

13.0 Formal Application – Proposed Birds Eye View Plans & Images

Proposed Alterations and Extension

Following a positive pre-application advice response, we have sought to review and detail all of the proposed external alterations and new additions. The following images within this Design and Access Statement have been prepared by Dreyfus Designs Ltd in collaboration with Kristian Peel Architecture Ltd to create realistic proposed imagery of Old Clack Farm. The proposed images include the recently consented garage, pickleball court and the re-instatement of the swimming pool 42413/APP/2025/2586.

The proposed glazed link infill will remain subservient and will provide a distinct contemporary contrast between the existing house and barn.



Image: Birds Eye View Old Clack Farm with the Proposed Alterations And Extension (garage, pickleball court and garage also illustrated as Previously consented) Reference: 42413/APP/2025/2586



Image: Birds Eye View Proposed Alterations and Extension



Image: Birds Eye View Existing Pool House and Consented Swimming Pool and Pergola.

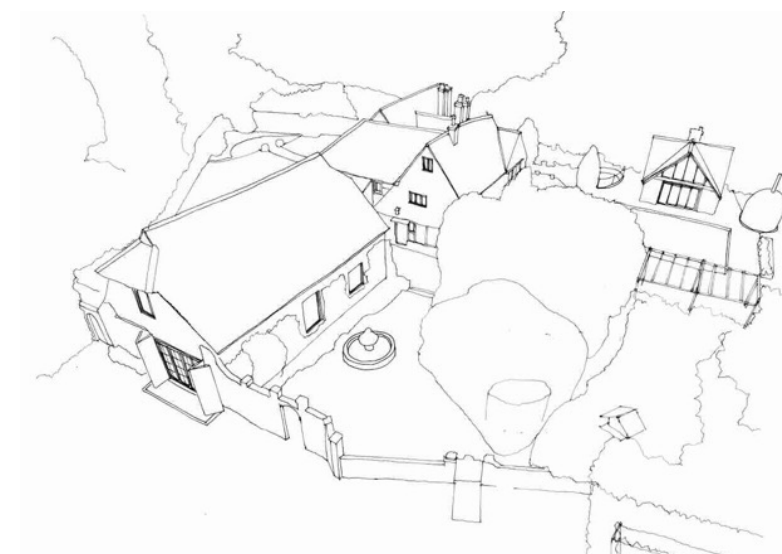


Image: Birds Eye View Consented Pickleball Court and Garage.



Image **Old Clack Farm** Birds Eye View Looking North East (including House, Glazed Link/ Eating Space and Barn

Note: Pool shown is for illustration purposes only and forms part of the recent planning consent 42413/APP/2025/2586



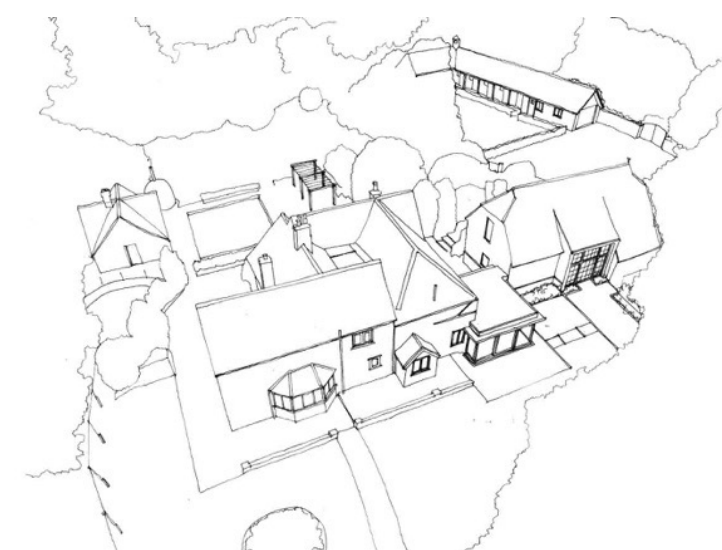
Sketch Image **Old Clack Farm** Birds Eye View Looking North East (including House, Glazed Link/ Eating Space and Barn

14.1 Formal Application – Proposed Birds Eye Images



Image **Old Clack Farm** Birds Eye View (including House, Glazed Link/ Eating Space and Barn)

Note: Pool, Pickle Ball Court and Proposed Garage shown are for illustration purposes only and forms part of the recent planning consent 42413/APP/2025/2586



Sketch Image **Old Clack Farm** Birds Eye View (including House, Glazed Link/ Eating Space and Barn)



Image Proposed Rear Elevation (including House, Glazed Link/ Eating Space and Barn)



Sketch Image Proposed Rear Elevation (House, Glazed Link/ Eating Space and Barn)

16.0 Formal Application Existing Layout – Specific Design Proposals



Existing Ground Floor Plan (above) Not to Scale

Existing Images The images below illustrate areas that are to be either adapted or demolished including the removal of the lobbied gable ended single storey addition to the side of the existing kitchen. This will be removed along with the rear lean-to addition to make way for the proposed glazed link.



