



Design & Access and Heritage Statement

56 Long Lane, Ickenham, UB10 8TA

21 December 2022

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FLETCHER CRANE
ARCHITECTS

Analysis

Introduction

Analysis

This Design & Access Statement, prepared by Fletcher Crane Architects, supports a planning application to Hillingdon Council for a replacement outbuilding at 56 Long Lane, Ickenham, Uxbridge UB10 8TA

The client has an elderly parent who is completely unable to use stairs - there is a need to convert an existing garage into an outbuilding to provide ground floor accommodation for this relative to occupy. The location, area, and height will match the existing building. The space will not be used as a separate dwelling.

The drawings show a previously consented side extension to the main house APP/R5510/D/20/3253471. For all intents and purposes this aspect of the scheme can be ignored - this application only refers to the replacement garage outbuilding.

Site analysis, design considerations and proposals set out in this document demonstrate, through careful and thoughtful design, the proposed outbuilding sensitively fits into the wider Ickenham Conservation Area.

NOTE:

A pre-application was submitted for this scheme in August 2022 in an attempt to understand any planning considerations and amendments ahead of a full planning submission.

This pre-application was withdrawn after **5 months** due to lack of response from the council - there is a time sensitive requirement from the client to reach a conclusion and thus the decision has been taken to submit the scheme as a full planning application.

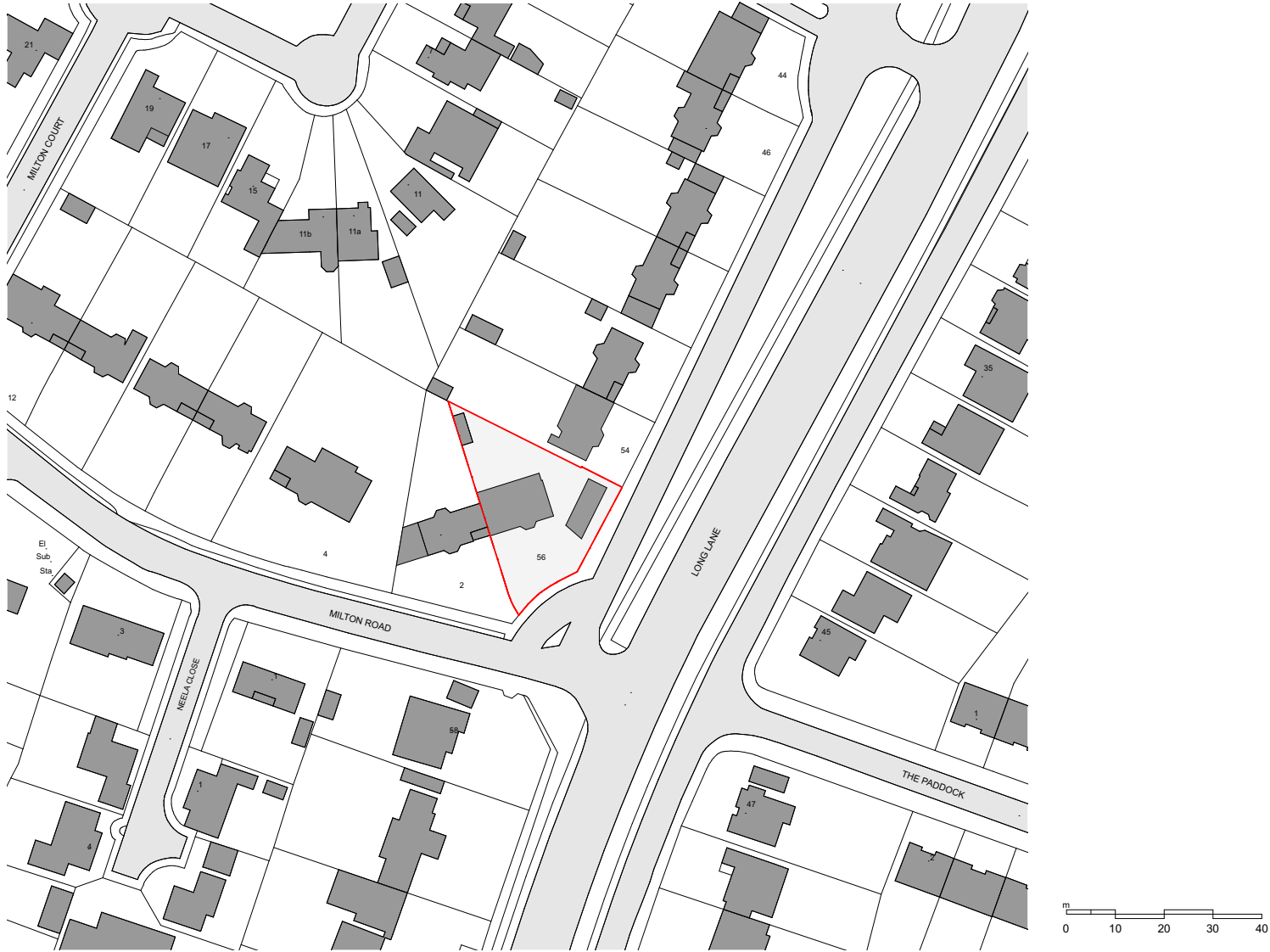
Fletcher Crane Architects would expect a level of dialogue with the council ahead of the determination date of this submission. Any required changes or explanations will be addressed promptly.



