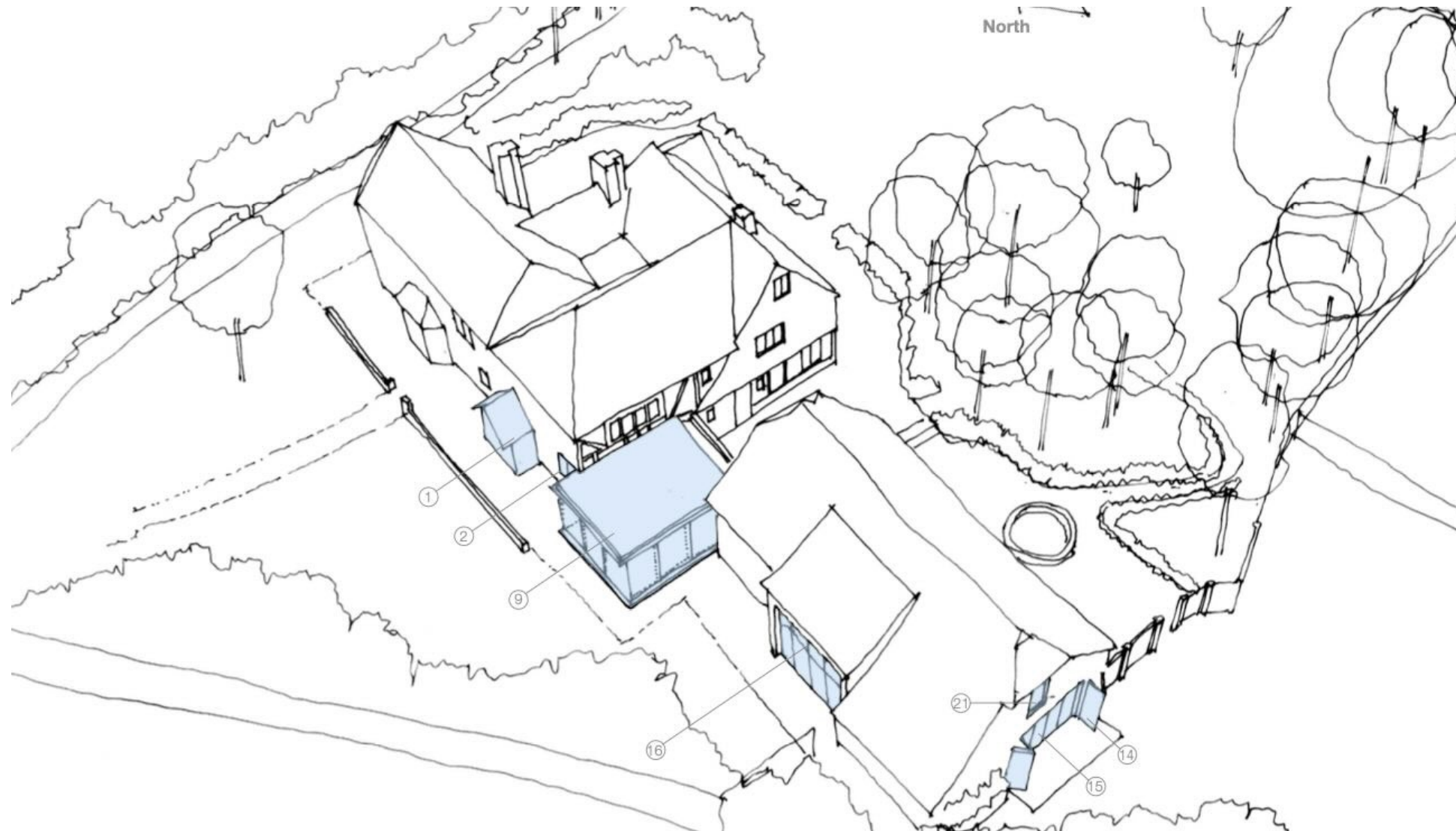
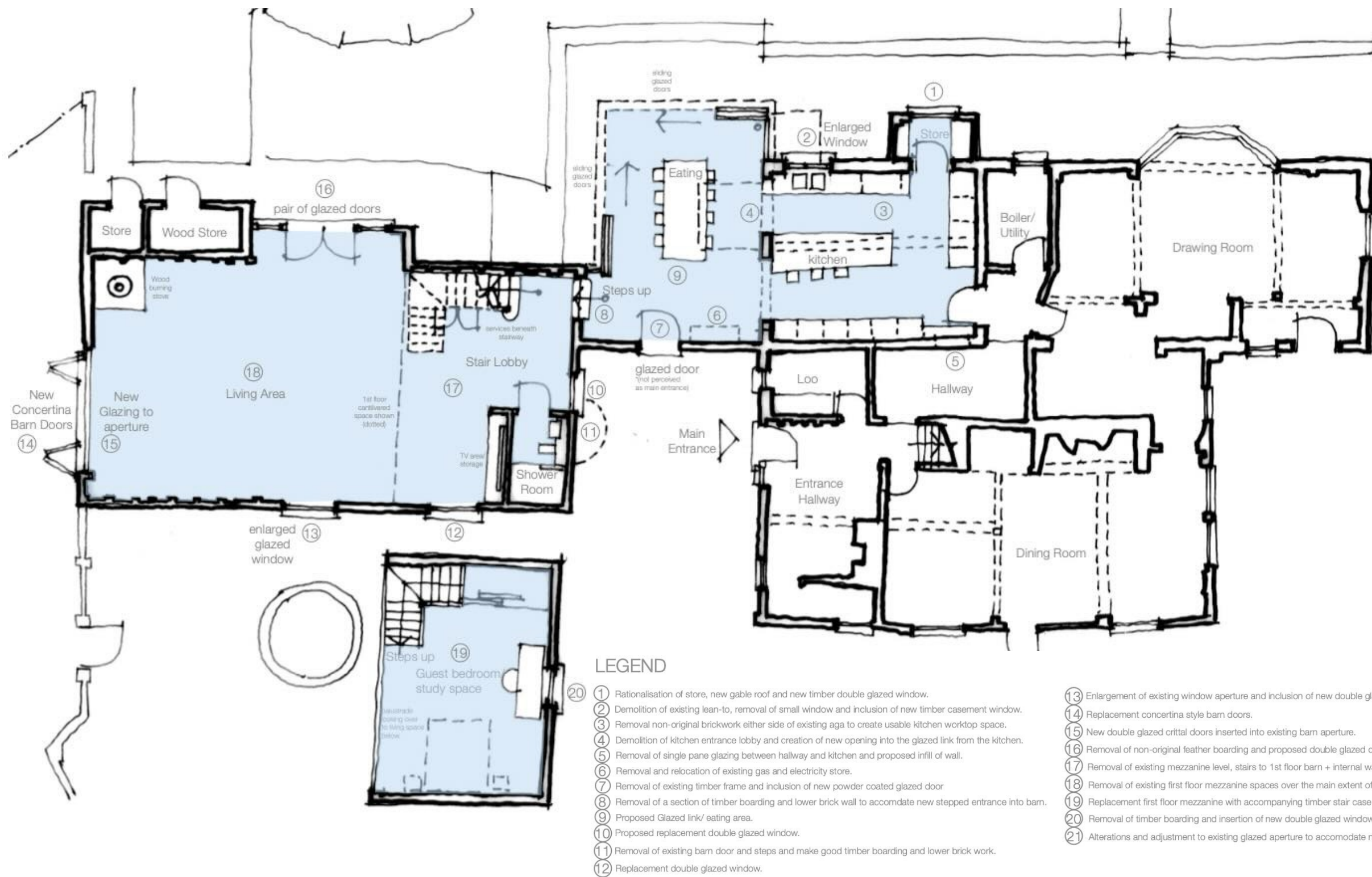