Image Existing Lean-to Store



Image Existing lean-to to be demolished + Removal of existing small kitchen window

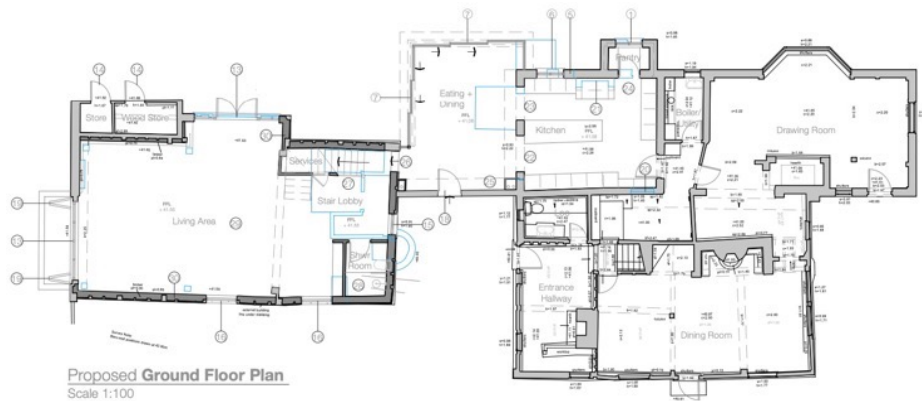


Image Existing lean-to + gable end addition to be demolished.



Image Proposed Single Storey Gable End to House to be demolished (looking east)

16.1 Formal Application **Proposed Layout** – Specific Design Proposals

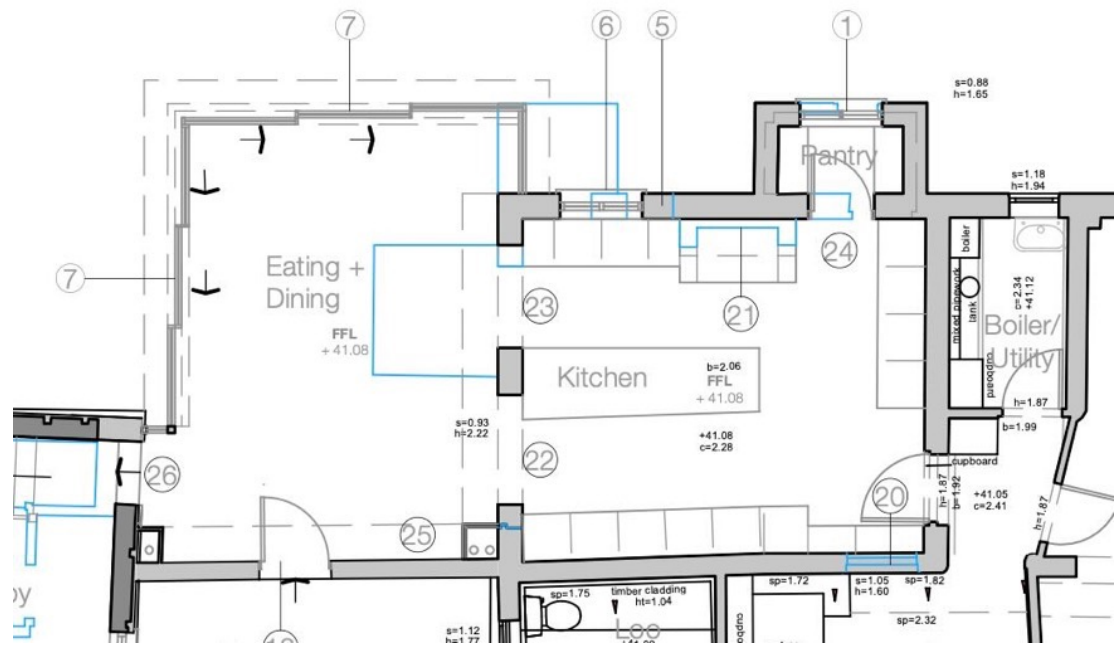


1 Proposed Larder As part of the scheme proposals, we are proposing to remove the existing lean-to roof and existing window and to create an adapted footprint with a slightly higher gable ended roof to improve head height. The amended structure will be rendered, with a timber framed double glazed window and clay roof tiles to match existing.

5 + 7 Proposed Kitchen Window The existing small kitchen window will be removed along with the demolition of the existing lean-to. A proposed timber framed double glazed window will be located to allow for view out from the kitchen sink to the garden.

7 Proposed Glazed Link/Eating Area (view looking south) The proposed glazed link, will include 2 sets of '3 pane' glazed sliding doors, which, when opened will stack (right) as you look at the plan and stack back towards the barn allowing the and airy dining space to connect with the garden and proposed external terrace set flush with the finish floor level of the dining room. You will note the the proposed small section of glazing between link and the barn is recessed to ensure that there is clear articulation between the historic barn structure and more contemporary glazed link.

7 Proposed Glazed Link/ Eating Area (view looking East) The proposed double glazed door system will consist of a very thin powder coated grey frame. The roof will include a grey rubber roof and metal powder coated top (see illustrations below) The finish floor level will remain the same as the existing kitchen space as will the proposed floor to ceiling height. The proposed internal opening '26' to the barn will include 2 no. steps up to the ground floor barn level.



Proposed Part Ground Floor Plan (above) Not to Scale



1.Ref Plan – Proposed Adaptation of Larder



5 & 6.Ref Plan – Proposed Kitchen Window



7.Ref Plan – Proposed Glazed Eating Area



7.Ref Plan – Proposed Glazed Eating Area (looking east)

16.2 Formal Application Existing Layout – Specific Design Proposals

Existing Landscaping

Whilst the existing lower courtyard will remain as is, (save the removal of the existing steps leading up to the current access to the side elevation of the barn) the hard landscaping to the rear between the house and barn will be altered. The intent will be to move some of the hard landscaping further away from the existing barn to avoid moisture build up and damp within the lower red brick work.