View of existing No 56 Long Lane

Existing Location Plan

Scale 1:1250 @ A4



Site Plan Existing

Existing Site Photo Plan

Scale NTS @ A4



Aerial Photo

Aerial Views

Birds Eye views



Birdseye view looking to the North



Birdseye view looking to the East



Birdseye view looking to the South



Birdseye view looking to the West

Site Photos

Street Level Images



Street view looking North showing planted screen.
Existing standalone garage not visible from street.



Street view looking North showing planted screen above garden wall.



Street view looking South showing planted screen and side elevation.



View looking West from Long Lane showing planted screen and garden wall.

Site Photos

Images of Garage



View of existing garage (totally hidden from street)



View down on existing garage (totally hidden from street)



Existing garage

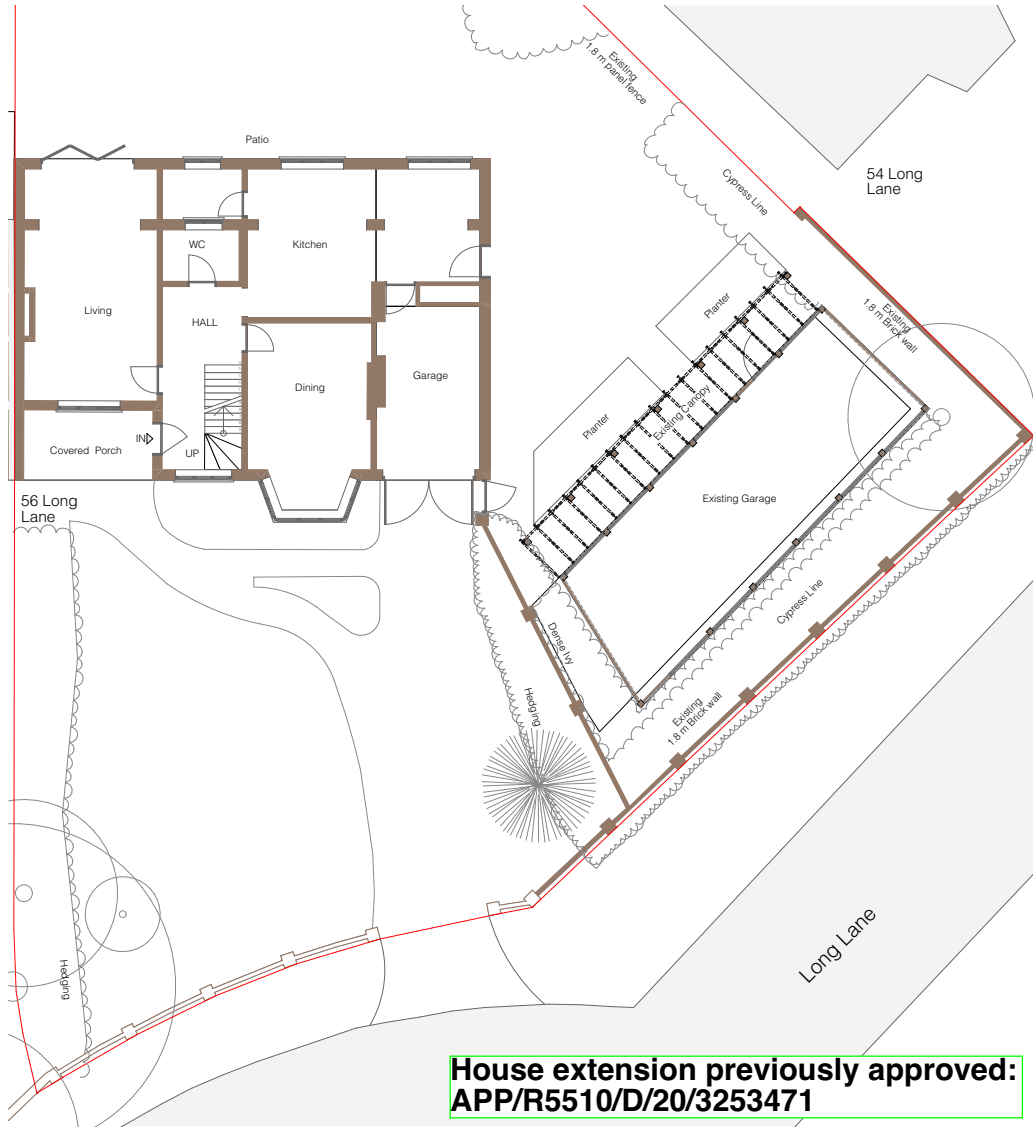
Site Photos

Images of Neighbouring Garages

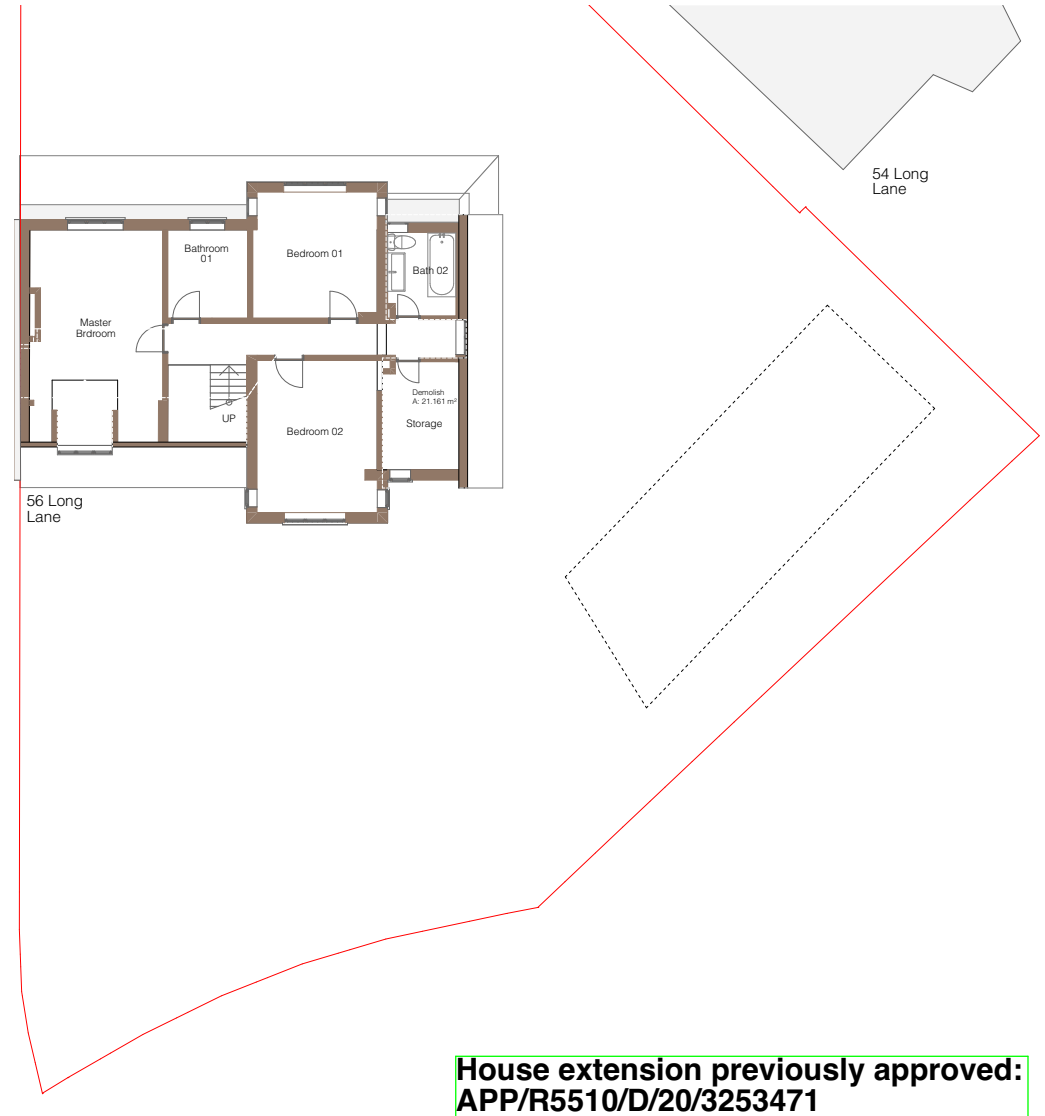


Existing Plans

NTS



Existing Ground Floor Plan



Existing First Floor / Roof Plan

Planning Design Matters

Local Authority Guidance

Conservation Areas

Within conservation areas, normal 'permitted development' rights (permission granted automatically for certain works to single family dwelling houses) are restricted, enabling more control over the size, design and location of extensions and alterations.

Design

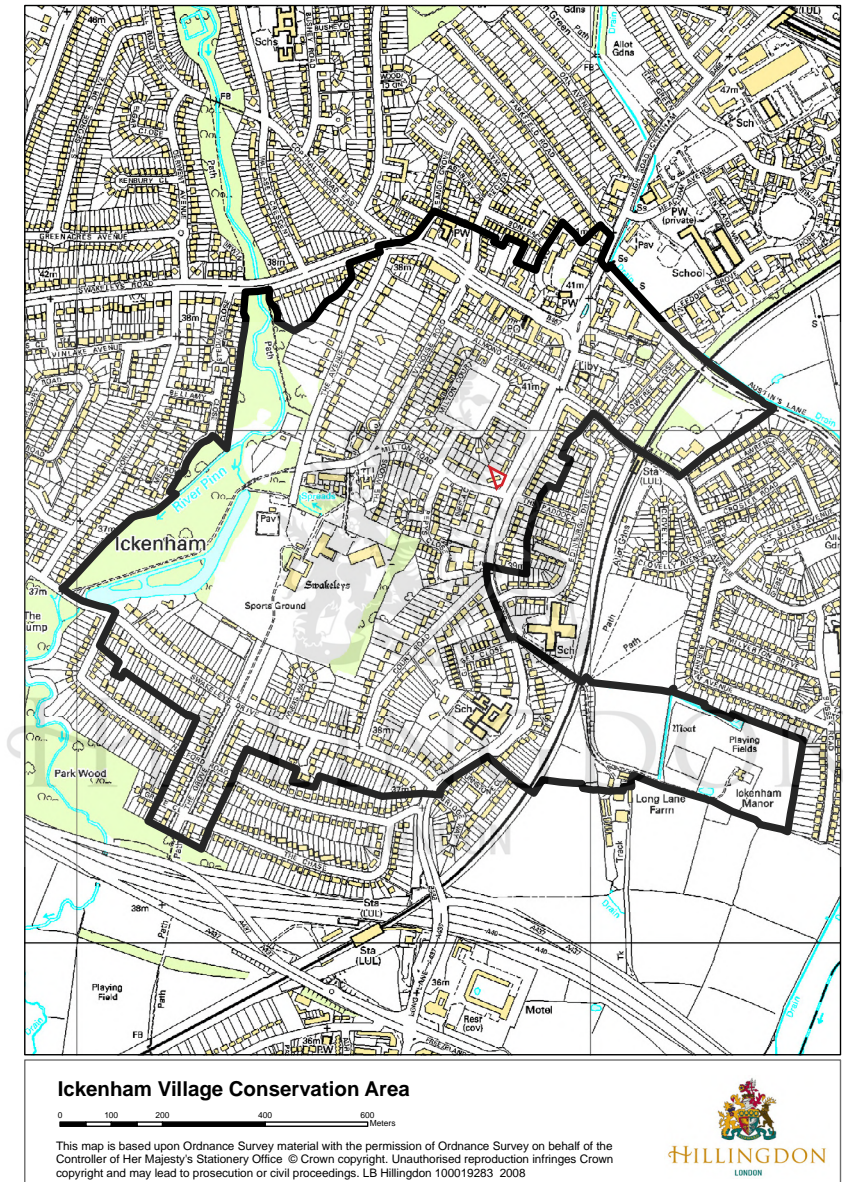
The council aims to enhance conservation areas through its own initiatives and by encouragement and advice to owners who may wish to alter or improve their properties. The followings are particularly important:

- Extensions or alterations should not be out of scale with the original house, and should respect the property's original design
- Materials and detailing should match the existing property (eg existing features, window shapes and sizes, brick arches and eaves details) boundary treatment should be in keeping with the street scene

Design principles

Generally, good design should:

- Respect the built form, character and nature of existing buildings on the site and other buildings immediately adjacent and in the surrounding area; this is particularly important in conservation areas
- Respect and be sensitive to natural and physical features, both on and off the site, such as slope and topography, vegetation, biodiversity, habitats, waterways and drainage, wind, sunlight and shade, and local pollutant sources
- Ensure buildings do not overshadow existing/proposed outdoor spaces, amenity areas or existing/approved renewable energy facilities (for further information, refer to Hillingdon Planning Guidance on daylight and sunlight and energy and on site renewable facilities)
- Ensure developments do not overlook the windows or private garden area of another dwelling to an unreasonable degree
- Consider views, vistas and aspects, both local and London wide, and particularly where the site is within a recognised strategic viewing corridor (as shown on the UDP Proposals Map- Errata Sheet [623KB])
- Consider the degree of openness and / or verdant views provided by gap sites
- Provide visual interest for onlookers, from all aspects and distances, involving attention to both form and detail
- Incorporate external facilities such as renewable energy installations, access ramps, plant and machinery, waste storage facilities and shading devices into the design giving careful consideration so that the feature makes a positive contribution to the built environment



