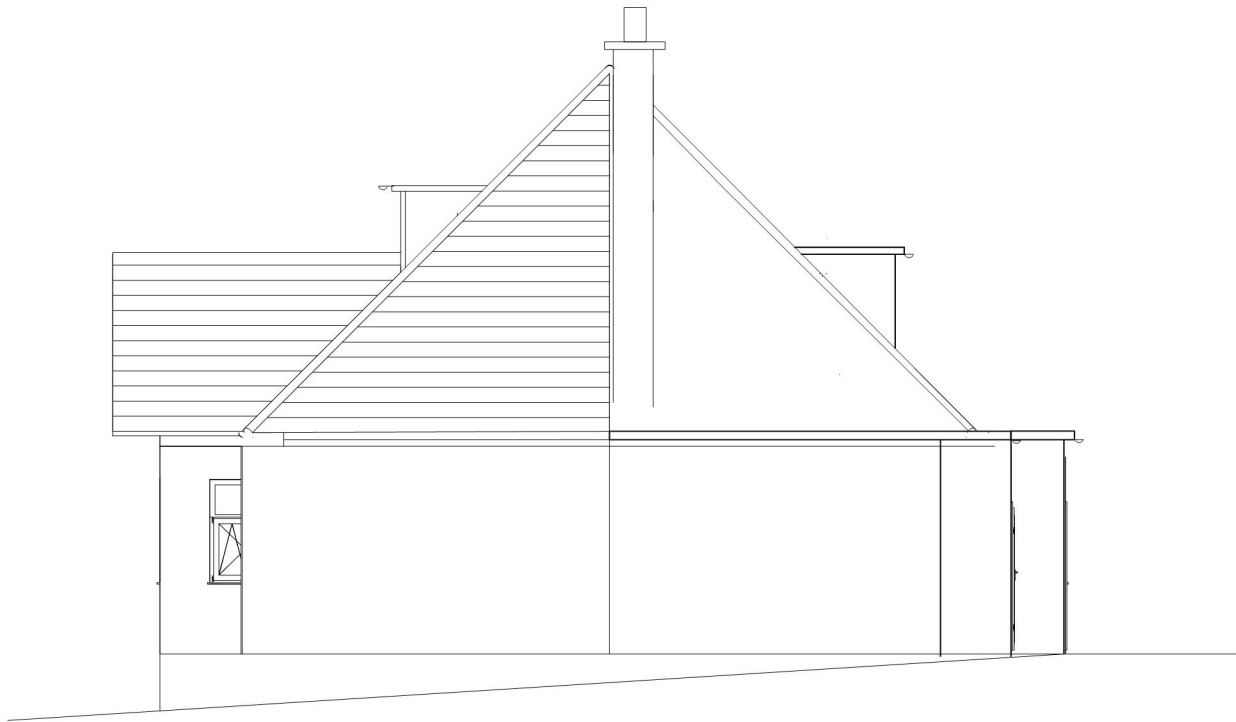


PLANNING NOTES

- 1) Unless otherwise specifically stated, all facing building materials to be used shall be selected to closely match the existing materials.
- 2) Samples of building materials shall be provided to local planning authority for approval upon their request and prior to construction commencing.
- 3) New or replacement windows and external doors shall be of similar style and designed to that of the existing.
- 4) Feature brickwork and general feature detail present on existing property, i.e. window cill details, eaves detailing ect, shall be replicated upon the extended structure where appropriate.
- 5) Any upper floor window located in a wall or roof forming a side elevation shall be obscure-gazed and non-opening unless part of the window which can be opened are not more than 1.7mtrs above floor level of the room in which the window is installed.
- 6) All new and proposed designs will be in accordance with Building regulation 2010 fire safety approved document B. volume 1 Dwellings.