Existing Ground Floor Plan (above) Not to Scale

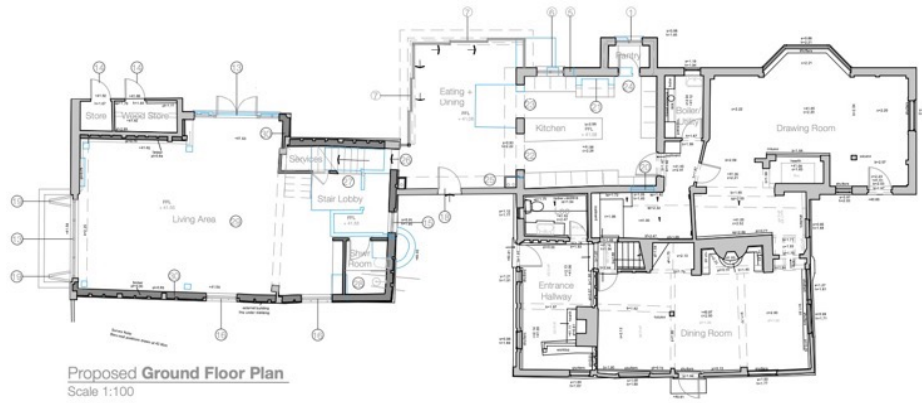


Image Existing Landscaping between House and Barn



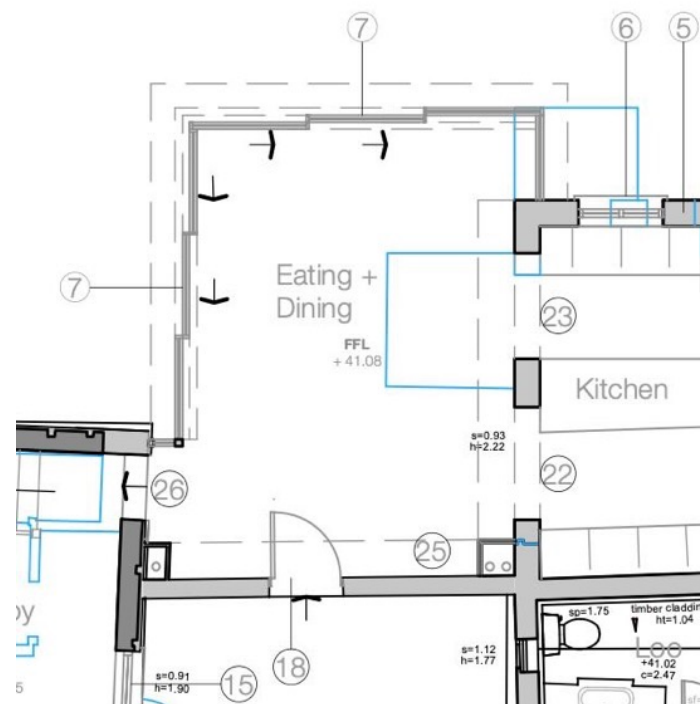
Image Existing Red Brick Wall, Lower Courtyard

16.3 Formal Application Proposed Layout – Specific Design Proposals

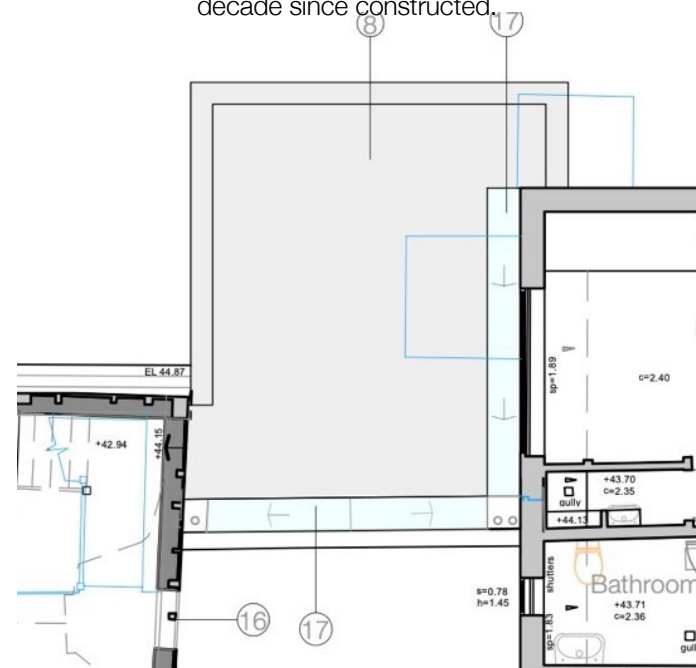


7 + 8 + 17 Proposed Link Roof The proposed roof will consist of a grey rubber roof and 2 no. glazed roof sections. The proposed glazed sections allow for a clear delineation between the historic listed red brick wall and the new link addition. Similarly, there will also be clear delineation between the existing house with historic timber beams and the new link addition. The glazing will be laid to falls to any excess rainwater to fall either towards the bottom (right) of the roof plan and vertical water pipe also located within the bottom left-hand corner (adjacent to the existing barn) Please also refer to proposed section drawings DD + EE on drawing PL436. We have illustrated a precedent of a similar project undertaken for a Grade II Listed building in Old Amersham where a glazed link was proposed between an existing outer brick structure with exposed timber and the new extension. The intent was to measure the glazing did not cut into the existing timbers and has proved incredibly successful over the past decade since constructed.