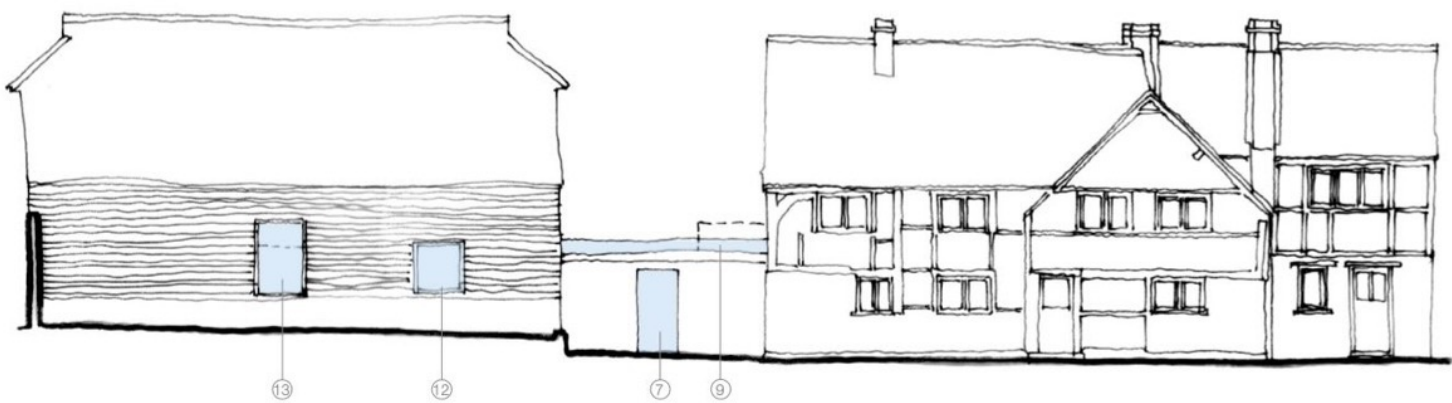
8.0 Pre-Application Advice Image Proposed 3D Image Illustrating Alterations and Extensions



