

Design & Access Statement

Planning and Listed Building Application Advice Document

Mr & Mrs. R. Lakin
Old Clack Farm,
Tile Kiln Lane,
Harefield
Uxbridge
UB9 6LU



Image prepared by Dreyfus Designs Ltd

Contents

- 1.0 Introduction
- 2.0 Images As Existing
- 3.0 The Site
- 4.0 Planning History
- 5.0 Planning Application 2015
- 6.0 Planning Application 2019
- 7.0 Planning Application 2019
- 8.0 Pre-app Proposed 3D Image Alterations + extension
- 9.0 Pre-app Proposed Ground Floor Plan
- 9.1 Pre-app Proposed Elevations
- 10.0 Pre-app Proposed 3D Images
- 11.0 Pre-app Proposed 3D Images
- 12.0 Pre-app Proposals
- 13.0 Formal Application – Proposed Birds Eye View Plans & Images
- 14.0 – 14.1 Formal Application – Proposed Birds Eye Images
- 15.0 Formal Application – Proposed Rear View Image
- 16.0 – 16.8 Formal Application – Specific design Proposals
- 17.0 Precedents

1.1 Background

Old Clack Farm is a Grade II Listed property set in a rural location on the periphery of Ruislip at the end of Tile Kiln Lane. The barn is currently used by our client for storage and as a utility room and play/games room area at first floor. The owner moved to Old Clack Farm during Covid in June 2020 and has spent the past several years living in the property with their family getting used to the space in general and are now wishing to sympathetically alter and extend the property to suit their requirements whilst ensuring that ad-hoc and rambling nature of the existing house and barn remain.

1.2 Client Brief

Following a recent positive pre-application advice response, Mr and Mrs Lakin have appointed Kristian Peel Architecture Ltd to prepare and submit Formal Planning and Listed Building applications with a view to altering and extending the property at Old Clack Farm, however, ensuring that the character of the Grade II Listed building is not affected.

1.3 Planning and Listed Building Application Advice Proposals

We are proposing the following at Old Clack Farm:

1.3.1 Main House (Ground Floor Only)

- Alterations to the existing kitchen, including adapting an existing lean-to store just off the kitchen with new window, the proposed demolition of the smaller of the two lean-to additions on the corner and the incorporation of a new double glazed casement window. Removal of the non-original brickwork/ chimney surround surrounding the aga. Demolition of the single storey small gable ended side porch with the proposed formation of 2 no. openings within an existing window opening and the former side porch door entrance.

1.3.2 Proposed Link (between barn and house)

- Proposed contemporary single storey glazed link addition, set behind the existing grade II Listed wall linking between the barn and dwelling with new stepped access into the existing barn. We propose a new glazed door within the existing wall opening linking the house and barn. The proposed glazed link addition will create an eating area just off from the kitchen and will have a series of glazed doors that can open leading out onto the mature gardens.

1.3.3 Barn

- Internally our client is seeking to remove the majority of the first-floor mezzanine level above what will be the living area and the first-floor mezzanine above the proposed stair lobby will be altered, along a newly located staircase serving a new guest room/ study space at first floor level.
- Externally, we are seeking to replace existing fenestration as well incorporating a new large Crittall glazed panel behind a set of replacement concertina style barn doors to the side elevation of the barn fronting the parking area to Old Clack Farm.
- The existing pedestrian door to the side elevation will be removed and infilled and a new pair of glazed crittall doors are to be incorporated within what is non-original fabric to the rear of the barn.

2.0 Images – As Existing



Image 1: View of Existing Barn Looking North



Image 2: View of House Looking North



Image 3: View of House Looking North West



Image 4: Rear Elevation of House + Barn Looking South West



Image 5: Rear Elevation of House + Barn Looking South



Image 6: Rear Elevation House, Wall and Barn



Image 7: Existing Wall linking House and Barn



Image 8: Rear elevation of Barn illustrating non-original window + Wall Flank.



Image 9: Part Rear Elevation looking East

2.0 Images – As Existing



Image 10: View of Existing and House Looking East



Image 11: View of the barn and house beyond from the parking area looking north east.