Conservation Area Map with Site Highlighted

Opportunities and Constraints

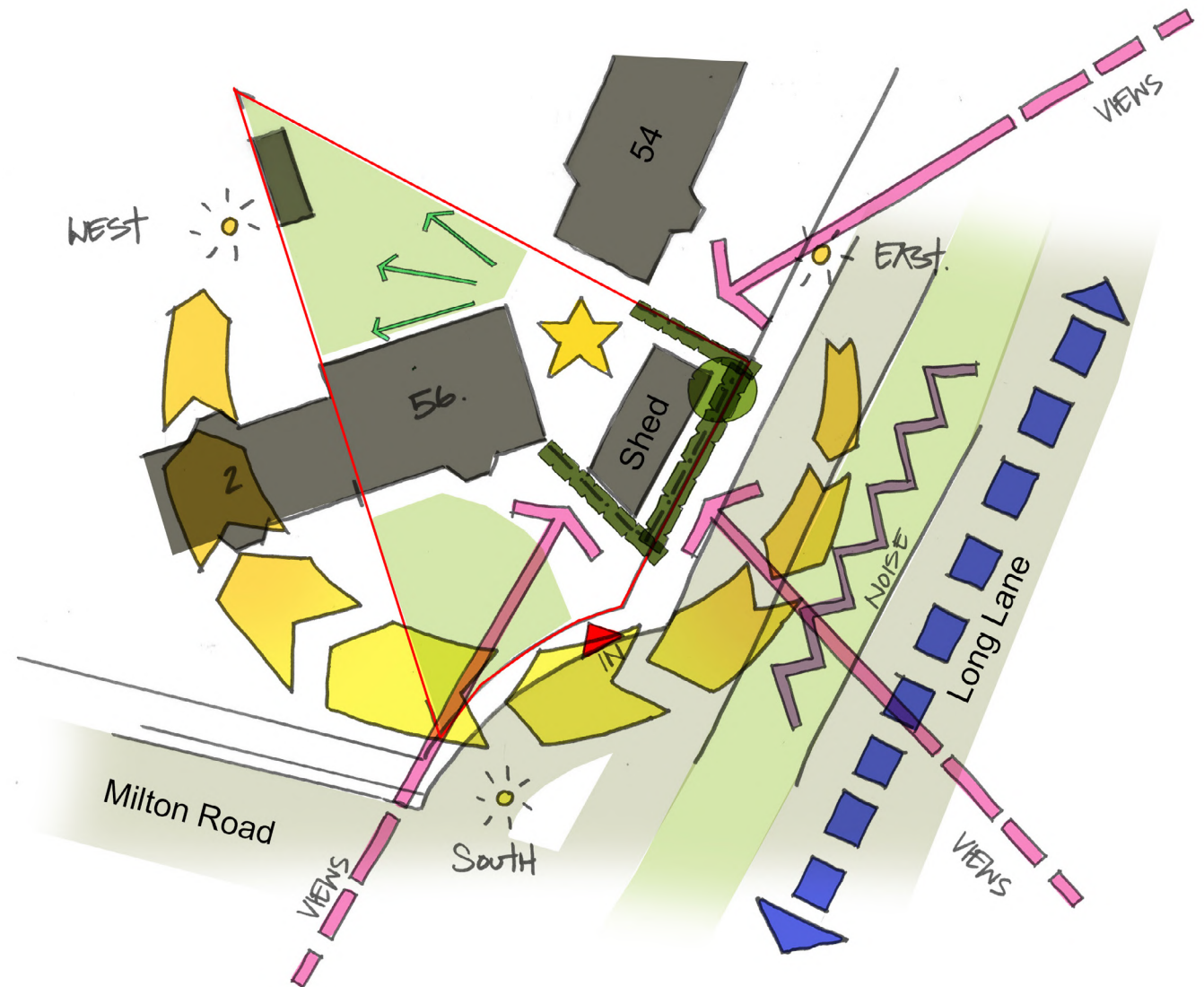
Discussion Plan

Opportunities

- Corner plot with open wedge shape of site largely under utilised.
- Existing garden building sets precedent for structure in front of the building line.
- Existing established hedge and wall provide good screening to the plot and existing garage.
- Existing house is well set back from the highway.
- Many immediate local examples of side extensions and garages which have been upgraded to habitable rooms.
- Client committed to a high quality design led approach.

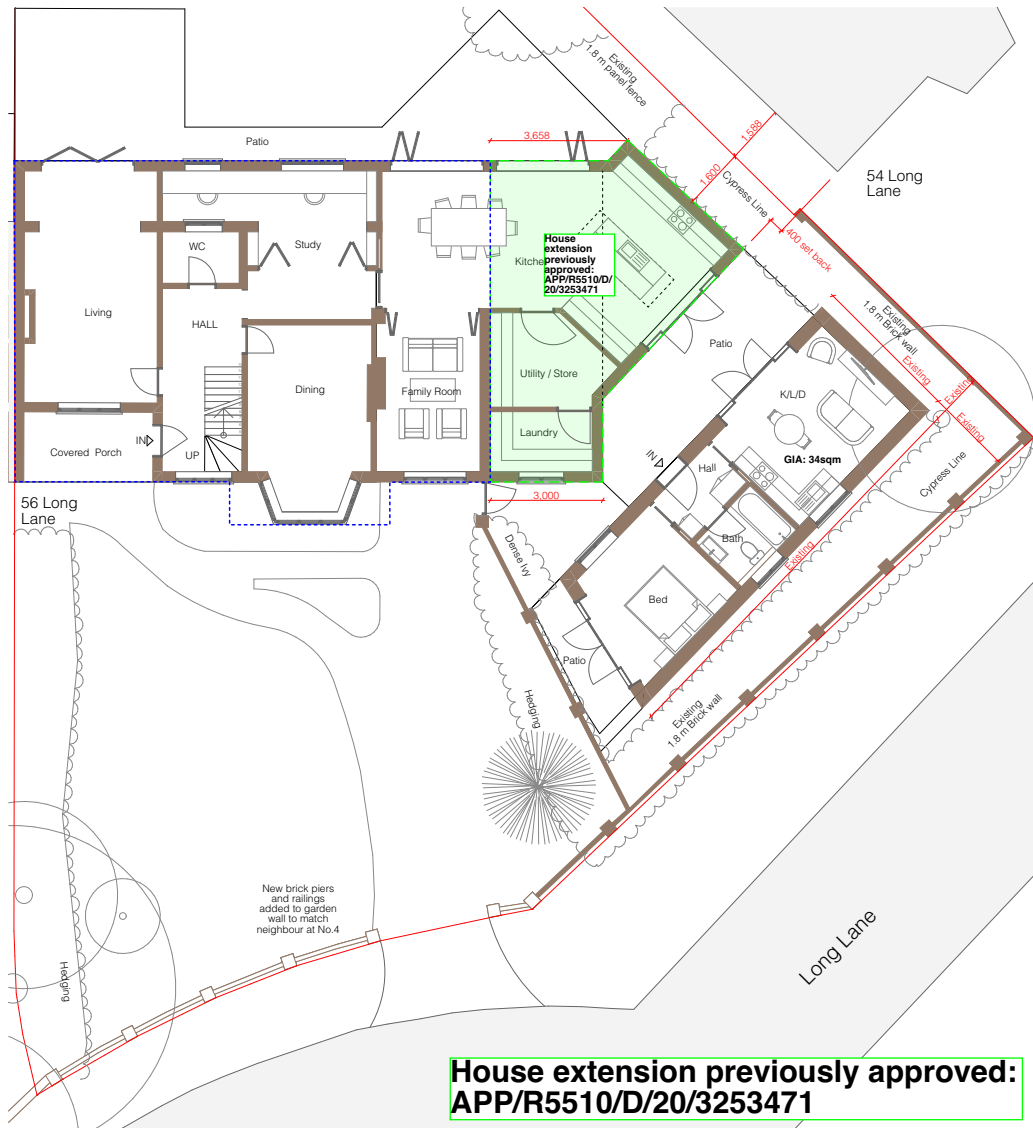
Constraints

- Consideration of Conservation Area status
- Understand sun path and impact of the road noise.
- Consideration of plot width to rear garden (circa 4m) to boundary at 54 Long Lane.
- Consider views into and out of the site.