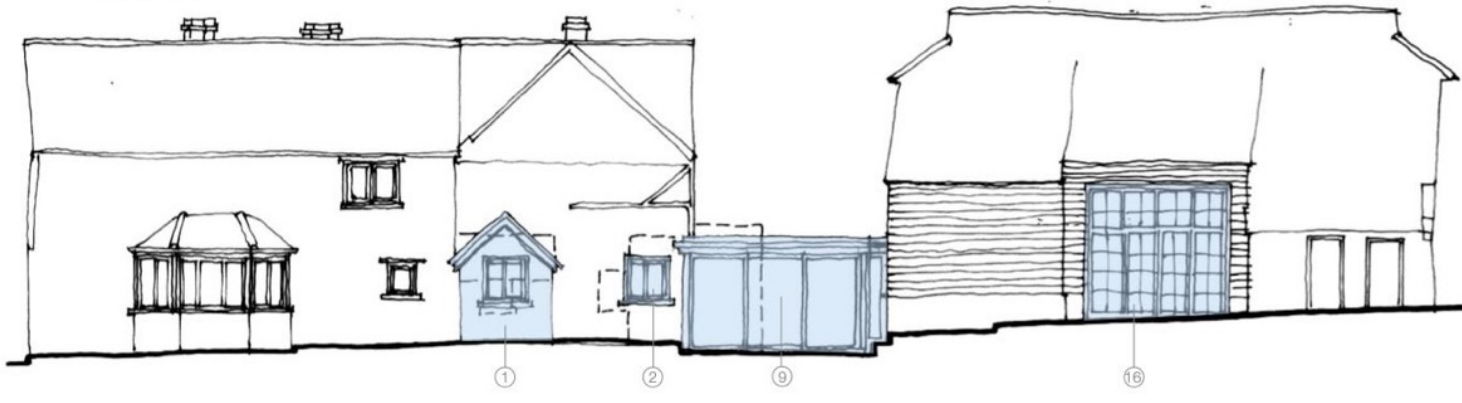
9.0 Pre Application Advice - Proposed Ground Floor Plan + 1st Flr Barn Mezzanine Plan



9.1 Pre-application advice - Proposed Elevations



Proposed Front Elevation



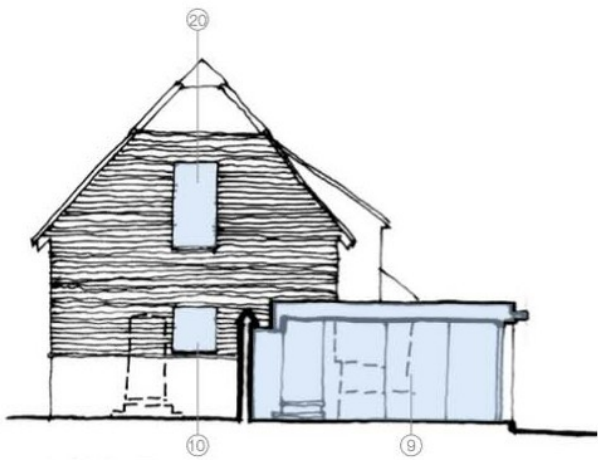
Proposed Rear Elevation



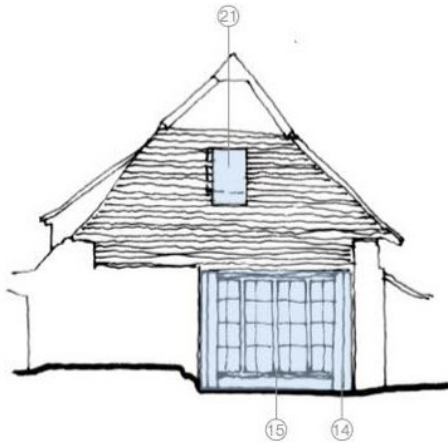
Proposed Side Elevation (house)



Proposed Side Elevation
+ Section (house)



Proposed Side Elevation
+ Section (barn)