Image 12: View of Barn from parking area with existing barn doors.



Image 13: Parking area to the front of Old Clack Farm



Image 14: House Elevation incorporating existing front entrance (see left of image)



Image 15: Image of non-original brickwork around Aga in Kitchen



Image 16: Existing beams within the kitchen space.



Image 17: Proposed beams to the first floor barn space.

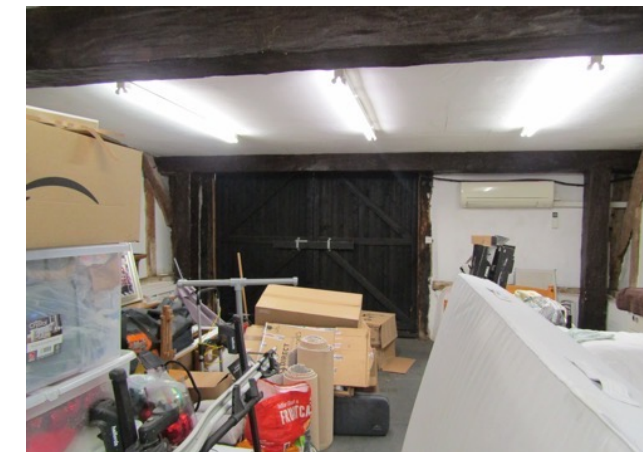


Image 18: Existing ground floor space of barn.

3.0 The Site

3.1 Location

The application site is Old Clack Farm, Tile Kiln Lane, Harefield, UB9 6LU. The site and surroundings are illustrated within the Site Location Plan 25/11/050.

3.2 Ownership

Mr and Mrs Lakin own the freehold of The Old Clack Farm site.

3.3 Existing Site and Buildings

The property consists of a detached dwelling linked by a red bricked wall to a large detached barn next to the house. The grounds also include a detached pool house (although the pool itself was filled in several years ago by the former owner) To the south west of the site lies a detached outbuilding which was previously used as a stable block. The existing dwelling and barns are illustrated on drawings 25-11-051 existing block plan, 25-11-052 and 053 Existing ground and first floor plan respectively as well as drawings 054 and 055 including the existing elevations. The house is organised over 3 floors including a small study/ bedroom space on the second floor. Whilst there have been no further extensions constructed post 1948, the house had been extended over the years prior to this, with an extension during the 1930's to the north.

The house dates from around the 16th century and is a timber framed building with painted infill panels, with interspersed sections of dark stained weatherboarding. The existing barn is clad in weatherboarding, with a prominent brick base.

Access across the site is relatively flat. To front of the site is a set of wrought iron gates leading through to a gravel; driveway with stables and grassed area leading towards a courtyard garden, the barn and house. This area is secluded due to it being surrounded predominantly by fields and access down a lane serving a small number of houses. The site measures approximately 4077 sq.m gardens.

4.0 Planning History

4.1 Special Designations

The house and barn on the site are specifically listed. The site lies within the metropolitan Greenbelt, however it does not sit within a conservation area or flood plain. The following key policies will need to be considered as part of any application:

- BE8 – Alterations and Extensions to a Listed Building.
- EM2 – Greenbelt and Metropolitan Open Land

4.2 Planning History

The following planning history can be found as far back as 1990 below:

Planning Reference	Proposal	Decision
42413/B/90/0432	Erection of detached garage, stable block and retention of pool house.	App. '90
414587/A/89/0424 41587/B/89/0571 (LBC)	Repositioning & Conversion of existing detached barn to form a 3-bedroom dwelling house & erection of a 2-bedroom detached dwelling	with/d '89
42413/88/1982 (LBC)	Erection of new roof	no further action '88
41587/88/0535	Erection of detached dwelling house with integral garage	with/d '86
42413/APP/2015/987 42413/APP/2015/988 (LB)	Erection of a 2 storey and single storey rear extension, and a single storey side extension, erection of a glazed link to connect house and barn and internal alterations to provide a bedroom suite and bathroom.	App '15
42413/APP/2019/327 42413/APP/2019/328 (LB)	Erection of part single storey, part two-storey rear extension, glazed link connecting house and barn and internal alterations to provide a bedroom suite and bathroom.	App '19
42413/APP/2019/400 42413/APP/2019/401(LB)	Single Storey Rear Extension	App '19