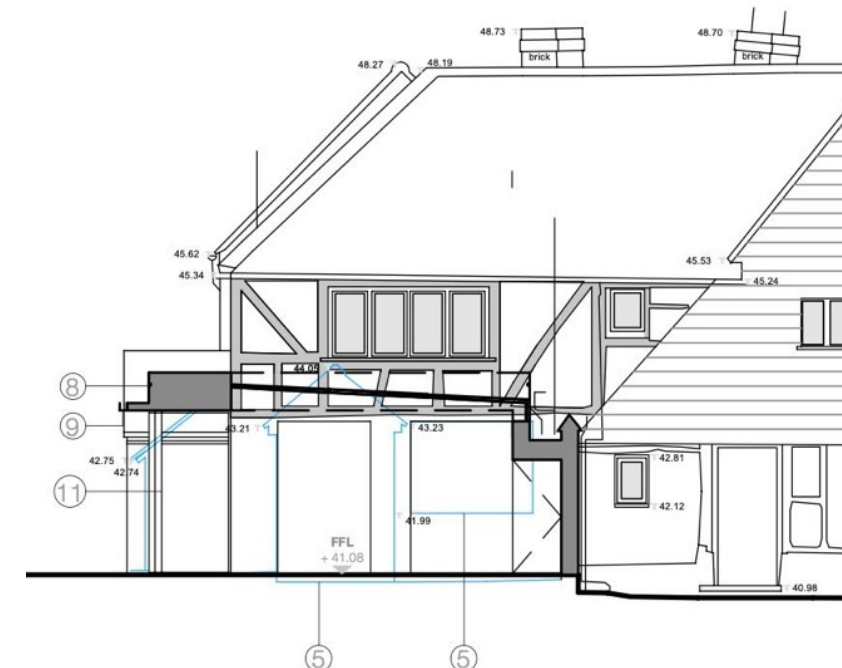
8 + 18 Proposed View from Lower Courtyard The proposed link seeks to incorporate a glazed door within the brick wall. The owner of Old Clack Farm is keen to ensure that the main entrance to the house still remains 'legible' as the main front door. The idea being that people visiting will obtain glimpses through the glazed door and to the rear garden beyond. The glazed door can also act as a secondary door which can be opened and closed especially during the spring and summer months. The proposed grey roof above the red brick wall, set apart with the proposed linear glazed elements will ensure a clear contrast between the existing historic structure and new link addition.



Proposed Part Ground Floor Plan (above) Not to Scale



Proposed Part First Floor Roof Plan Link (above) Not to Scale



Proposed Section AA (glazing between link and house) Not to Scale



8 Proposed Link Roof



8 + 17. Proposed Roof Glazing



8 + 18. Glazed Door within Existing Brick Wall



Glazed Link Precedent

16.4 Formal Application Existing Layout – Specific Design Proposals

Existing Barn Rear and Side Elevations

As per the pre-application advice proposals we are seeking to re-instate the historic aperture within the centre of the barn. As the central image below and towards the front of the design and access statement illustrate, a non original window has been incorporated to the rear where an existing barn door has been infilled with conventional block work where the integrity of the construction is failing at the ground level.