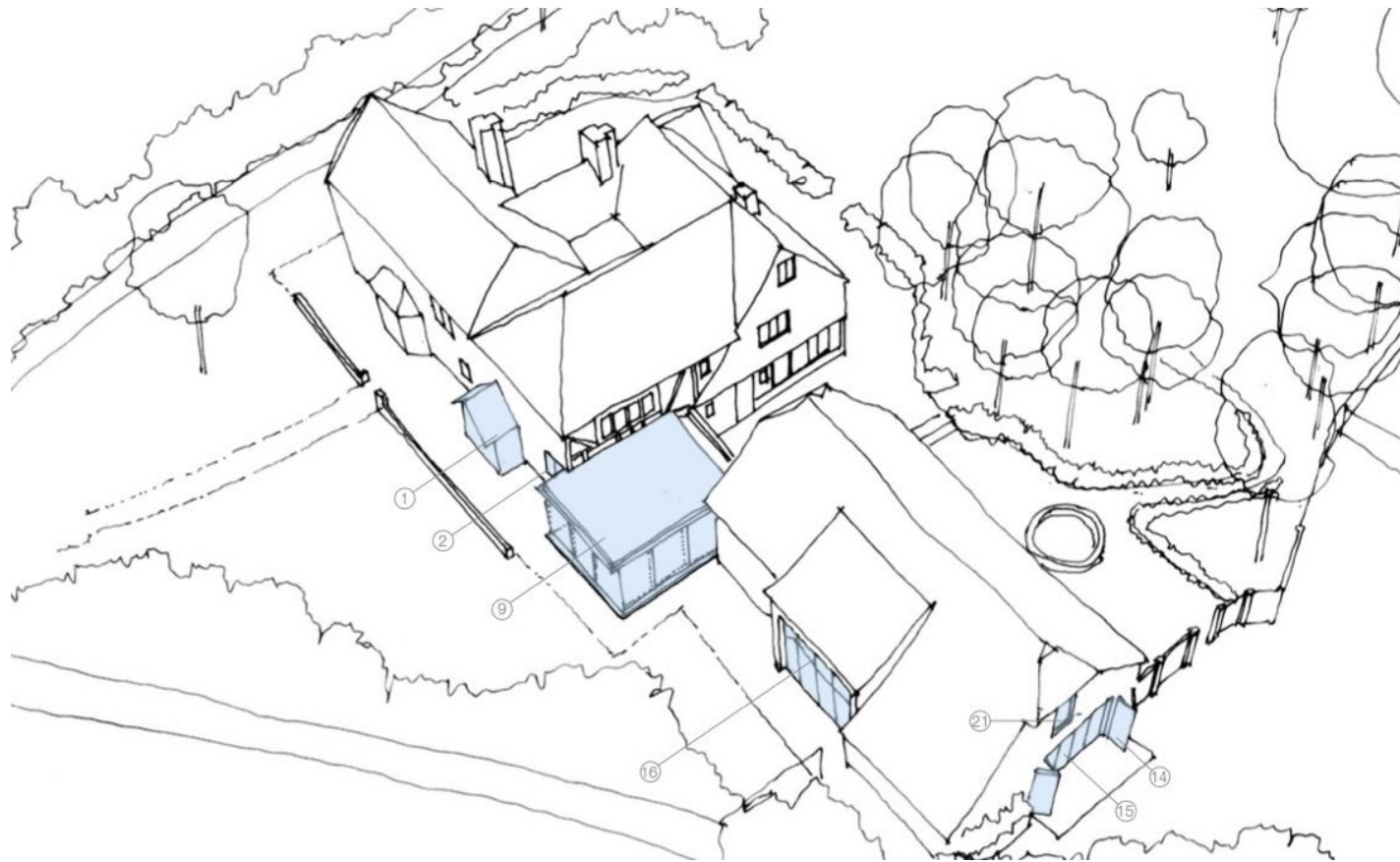


Proposed Side Elevation
(barn)