5.1 2015 Planning and LB Application

See below and left proposed drawings for the 2015 planning and listed building application:

Planning Reference	Proposal	Decision
42413/APP/2015/987 42413/APP/2015/988 (LB)	Erection of a 2 storey and single storey rear extension, and a single storey side extension, erection of a glazed link to connect house and barn and internal alterations to provide a bedroom suite and bathroom.	App '15

5.2 Planning Summary

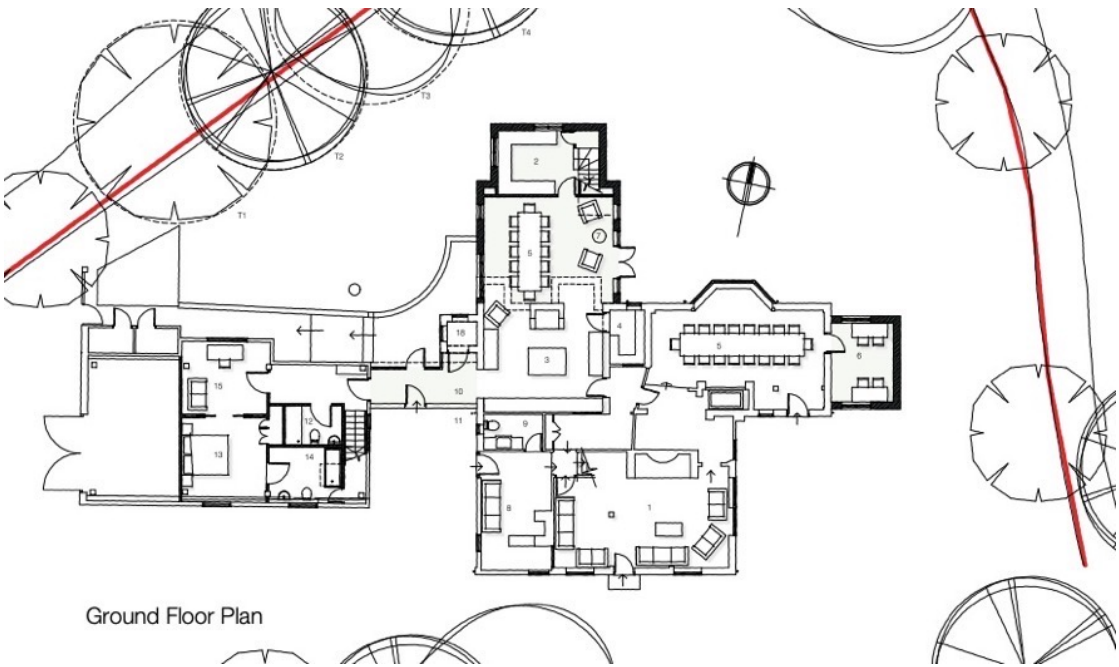
You will note that the scope and proposals approved 10 years ago are much larger in terms of scope where the scale and massing of the property was going to be a lot larger than we are now currently proposing as part of the pre-application discussions as you will note in the following pages. Where this application was approved to allow the former owner to extend quite considerably on both ground and first floor to the north as well as pushing out the footprint at ground floor further to the north and east, our proposals as part of the pre-application discussions seek to only extend at ground floor between the barn and house therefore keeping any additions subservient to the larger barn and house.