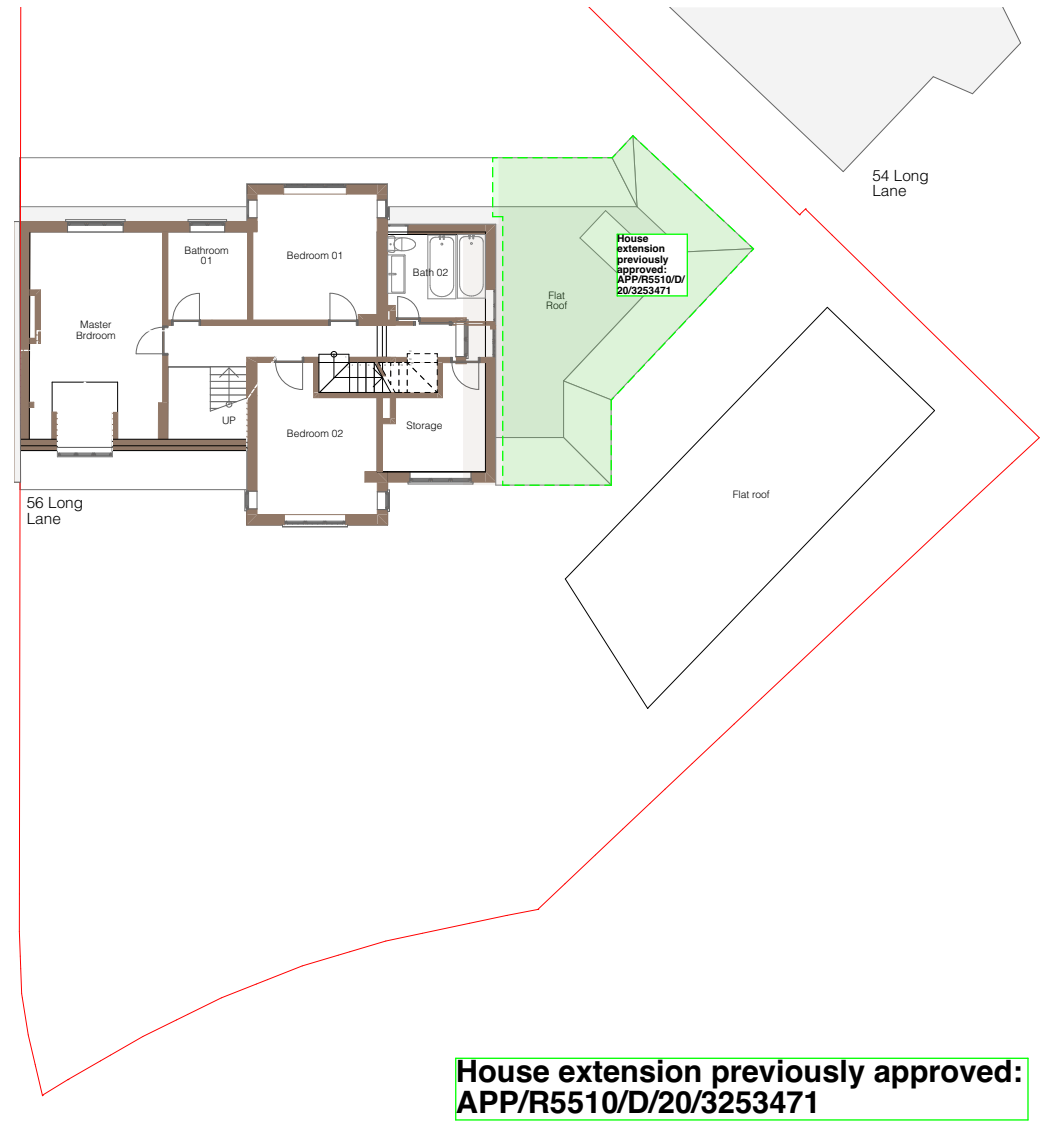


Proposed Plans

NTS



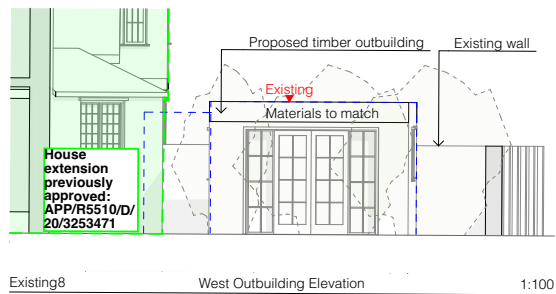
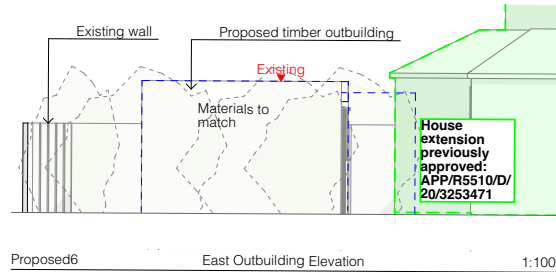
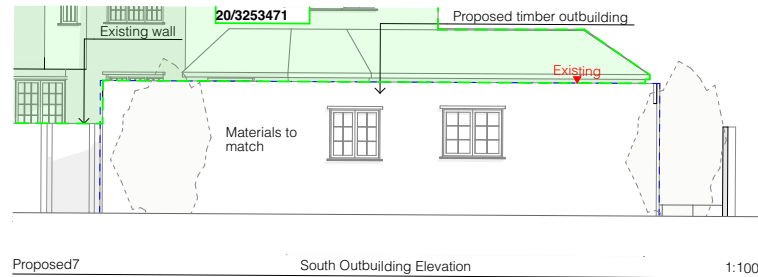
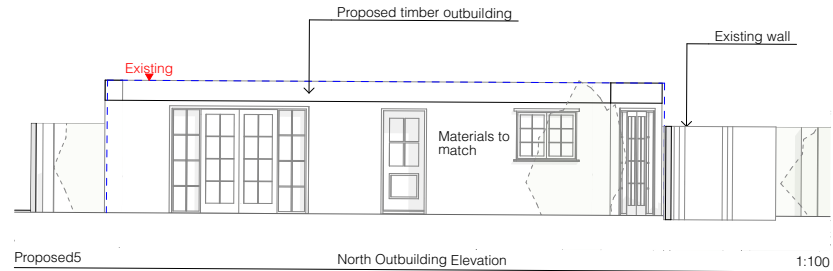