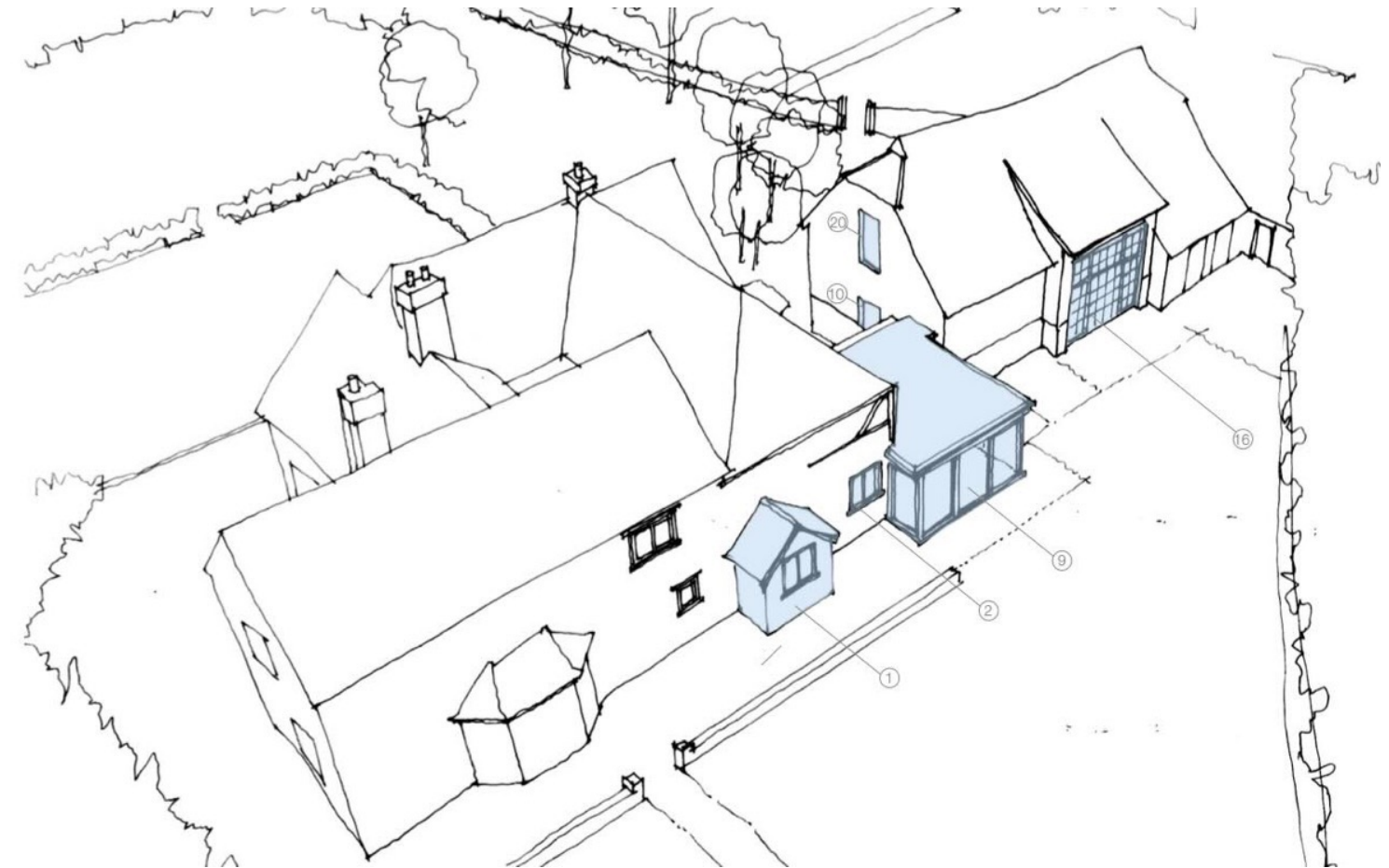
LEGEND

- ① Rationalisation of store, new gable roof and new timber double glazed window.
- ② Demolition of existing lean-to, removal of small window and inclusion of new timber casement window.
- ③ Removal non-original brickwork either side of existing aga to create usable kitchen worktop space.
- ④ Demolition of kitchen entrance lobby and creation of new opening into the glazed link from the kitchen.
- ⑤ Removal of single pane glazing between hallway and kitchen and proposed infill of wall.
- ⑥ Removal and relocation of existing gas and electricity store.
- ⑦ Removal of existing timber frame and inclusion of new powder coated glazed door
- ⑧ Removal of a section of timber boarding and lower brick wall to accomdate new stepped entrance into barn.
- ⑨ Proposed Glazed link/ eating area.
- ⑩ Proposed replacement double glazed window.
- ⑪ Removal of existing barn door and steps and make good timber boarding and lower brick work.
- ⑫ Replacement double glazed window.
- ⑬ Enlargement of existing window aperture and inclusion of new double glazed window pane.
- ⑭ Replacement concertina style barn doors.
- ⑮ New double glazed crittal doors inserted into existing barn aperture.
- ⑯ Removal of non-original feather boarding and proposed double glazed crittal doors + windows.
- ⑰ Removal of existing mezzanine level, stairs to 1st floor barn + internal walls to w/c to form new spaces
- ⑱ Removal of existing first floor mezzanine spaces over the main extent of the barn living area.
- ⑲ Replacement first floor mezzanine with accompanying timber stair case .
- ⑳ Removal of timber boarding and insertion of new double glazed window
- ㉑ Alterations and adjustment to existing glazed aperture to accomodate new double glazed window.

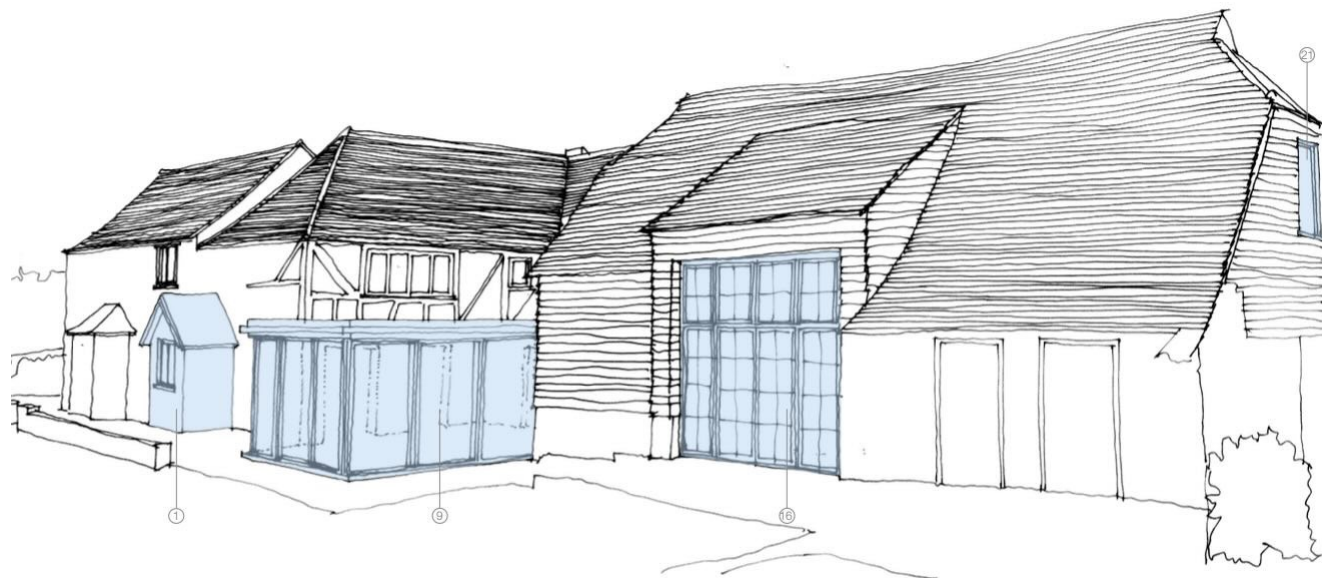
10.0 Pre-application advice Proposed 3D Images Illustrating Alterations and Extensions