Existing Ground Floor Plan (above) Not to Scale



Existing Barn – Rear Elevation

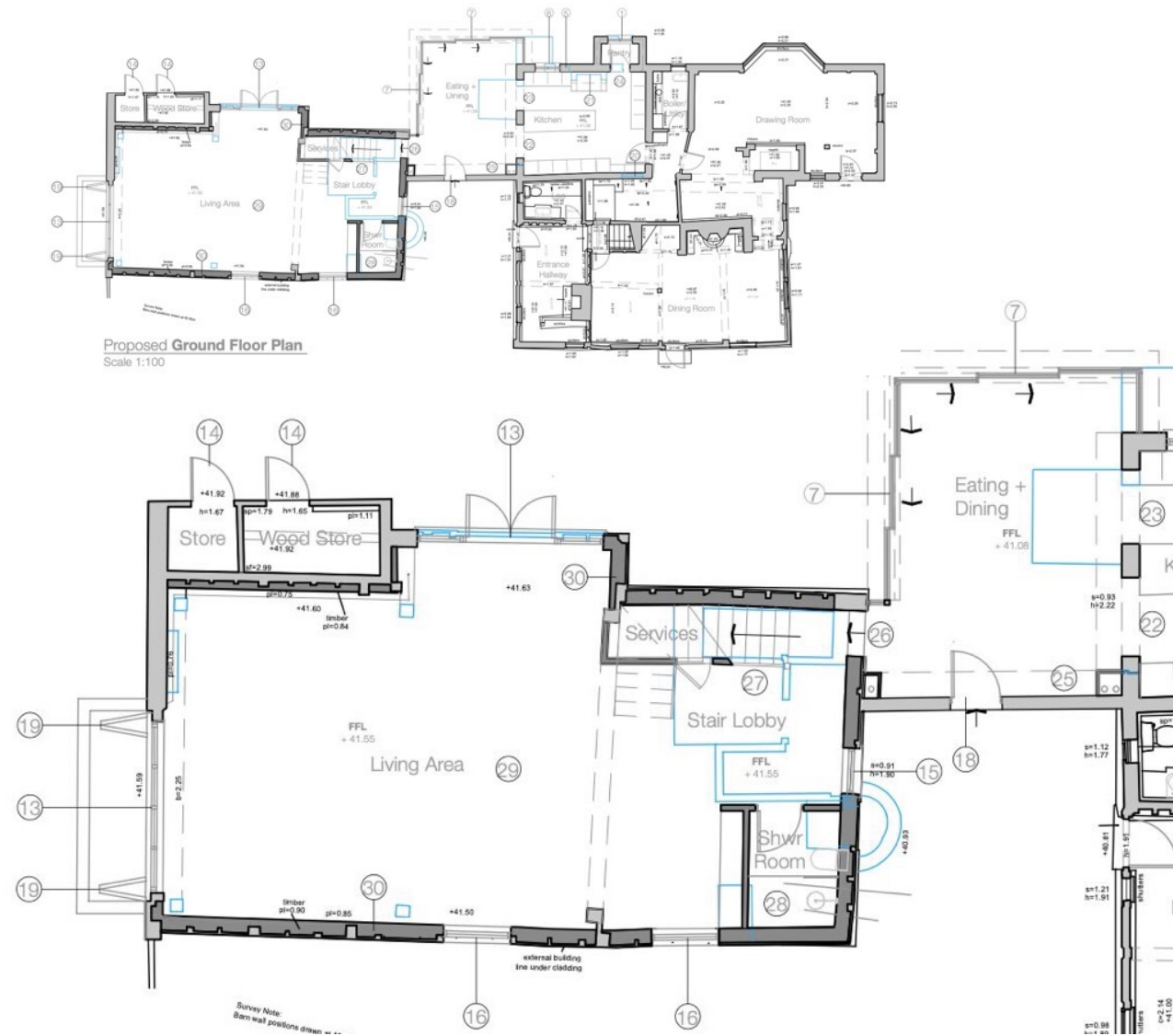


Existing Barn Rear and Side Elevation (birds eye view)



Existing Side Elevation (birds eye view)

16.5 Formal Application **Proposed Layout** – Specific Design Proposals



Proposed Ground Floor Plan (above) Not to Scale



Proposed Part First Floor Plan (above) Not to Scale

13. Barn Crittal Doors (Rear Elevation) The proposed barn crittal doors will seek to reinstate a set of doors that were previously located within this section of the barn. The proposed glazing/ door intervention seeks to enhance the existing catside roof that projects out beyond the main footprint of the barn. The doors and fenestration will be recessed slightly within the existing timber structure (see image '4' previous page)

15. Proposed Glazing (Side Elevation) The existing non-original leaded light windows will be replaced with a set of contemporary top hung bottom opening double-glazed windows, recessed into the existing apertures. The proposed first floor side elevation window, will be a rectilinear shape and positioned so that the proposed glazing can sit forward of the existing vertical timber posts (see proposed first floor plan for the proposed guest bedroom/ study space) The proposed windows will follow a similar design to those illustrated within the precedent page.



13.Ref Plan – Proposed Barn Crittal Glazing and External Landscaping



13. Ref Plan – Proposed Crittal Doors & Glazing to Barn



15. Ref Plan – Proposed Barn Glazing Side Elevation

Existing Barn Front and Side Elevations

This detailed site plan shows the building footprint and its integration with the garden. Key features include:

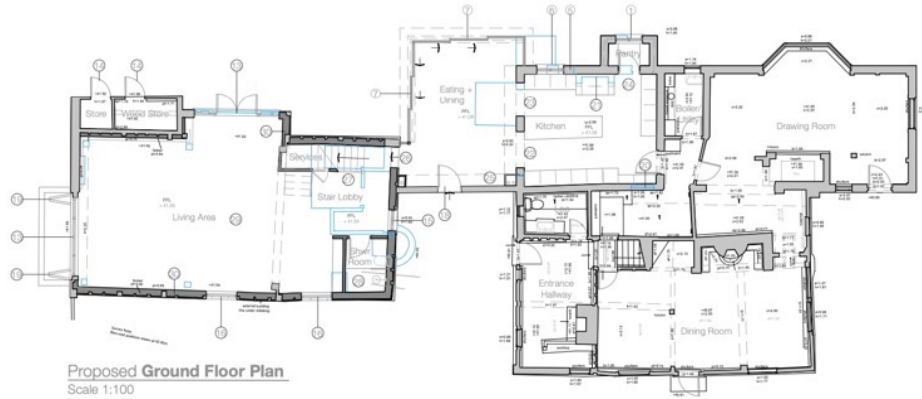
- Building Footprint:** A large, irregular structure with multiple rooms, including a kitchen, living area, and bedrooms. It is surrounded by a brick wall (0.5m high) and a brick wall (0.4m high).
- Garden Features:**
 - Shrub Beds:** Several areas labeled 'shrub bed' are shown, some with specific plantings like 'h 2m' and 'h 4m'.
 - Pond:** A circular pond with a diameter of 1.55m is located near the building.
 - Gravel:** A gravel area is shown near the pond, with a depth of 'h 4m'.
 - Ramp:** A ramp is shown leading to a gravel area, with a depth of 'h 4m'.
 - Brick Wall:** A brick wall (0.5m high) runs along the top of the building, and another brick wall (0.4m high) runs along the bottom.
 - Other Features:** A 'timber shed' is located to the left of the building. A 'brack wall ht 0.5m' is shown to the right.
- Elevations:** Numerous spot elevations are provided throughout the plan, ranging from 40.73 to 42.10. These are used to define the ground level and the building's profile.
- Contours:** Contour lines are drawn at 0.1m intervals, showing the slope of the site.
- Drainage:** A drainage line is shown running along the bottom of the site, with a 'drainage ditch' indicated.