Existing elevation facing North East

PLANNING NOTES

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Existing elevation facing North West

PLANNING NOTES

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Interdiy

Drawing services
07762384450
www.interdiy.center

TITLE:
Planning application

CLIENT:

Mr P. Suzic
49, Stanley Road
Northwood
HA6 1RH

SCALE: 1: 100@A4

DATE: 16-05-23

DRG No 001-06

ISSUE **A**



Existing rear elevation facing North

TITLE:
Planning application

CLIENT:

Mr P. Suzic
49, Stanley Road
Northwood
HA6 1RH

SCALE: 1: 100@A4

DATE: 16-05-23

DRG No 001-07

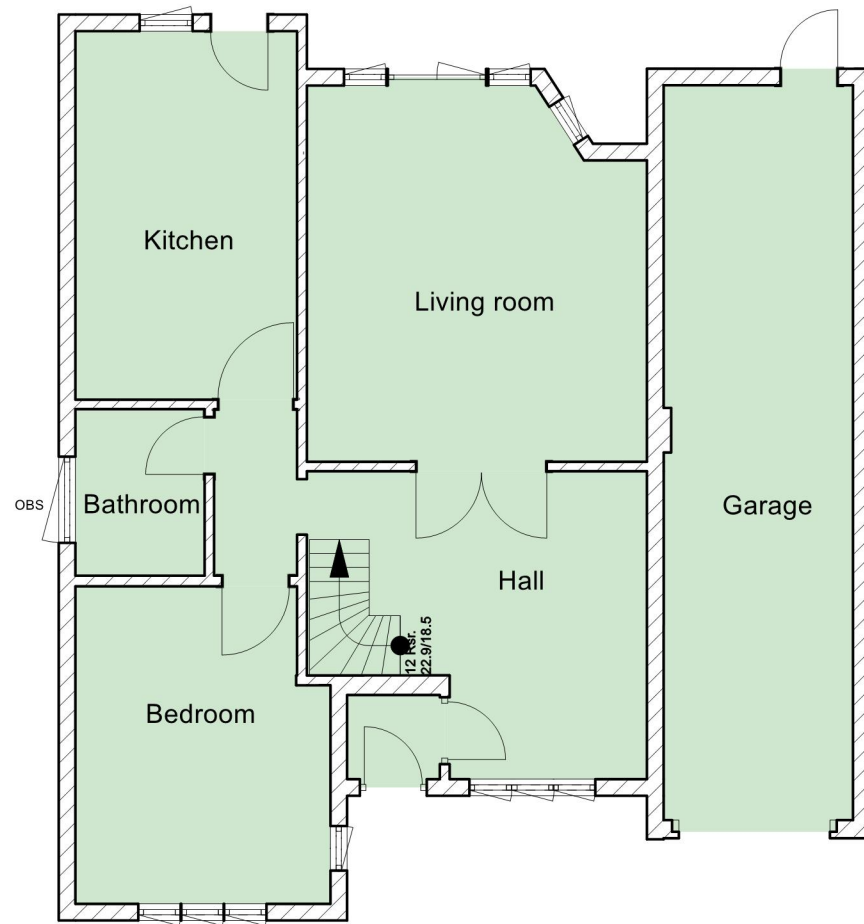
ISSUE A

PLANNING NOTES

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Existing front elevation facing South



Existing ground floor

PLANNING NOTES

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- 6) All new and proposed designs will be in accordance with Building regulation 2010 fire safety approved document B, volume 1 Dwellings.

PARTY WALL NOTICE

PLEASE NOTE THAT BEFORE BUILDING WORK COMMENCES IT IS THE RESPONSIBILITY OF THE BUILDER OR OWNER TO SERVE PARTY WALL NOTICE TO ALL NEIGHBOURS

DIMENSION:

