

July 2024

TECHNICAL NOTE

Surface Water Drainage

Chevron House, Uxbridge (Proposed Forecourt)

1.0 Introduction

- 1.1 Lanmor Consulting Ltd has been appointed to prepare a brief note on surface water drainage for the proposed highways and landscaping works at Howarth Homes PLC, Chevron House, 346 Long Lane, Uxbridge, UB10 9PF. Figure 1.1 below shows the location of the site.

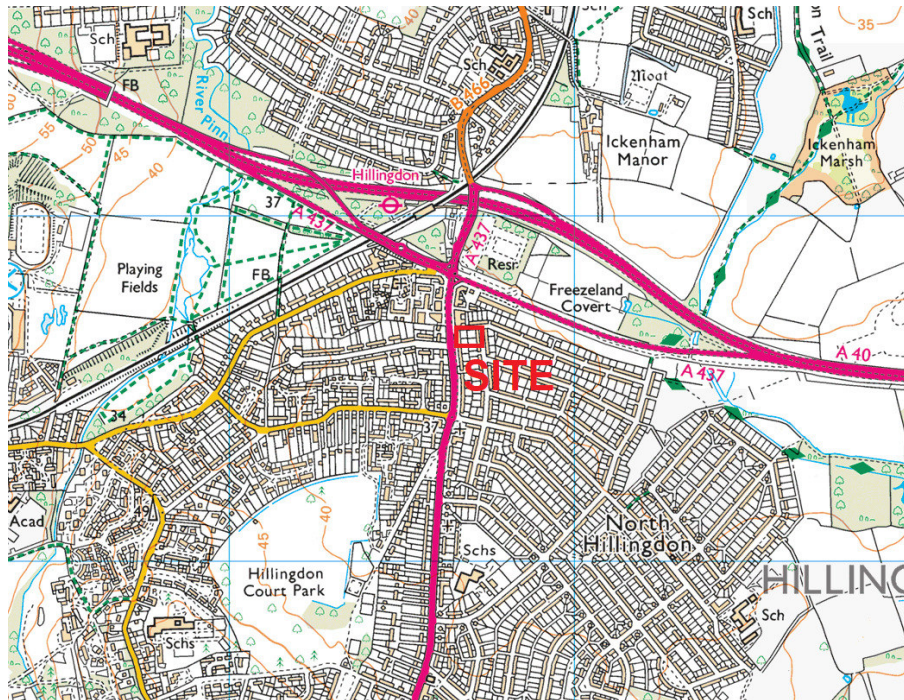


Figure 1.1 – Site Location

2.0 Existing Site Conditions

- 2.1 The site is currently occupied by an office unit under the use of the applicant with parking to the rear that is accessible via a dropped kerb from Granville Road. The British Geological Survey (BGS) also indicates that the bedrock geology for the site is London Clay Formation.

- 2.2 Figure 2.1 below shows the location of the site in relation to areas at risk of surface water flooding. The map clearly shows that the site is at “very low” risk of surface water flooding and would be free from floodwaters for the 1 in 100-year storm event.