An aerial photograph of a black wooden building with a steep, tiled roof. The building is surrounded by a brick wall and a garden with various plants and trees. The roof is made of reddish-brown tiles, and the walls are black. The building is situated on a gravel path, and there is a brick wall in the foreground. The garden is lush with greenery and colorful flowers.

A large, ornate stone fountain with multiple tiers sits in the center of a paved garden. The fountain is surrounded by a low brick wall. In the background, a black timber-framed house with a steep gabled roof and a chimney is visible. The garden is filled with various plants, including a large green bush on the right, a yellow flower bed in the foreground, and a large green hedge on the left. A small black lantern is placed on the path near the fountain.

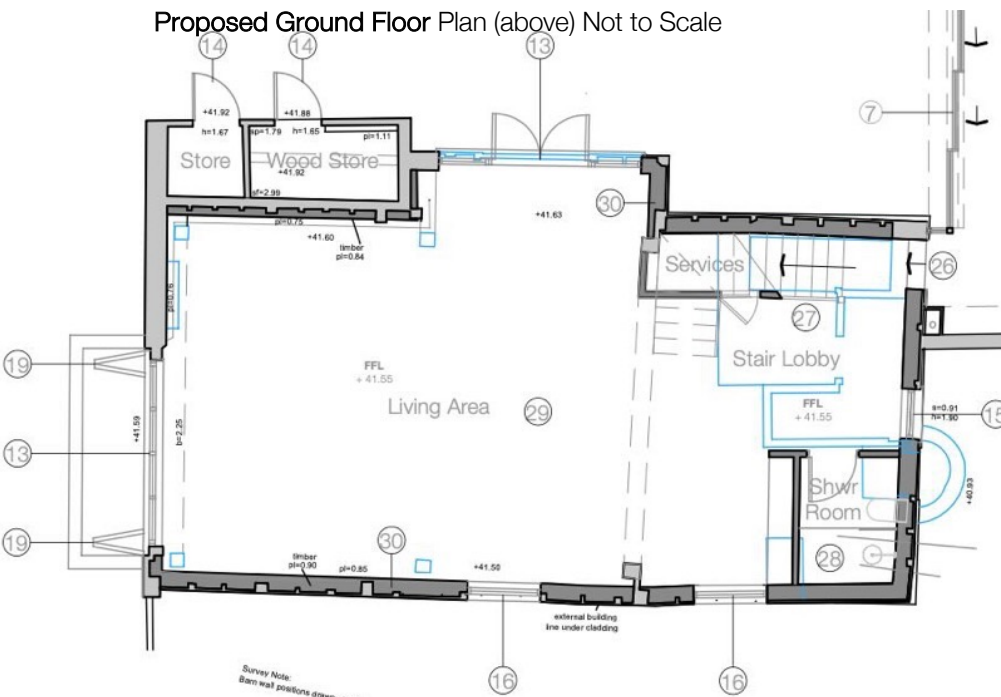
Kristian Peel
ARCHITECTURE

16.7 Formal Application **Proposed Layout** – Specific Design Proposals

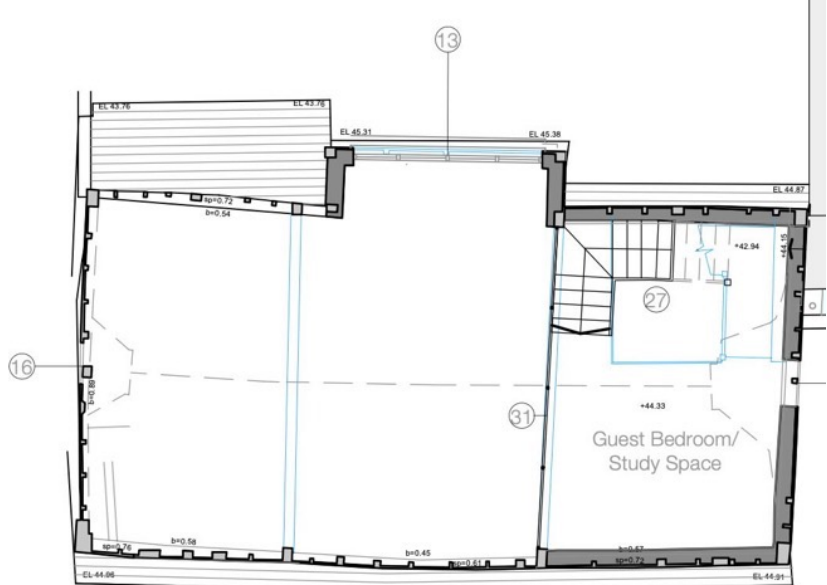


Proposed Ground Floor Plan
Scale 1:100

13/ 16/ 19 Proposed Barn Side Elevation (facing parking area)
The proposed barn side elevation will consist of a set of replacement barn doors that will be designed to concertina, allowing them to be opened and closed more easily and to be folded back into a more practical position. Behind the timber doors, we propose a set of full height crittal glazing. The glazing will be slightly different to the rear crittal glazing insofar as it will be located on a low-level dwarf wall rather than running down to FFL level. The opening will provide the perception of a set of glazed doors, however for security purposes these will remain as a set of crittal windows.