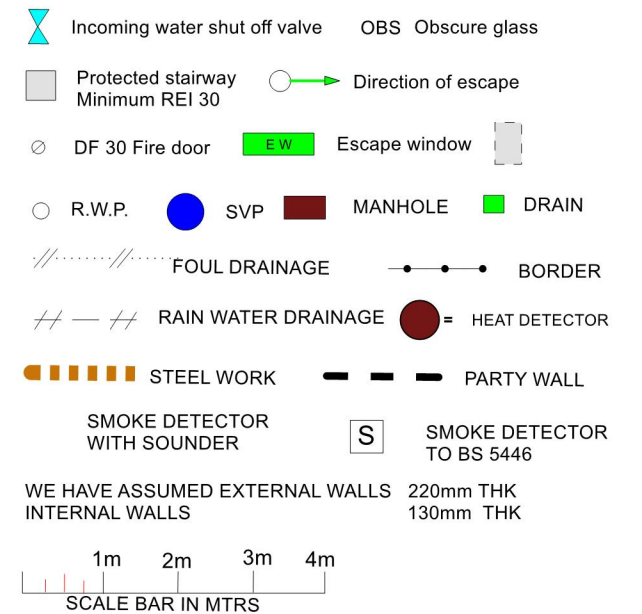
CONTRACTOR TO CHECK ON SITE THOROUGHLY BEFORE WORK STARTS AND REPORT ANY DISCREPANCIES
DIMENSIONS STATED ARE FOR GUIDE LINES ONLY, CONTRACTORS TO VERIFY ALL BOUNDARY POSITIONS AND DIMENSIONS ON SITE PRIOR TO COMMENCING ANY WORK., MAKING WORKSHOP DRAWINGS OR OBTAINING ANY MATERIALS.

NOTE: NO CHECK DIMENSIONS OF THE SITE HAVE BEEN TAKEN AND ALL INFORMATION AND DETAILS HAVE BEEN SUPPLIED BY CLIENT.

NO SITE SUPERVISION IS IMPLIED OR UNDERTAKEN UNLESS OTHERWISE SEPARATELY AGREED. THE DRAWING DOES NOT INDICATE ANY EXTENT OF ANY EXCAVATION WORK AND THE CONTRACTOR IS TO DETERMINE PRIOR TO SUBMITTING A QUOTATION FOR THE WORK OR COMMENCEMENT OF ANY WORK.

THE DRAWING DOES NOT INDICATE OR IMPLY THE STRUCTURAL CONDITION OF THE EXISTING PROPERTY. THE DRAWINGS HAVE BEEN PREPARED FOR THE ASSISTANCE AND PREPARATION OF DETAILS FOR PLANNING AND BUILDING REGULATION PURPOSES ONLY. NO CHECK DIMENSION HAVE BEEN TAKEN, ALL DETAILS HAVE BEEN PROVIDED BY CLIENT.

THE USE OF PERMITTED DEVELOPMENT RIGHTS IN PROPERTY IS SUBJECT TO INFORMATION PROVIDED BY OWNER REGARDING THE STATUS OF THE PROPERTY BEING A DWELLING HOUSE AND THE DWELLING NOT BEING IN A CONSERVATION AREA. DEVELOPMENT WITHOUT A CERTIFICATE OF LAWFULNESS OR PLANNING PERMISSION IS SOLELY AT OWNER'S RISK.





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TITLE:
Planning application

CLIENT:

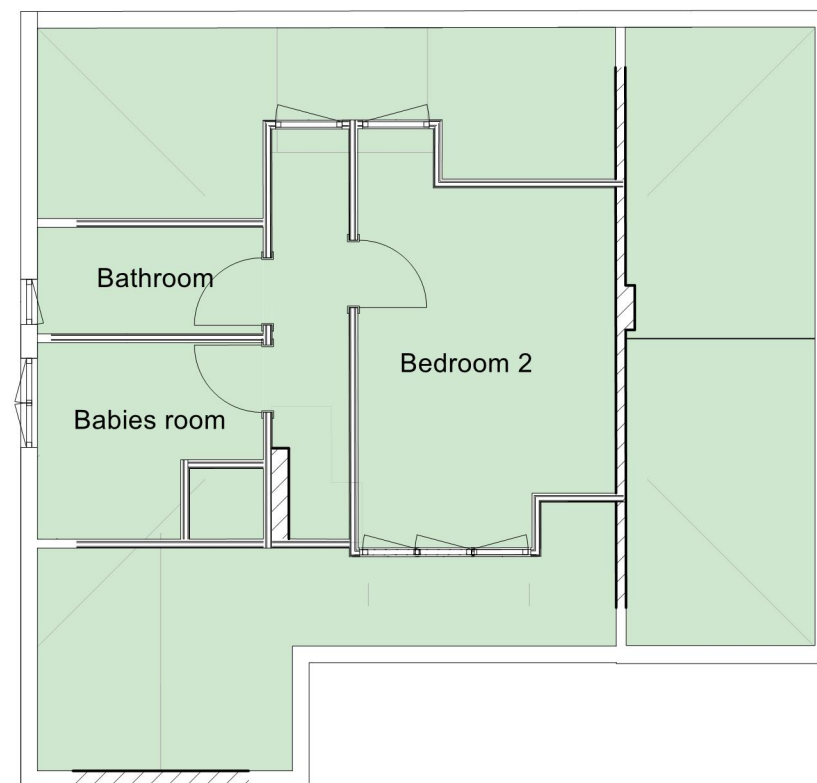
Mr P. Suzic
49, Stanley Road
Northwood
HA6 1RH