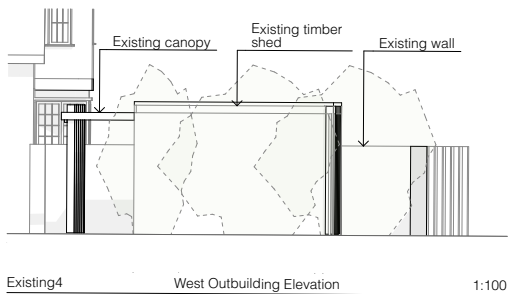
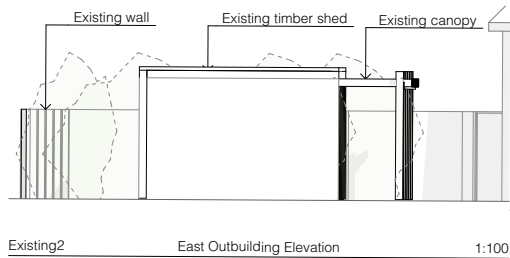
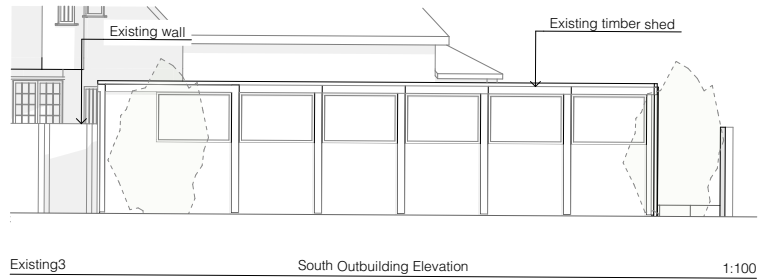
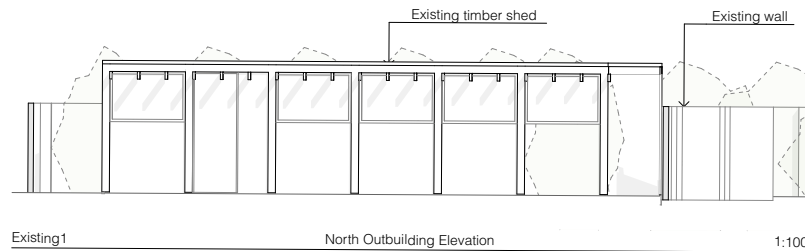
Proposed Ground Floor Plan