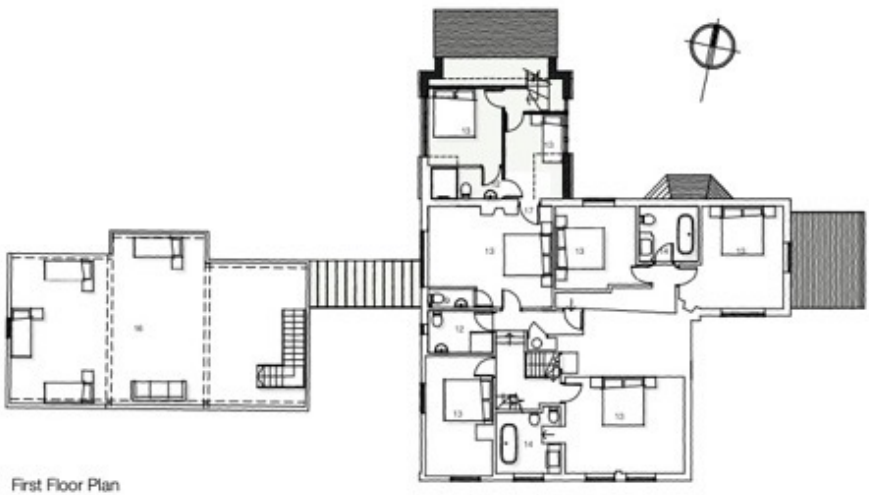
End Elevation Barn Proposed Front Elevation (SOUTH) Proposed Side Elevation (WEST)



Approved Application 2015 (not implemented) Proposed Elevations



Ground Floor Plan



First Floor Plan

Approved Application 2015 (not implemented) Proposed Ground + First Floor Plan

6.0 Planning Application 2019

6.1 2019 Planning and Listed Building Application

See left and below approved drawings for the 2019 application.

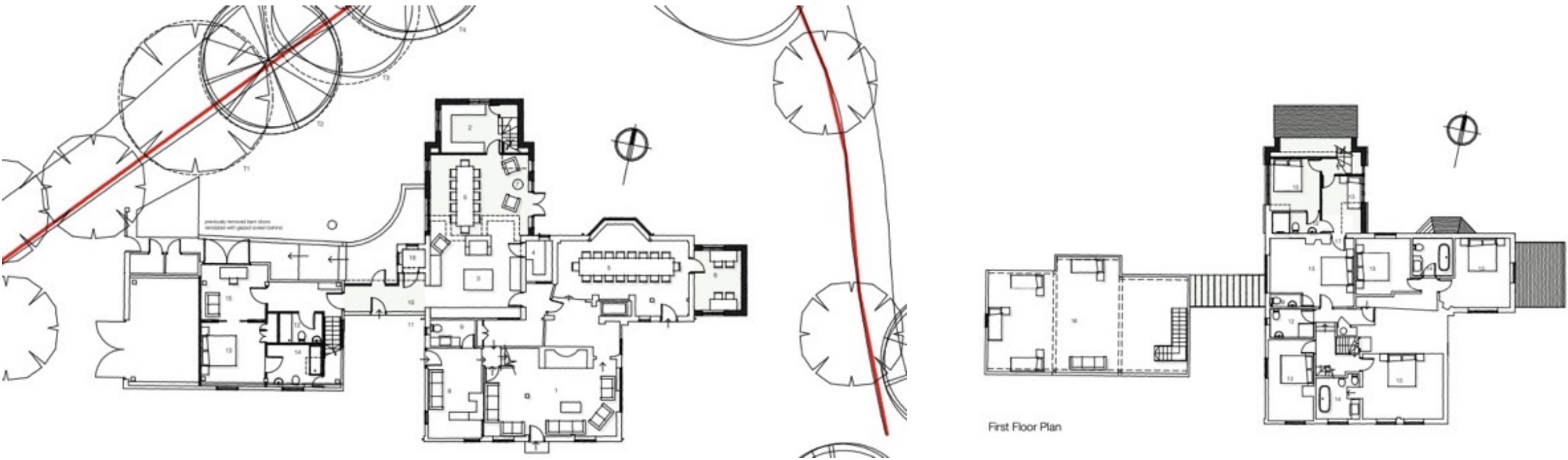
Planning Reference	Proposal	Decision
42413/APP/2019/327	Erection of part single storey, part	App '19
42413/APP/2019/328 (LB)	two-storey rear extension, glazed link connecting house and barn and internal alterations to provide a bedroom suite and bathroom.	

6.2 Planning Summary

The revised planning consent in 2019 was effectively the same as that consented in 2015 save some tweaks to the proposed rear barn doors to the barn. Our summary comments remain the same for the 2015 application where the proposed additions and general intervention (previously consented) is of a larger scale than that we are proposing within our pre-application discussions within the following pages of this document.