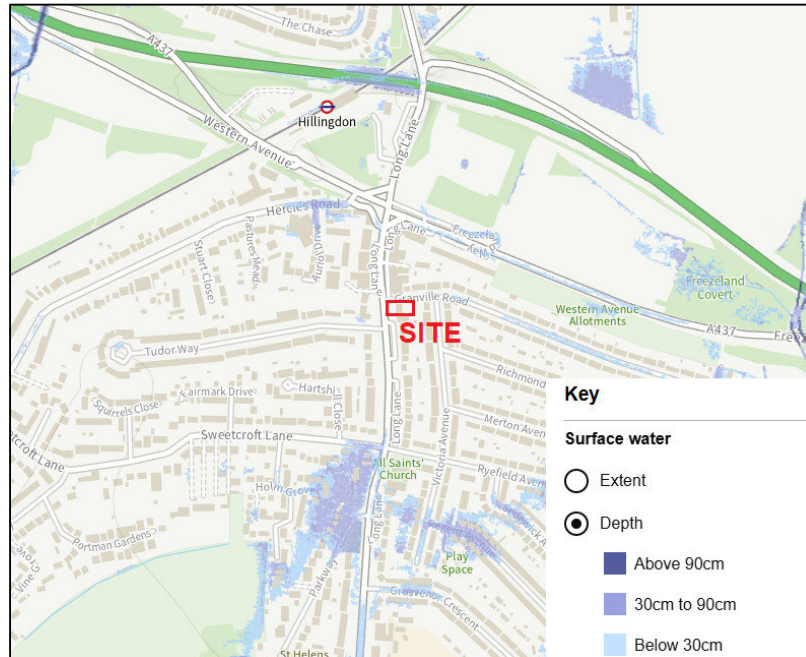


Figure 2.1 – Surface Water Flooding Map

- 2.3 The sewer flooding map obtained from the West London SFRA and displayed below in Figure 2.2 also shows that the site would not be susceptible to a surcharge / backflow from the nearby sewers in the event of heavy rainfall.

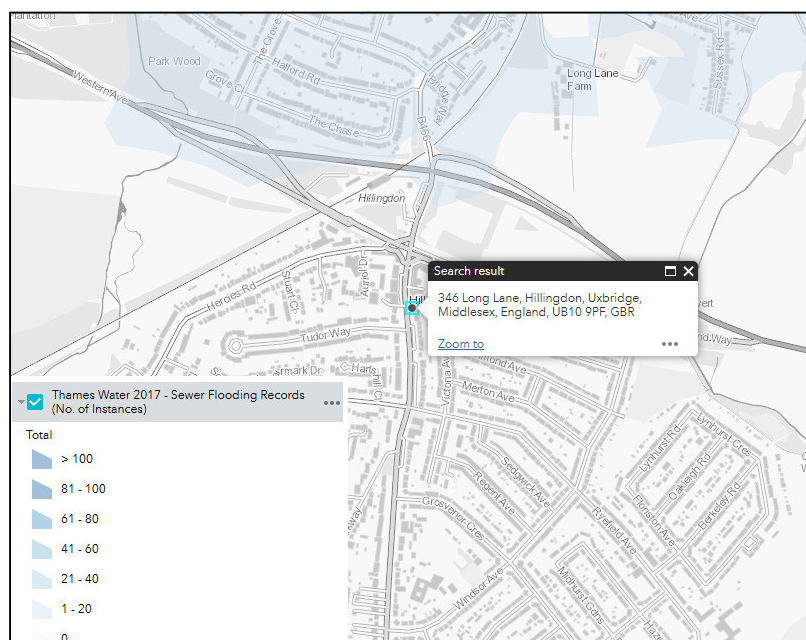


Figure 2.2 – Sewer Flooding Map

3.0 Proposed Development

- 3.1 The proposals seek consent for the construction of a new crossover the forecourt to the front of the site with a new dropped kerb to provide access to the highway. The proposed layout of the crossover and parking bay area has been included in Appendix A as drawing 256/PL/100/00.

4.0 Existing Drainage

- 4.1 The area of the site is currently occupied by hardstanding and buildings, with rain gullies located to the rear of Chevron House (around the rear car park). The channels of road along Long Lane currently have gullies. The rainwater from the site currently discharges to the Thames Water sewer system at an unrestricted rate and it is assumed the road gullies along Long Lane currently collect runoff from the road and footway and also discharge to the Thames Water sewer.

5.0 Proposed Drainage

- 5.1 As the forecourt will be hard surfaced as per the existing situation there will be no impact on the volume and rate of runoff from the site. The proposals will also incorporate some green / soft landscaping, to there will be a small benefit removing some of the paving and replacing with soft landscaping that will infiltrate to ground. The crossover of the footway will replace one impermeable surface with another this will still continue to drain to the road so there will be no net difference. The implementation of soft landscaped areas will result in a small reduction in the volume of runoff entering the sewer system.

APPENDIX A

256/PL/100/00 – Proposed Landscaping Plan