Proposed First Floor / Roof Plan

Existing and Proposed Elevations

NTS

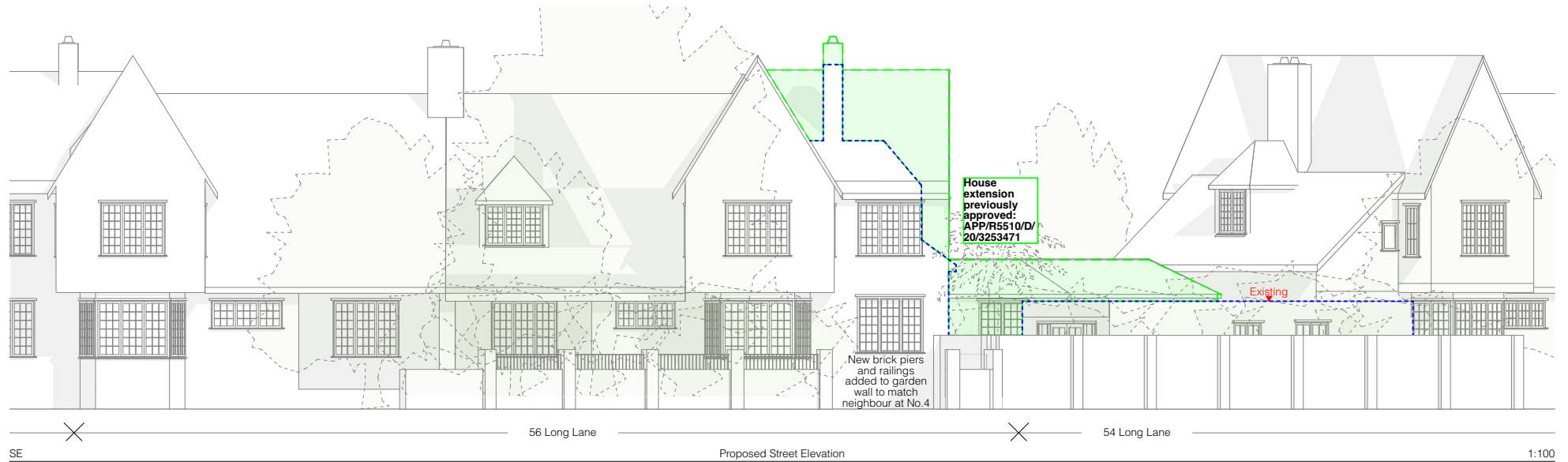


Existing Elevation - - - - -

House extension previously approved: APP/R5510/D/20/3253471

Existing and Proposed Street Elevations

NTS



Site Boundary
Existing Elevation

House extension previously approved: APP/R5510/D/20/3253471

Proposed Street Scene

Replacement Outbuilding not visible



Existing Street View



Proposed Street View

Scheme against Permitted Development

Comparison

While the proposal is not submitted as permitted development (due to Conservation Area), it follows many of the rules allowed. The only rules it does not meet is that it is proposed forward of the principal elevation of the existing house and the height is taller than 2.5m - however, both of these points only apply as it matches the existing building (both in location and size). The fact that a outbuilding already exists in the exact same location means it would not be unreasonable to replace this structure with a replacement outbuilding of the same height/size/location. The proposal is not visible from the street.

Summary

Outbuildings are considered to be permitted development, not requiring an application for planning permission, provided all the conditions are met.

- | | |
|--|---|
| 1. On designated land* outbuildings to the side of the house are not permitted development.* Designated land includes national parks and the Broads, Areas of Outstanding Natural Beauty, conservation areas and World Heritage Sites. | 1) Not applicable |
| 2. Outbuildings are not permitted development within the grounds of a listed building. | 2) Not applicable |
| 3. In national parks, the Broads, Areas of Outstanding Natural Beauty and World Heritage Sites the total area to be covered by any outbuildings more than 20 metres from ANY WALL of the house must not exceed 10 square metres to be permitted development. | 3) Not applicable |
| 4. Outbuildings are not permitted development forward of the principal elevation of the original house. The term original house means the house as it was first built or as it stood on 1 July 1948 (if it was built before that date). | 4) Proposal is forward of principal elevation but on the location of an existing building |
| 5. Outbuildings and other additions must not exceed 50% of the total area of land around the original house. Sheds and all other outbuildings (see intro) and extensions to the original house must be included when calculating this 50% limit. | 5) Not applicable |
| 6. To be permitted development, any new building must not itself be separate, self-contained, living accommodation and must not have a microwave antenna. | 6) To be used as living accommodation connected to the main house - not a separate, self-contained, living accommodation |
| 7. Outbuildings must be single storey with a maximum eaves height of 2.5 metres and maximum overall height of 4 metres with a dual pitched roof, or 3 metres in any other case. | 7) To match existing height |
| 8. If the outbuilding is within 2 metres of the property boundary the whole building should not exceed 2.5 metres in height. | 8) To match existing height |
| 9. Balconies and verandas are not permitted development. Raised platforms such as decking are permitted development provided they are no higher than 300mm | 9) Not applicable |
| 10. Containers, such as those used for domestic heating purposes, must not exceed 3,500 litres capacity to be permitted development. The other permitted development conditions which apply to outbuildings listed above also apply to containers. | 10) Not applicable |

Proposed Wall Change

Neighbouring Wall



4 Milton Road (two houses down)



4 Milton Road (two houses down)

Proposed

- Increase pier heights on their front wall to match height of neighbouring wall at 4 Milton Road
- The low element of wall are 1m high (as allowed by permitted development)
- The piers are another 750mm above this (total 1.75m high)
- All elements of the wall will be copied in design - brick to match existing with black metal railings

Conclusion

- Outbuilding to be built in same location as existing garage
- Elderly parent cannot get up stairs and requires ground floor accommodation (and close support from family members). There is no bedroom space in the ground floor existing house and thus there is a need to convert this existing building into a private space for this relative to occupy. The space will not be used as a separate dwelling to the main house, only as supplementary private accommodation for a family member.
- The house extension APP/R5510/D/20/3253471 has been previously approved and remains the same. These proposed elements can be ignored as part of this application other than to be viewed in context. This extension is planned to be built at a future date.
- Footprint of replacement outbuilding to match exact size of existing garage.
- Boundary distances from outbuilding to remain the same.
- Height of replacement outbuilding to match existing garage.
- Materials of replacement building will look to match that of existing - dark wood facade treatment and matching doors and windows.
- Existing and proposed outbuilding is totally hidden from the street scene by a large brick wall and heavy plant screen - this will be maintained
- No windows will overlook any neighbouring properties
- Access will be via the existing side gate and/or from the house itself
- The outbuilding will be used by a member of the family, not used as a separate dwelling. It will be used to give an element of privacy to an elderly family member who will still also live and use the existing main house
- Outdoor amenity will be shared with the main house
- The front wall to have piers and railings added to match the design and height of the same wall and railings on neighbour 4 Milton Road (two houses away, same house style).



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