Approved Application 2019 (not implemented) Proposed Elevations



Approved Application 2019 (not implemented) Proposed Ground + First Floor Plan

7.0 Planning 2019

7.1 2019 Planning and Listed Building Application

See left and below approved drawings for the 2019 single storey extension only to the main house at Old Clack Farm.

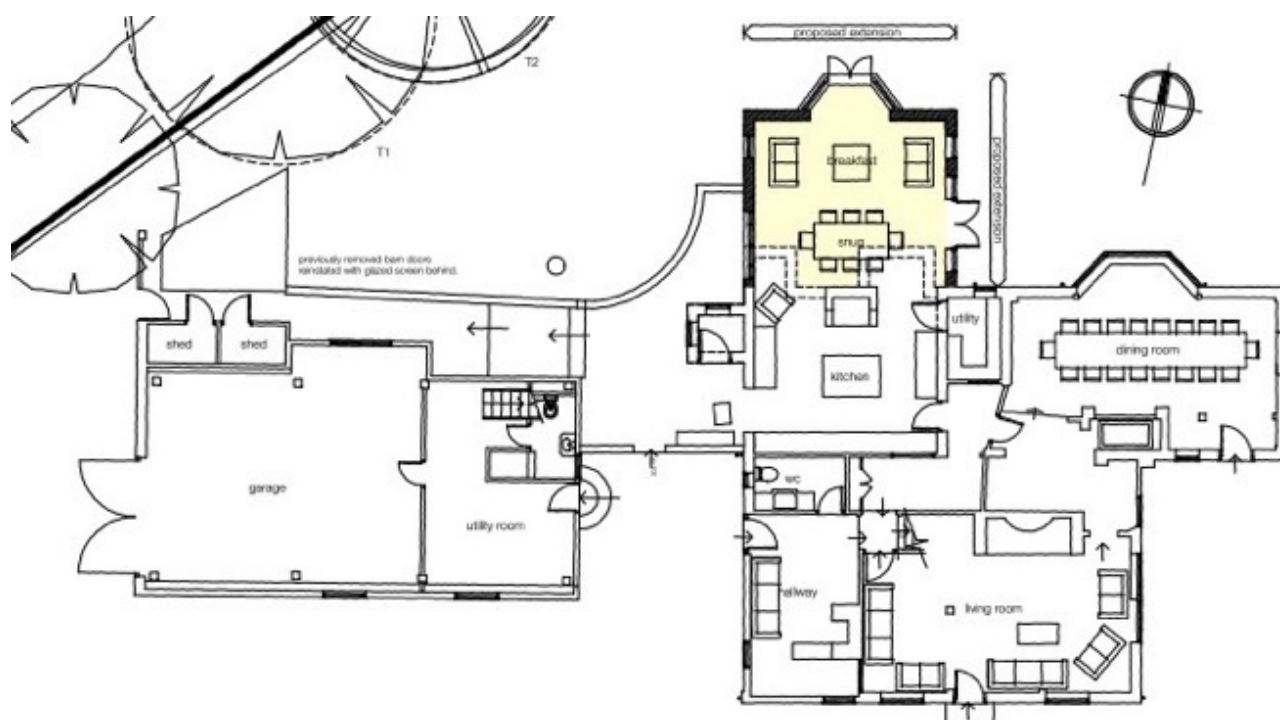
Planning Reference	Proposal	Decision
42413/APP/2019/400	Single Storey Rear Extension	App '19
42413/APP/2019/401(LB)		

7.2 Planning Summary

Whilst the separate planning application for a consented single storey application to the rear was smaller in scope, the overall additional extension floor area proposed here is slightly more than we are proposing as part of the proposals proposed within this pre-application advice document. Our proposals seek to condense the overall footprint between the barn and the house rather than seeking to extend out into the rear garden.



Approved Application 2019 (not implemented) Proposed Elevations Single Storey Rear Extension Only



Approved Application 2019 (not implemented) Proposed Ground Floor Plan Single Storey Rear Extension Only