Proposed Alterations + Extension (looking south east) Drawing 25-11-301 Image 02



Proposed Alterations + Extension (looking south west) Drawing 25-11-302 Image 03



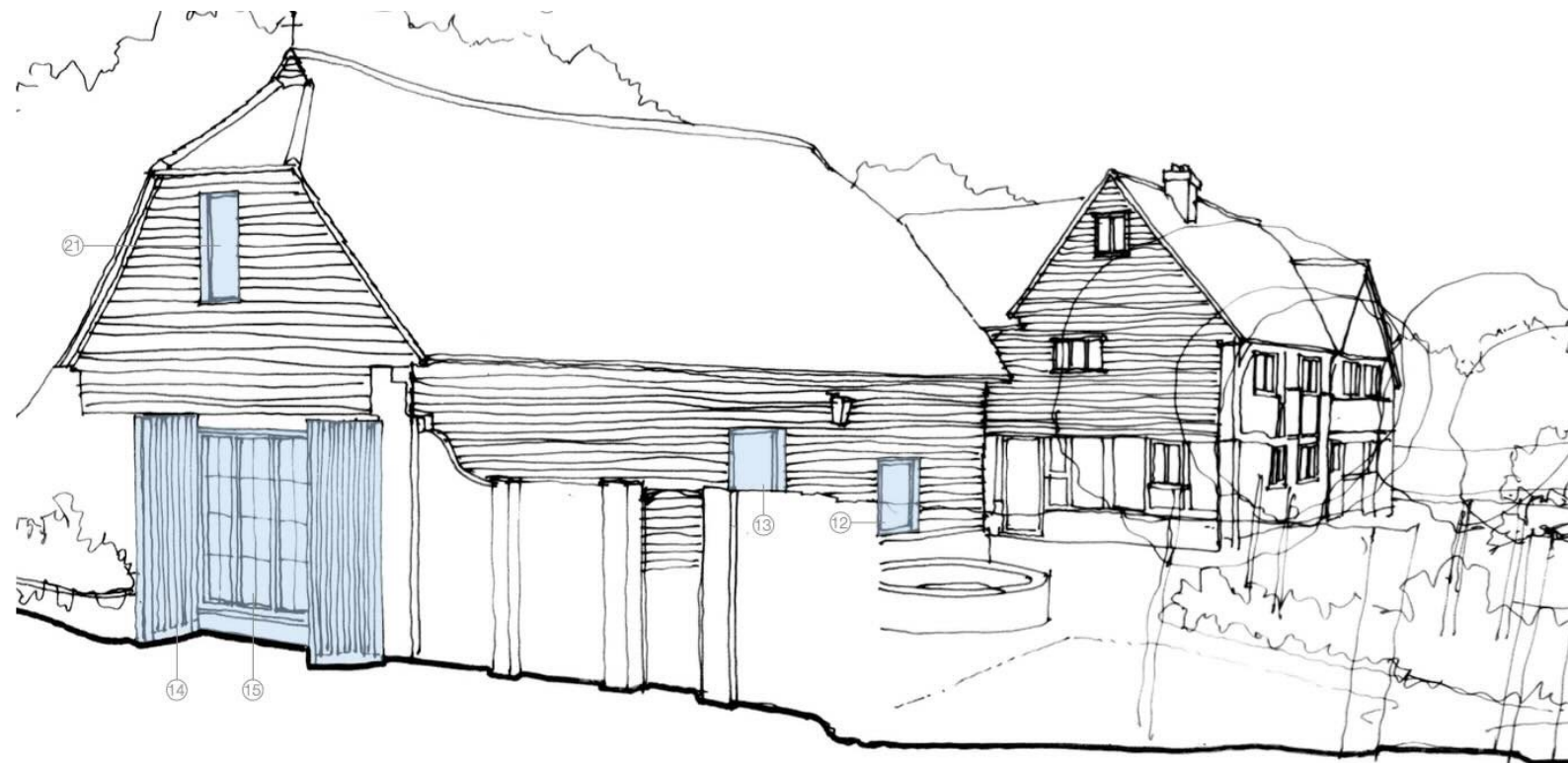
Proposed Alterations + Extension (looking south east) Drawing 25-11-305 Image 06



Proposed Alterations + Extension (looking south west) Drawing 25-11-306 Image 07



Proposed Alterations + Extension (looking north) Drawing 25-11-303 Image 04



Proposed Alterations + Extension (looking north east) Drawing 25-11-304 Image 05



Image Item 1 and 2



Image Item 3.