Proposed Ground Floor Plan (above) Not to Scale



Proposed Part First Floor Plan (above) Not to Scale

16. Front Elevation of Barn (Looking North) The proposed front elevation of the barn will have minimal intervention with a replacement double glazed window (to the far right) and a slightly larger rectilinear window facing the existing courtyard fountain. The existing cill of the structural opening facing the fountain will remain as existing, however the top the structural opening will be increased.



13/16/19 - Proposed Barn Side Elevation



13/16/19 - Proposed Barn Side Elevation

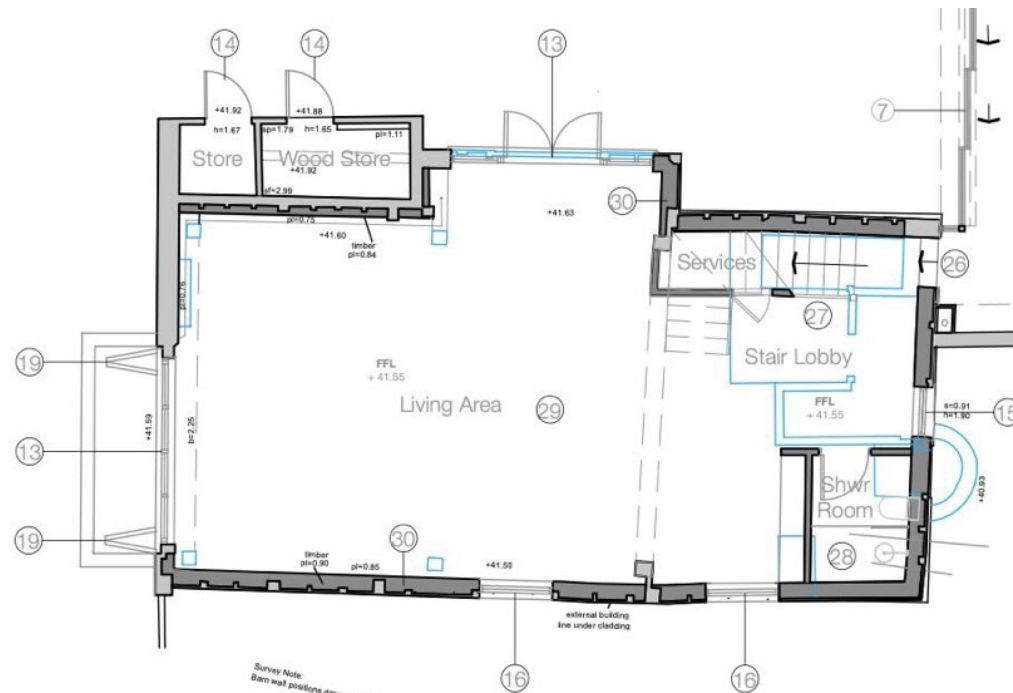


16. Ref Plan – Proposed Barn Glazing Side Elevation

16.8 Formal Application Existing and Proposed Layout – Specific Design Proposals

Proposed Refurbishment of the Barn

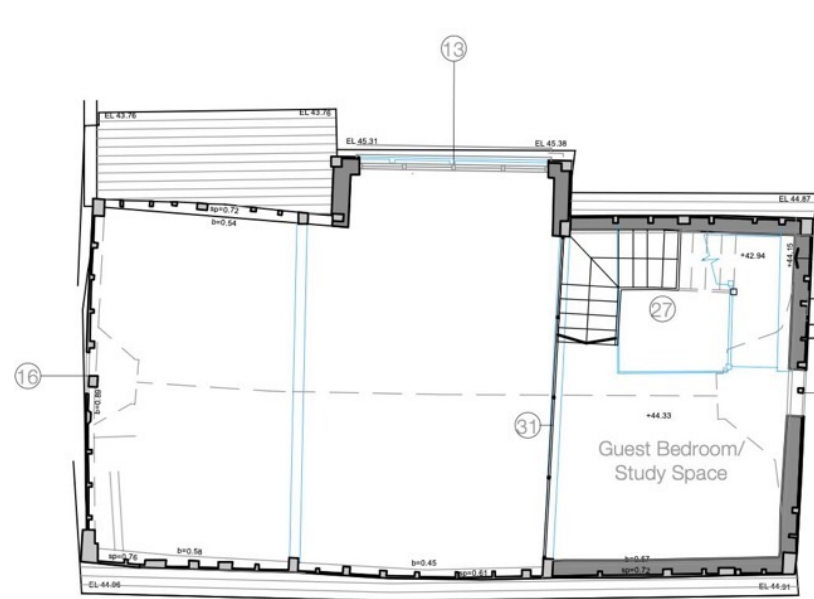
As part of the barn proposals, we are seeking to ensure that the building is more thermally efficient. At ground floor we are seeking to incorporate a suspended, insulated timber floor at ground level as well as insulating all of the internal walls at ground level ensuring that all existing vertical timbers remain. With two thirds of the existing mezzanine being removed, the focus will be to allow our clients to view the timber rafters and purlins that have been hidden from the ground floor space. Any defective timbers or timber sections will be replaced and a thin layer of insulation, plasterboard and plaster skim will be applied internally to improve thermal efficiency. The intent will be to ensure that the majority of the exposed timbers remain exposed where there is still a sufficient visible return on the rafters. Some sections between the rafters may have slightly more insulation applied than others given variations in the depth of the rafters throughout the roof.