SCALE: 1: 100@A4

DATE: 16-05-23

DRG No 001-02

ISSUE **A**



Existing loft plan



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Planning application

CLIENT:

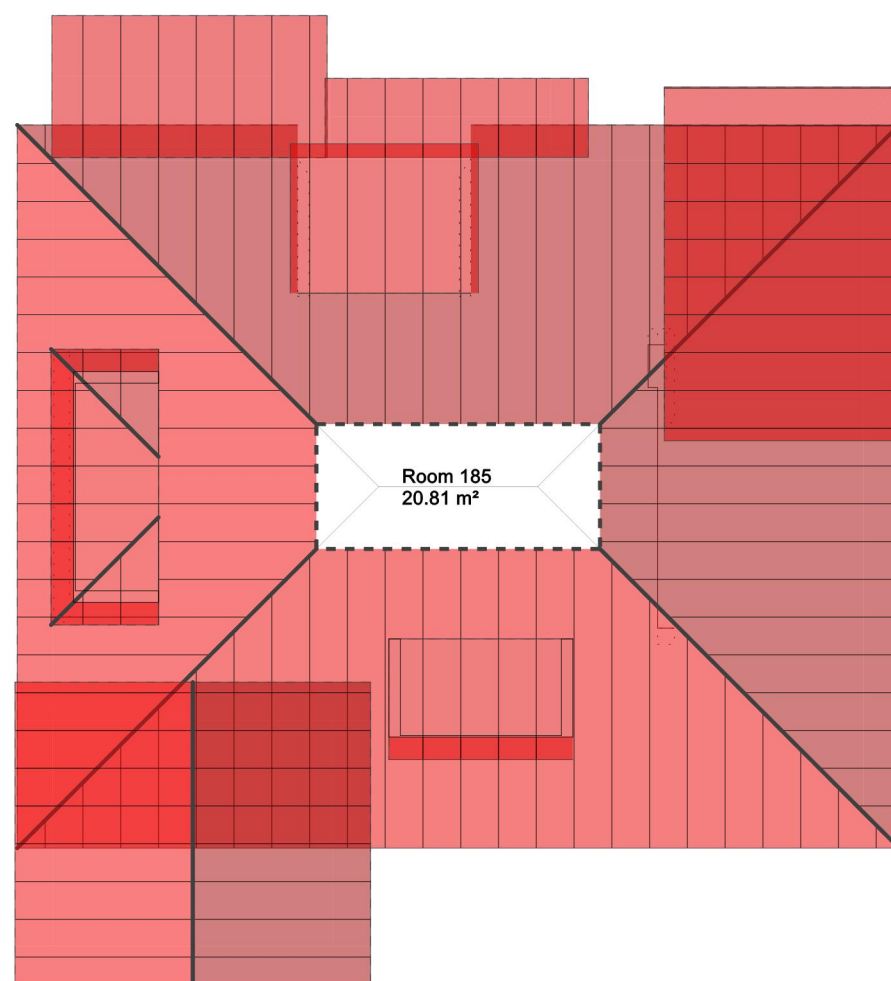
Mr P. Suzic
49, Stanley Road
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HA6 1RH

SCALE: 1: 100@A4

DATE: 16-05-23

DRG No 001-03

ISSUE **A**



Existing roof plan