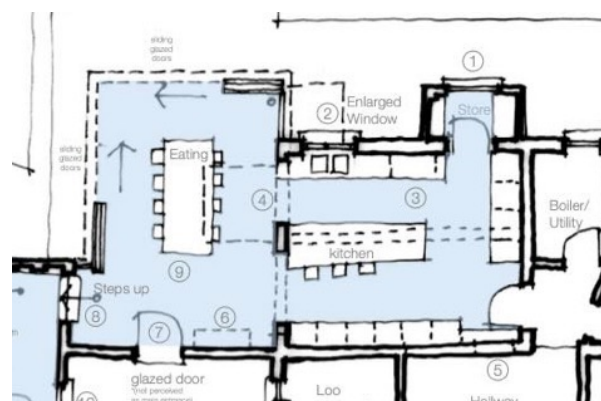


Image part plan view Item 4 and 5.



Image Item 4.

1. Rationalisation of store, new gable roof and new timber double glazed window. Our proposals seek to rationalise and improve one of the two lean-to additions to the rear of the building. Previous proposals have sought to remove this addition, however we are seeking to improve the usability of this space whilst ensuring that any improvements seek to improve the character of the existing property. We are proposing to remove the existing lean-to roof and to construct on the same footprint a slightly taller gable end roof with an enlarged double casement window. See left Image 1.

2. Demolition of existing lean-to, removal of small window + inclusion of new timber double glazed window. Our proposals are seeking to remove the smaller of the two lean-to structures and replacing this with an enlarged 2 pane casement window located between what is the existing door into the lean-to structure from the kitchen and the existing small kitchen window. The intent will be to locate the kitchen sink on this section of wall with views out to the garden and to provide an increased run of kitchen worktop and storage space.

3. Removal of non-original brickwork either side of the existing aga to create usable kitchen worktop space. The previous applications for Old Clack Farm have sought to leave the current aga/ central chimney brickwork configuration. Whilst we are seeking to keep this section of wall, the brickwork either side and above the aga is clearly non-original and as such, we would be seeking to remove this and to improve the worktop space along this section of kitchen. We are therefore seeking to remove this non-original brickwork as part of our pre-application advice discussions.

4. Demolition of kitchen entrance lobby and creation of new opening into the glazed link from the kitchen. As part of our proposals, we are seeking to demolish the existing gable ended small porch leading into the side of the kitchen and opening up the existing doorway entrance, see '4' on the image left. Whereas on the previous extensions, approval was given to open up the wall either side of the aga, we are seeking to create two openings to the side of the kitchen; one within what is the existing 3 pane crittal window, the other increasing the door aperture opening. The new openings will be either side of the existing beam illustrated between the window and door in image 4 (left)

5. Removal of single pane glazing between hallway and kitchen and proposed infill of wall. Our proposals seek to infill what is an existing small glazed window between the hallway and the kitchen, see '5' within the image far left. This will provide space within the kitchen for some full height kitchen storage.



Image Item 6 and 7

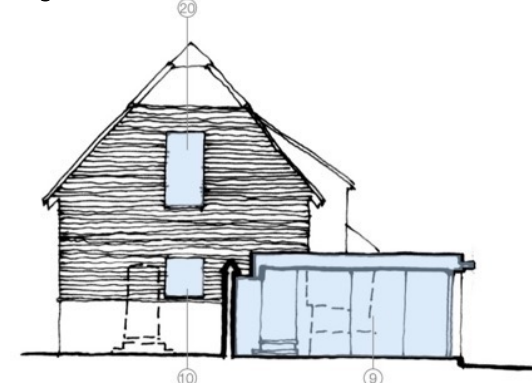


Image Item 8 (section above illustrates access into barn).



Image Item 8.



Image Item 8, 10 + 11.

6. Removal and relocation of the existing gas and electricity store As part of this pre-app we are seeking to remove the small lean-to services store abutting the existing wall between the house and barn and relocate this within the barn beneath the proposed barn staircase leading to the first floor mezzanine.

7. Removal of the existing timber frame and inclusion of a new powder coated glazed door. The intent will be to replace the existing timber frame. The proposed glazed addition will provide a vista through to the mature gardens to the south as well as provide additional light into the glazed link.