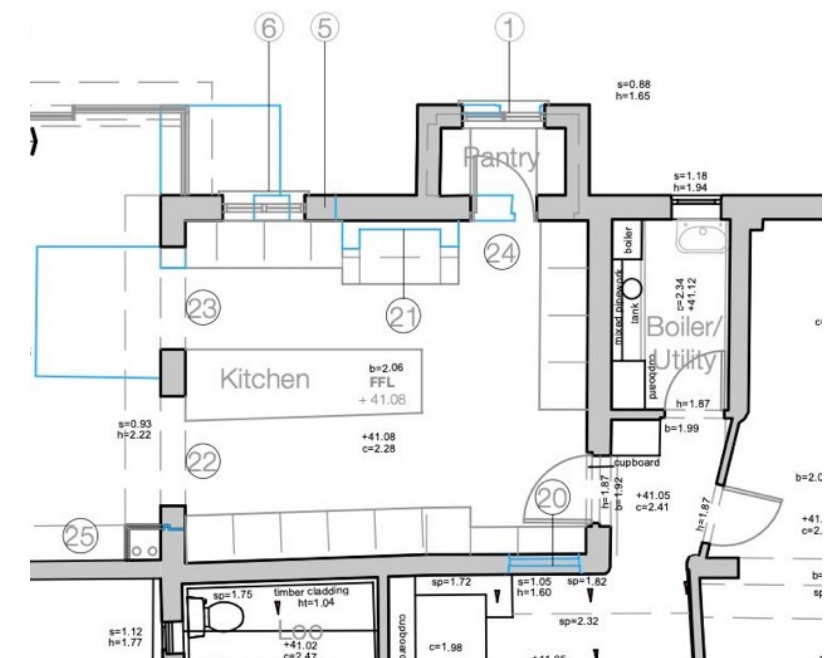
Proposed Ground Floor Plan Barn (above) Not to Scale

20, 21, 22, 23, 24 Proposed Works to Existing Kitchen

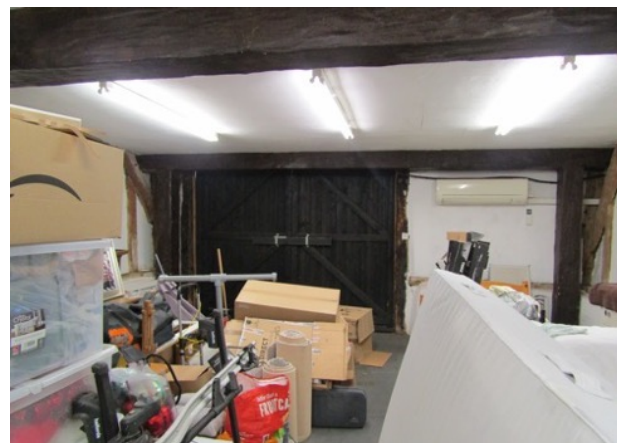
The existing kitchen will be stripped out with a new stone floor applied. The existing FFL will remain the same however will run through at the same level to the new glazed link area. Two new openings, '22' and '23' will be formed utilising part of the existing window and door aperture with access either side of a proposed kitchen island. A visible section of downstand will remain for each of the openings to ensure that there is clear legibility between the house and new glazed link area. The non-original brickwork surrounding the aga, '21' is to be removed so that the wall runs flush and the existing door entrance '24' is to be relocated to ensure a more central access to the refurbished pantry space also allowing for more usable kitchen unit space. Whilst a new enlarged window '6' has been previously explained on the proposed external alterations, to improve the kitchen layout and storage space, our client proposes to enclose the existing window '20' between the kitchen and internal hallway/ lobby space.



Proposed Part First Floor Plan (above) Not to Scale



Proposed Part Ground Floor Kitchen Plan (above) Not to Scale



Existing View Barn Ground Floor – Floor to be
Removed to expose existing beams



Existing View Barn First Floor – Floor to be removed
To expose existing beams



21. Proposed removal of non-original brick/
Aga surround



22 + 23 Proposed Alterations to door and window
To form 2 no. new openings into link area.



17.1 Grade II Listed Building Magazine

The owner has been a member of the Grade II Listed Buildings owners club for the past several years and have had the opportunity to research various precedents of similar Grade II Listed building conversions and extensions that have been undertaken elsewhere which are akin to what we are seeking to achieve at Old Clack Farm. We have presented 3 precedents that follow a similar theme to what we are seeking to achieve.

17.2 Precedent 1: Flint Farm (Grade II Listed Building) – North Hertfordshire

The precedent above is very similar to what we are seeking to achieve at Old Clack Farm, where the proposed new window inserts are very simple in their form and contrast well with the existing historic vernacular of the barn. The proposed glazed addition (top right) is similar with what we are seeking to achieve in relation to the extent of glazing and the contrast between the main house and barn.





17.3 Precedent 2: Old School House (Grade II Listed Building) – Pitcombe Somerset

We have incorporated this precedent as the glazed apertures are very simple and clean and are nicely recessed within the timber frame. Again the intent for Old Clack Farm is to incorporate a series of new and replacement windows within the existing barn.



14.3 Precedent 3: Renton Hall (Grade II Listed Building – Lothian, Scotland)

The proposed glazed link with eating area for this project is similar to what the client is seeking to achieve at Old Clack Farm with the majority of the elevations being glazed..