8. Removal of a section of timber boarding and lower brick wall to accommodate stepped entrance into the barn. The proposed stepped entrance into the barn will provide a clean access between the main house and barn keeping all access behind the existing brick wall. The existing opening to the barn will be bricked up and restored , i.e. with the making good of the brickwork and the timber boarding.

9. Proposed Glazed Link and Eating Area The proposed glazed link will be very contemporary and a clear contrast between the existing barn and house. The proposed single storey side flanks to the rear will incorporate 2 no. 3 pane glazed sliding doors leading out to the garden beyond. The proposed glazed link and eating area will project out no further than the existing lean-to additions to the north. The flat roof will be finished in traditional lead work. A small rectangular section of roof between the existing wall and the new roof will be glazed providing a distinct contrast between the character of the existing wall and new addition. The contemporary nature of the proposed glazed link will not only remain subservient to the house and barn, the extent of the glazing will help the delineations of the existing house, wall and barn completely visible. It will be therefore easy to read the language between the older and clean crisp additions to the building as a whole. See 3D image below.

10 + 11. Proposed Replacement double glazed window and removal of existing barn door and steps. The image below left illustrates the existing window that will be replaced with one fixed double glazed window unit (see precedents in the following pages) . The existing door will be removed and filled in and the steps will be removed.



Image Item 9 (above).

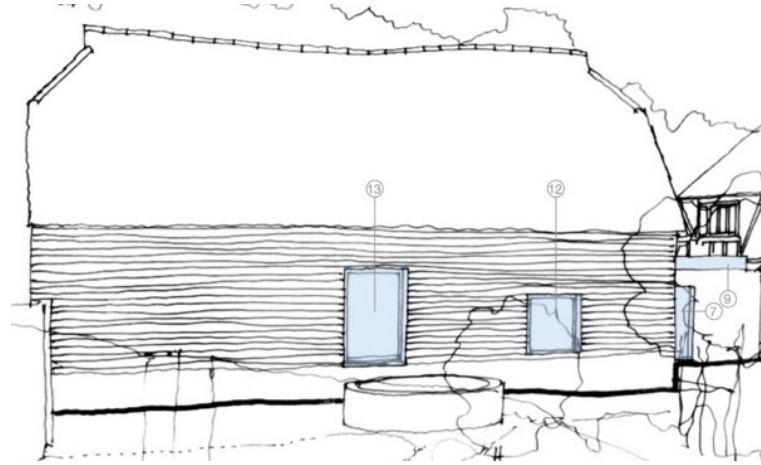


Image Item 12 + 13.



Image Item 14, 15 and 21.



Image Item 16.



Image Item 20.

12. Replacement double glazed window The existing window (see '12' left) will be replaced with one double window section (see precedent on the following pages) The window aperture will remain the same size as the existing

13. Enlargement of the existing window aperture and inclusion of the new double glazed window pane. The intent for the proposed enlargement of the central window '13' is to provide a vista from the proposed barn living space with views looking onto the water fountain feature within the mature courtyard/ garden space beyond. The underside of the window aperture will match the window '12' however we will seek to increase the height of the window so that it follows a rectangular form (see precedents on the following pages)

14 +15 Replacement concertina style barn doors and new double glazed crittal doors inserted into barn aperture. Our client would like to ensure that externally the barn remains and feels like a barn, especially when it is locked up. The intent will be to allow plenty of light into the barn through the barn aperture with the use of crittal glazing, however, the intent will be to close the barn doors when not in use. For practical purposes, we propose to use a set of concertina timber barn doors which will be easier to close.

21. Alterations and adjustment to existing glazed aperture to accommodate new double glazed window The existing double glazed casement window currently visible above the barn doors is akin to a typical developer window and something the owner is keen to replace. The intent is to make the aperture slightly more rectangular and incorporating a fixed section of double glazing (see follow on precedents)

16. Removal of non-original feather boarding and window and proposed double glazed crittal doors + windows. As with the previous planning applications, we are seeking to re-instate an opening into this flank where you are able to access the barn from the garden. We therefore propose a pair of crittal doors with fixed glazed side panels. This will help to enhance the character of the barn to the rear, especially accentuating the slightly raised roofline of the barn in this area.

20. Removal of timber boarding and insertion of a new double glazed window. The current mezzanine space within the barn is quite dark. The wish will be to incorporate new rectangular opening (similar to that proposed on the other side of the barn) at first floor level within the proposed study/ guest sleeping space. The proposed aperture would not affect the existing timber beams and structure internally and the intent is that the window would sit forward of these timbers.

17,18, 19. Removal of existing mezzanine level, stairs to 1st floor barn + internal walls to w/c. Removal of existing first floor mezzanine spaces over the main extent of the barn living area. Replacement first floor mezzanine with accompanying timber staircase The owners main wish is to link the barn to the existing house and to open up the inside so that the wonderful existing timbers can be exposed and visible from the ground floor space. The proposed fenestration previously described will help bring much needed light into this space.



Image above referencing 17, 18 and 19 above.