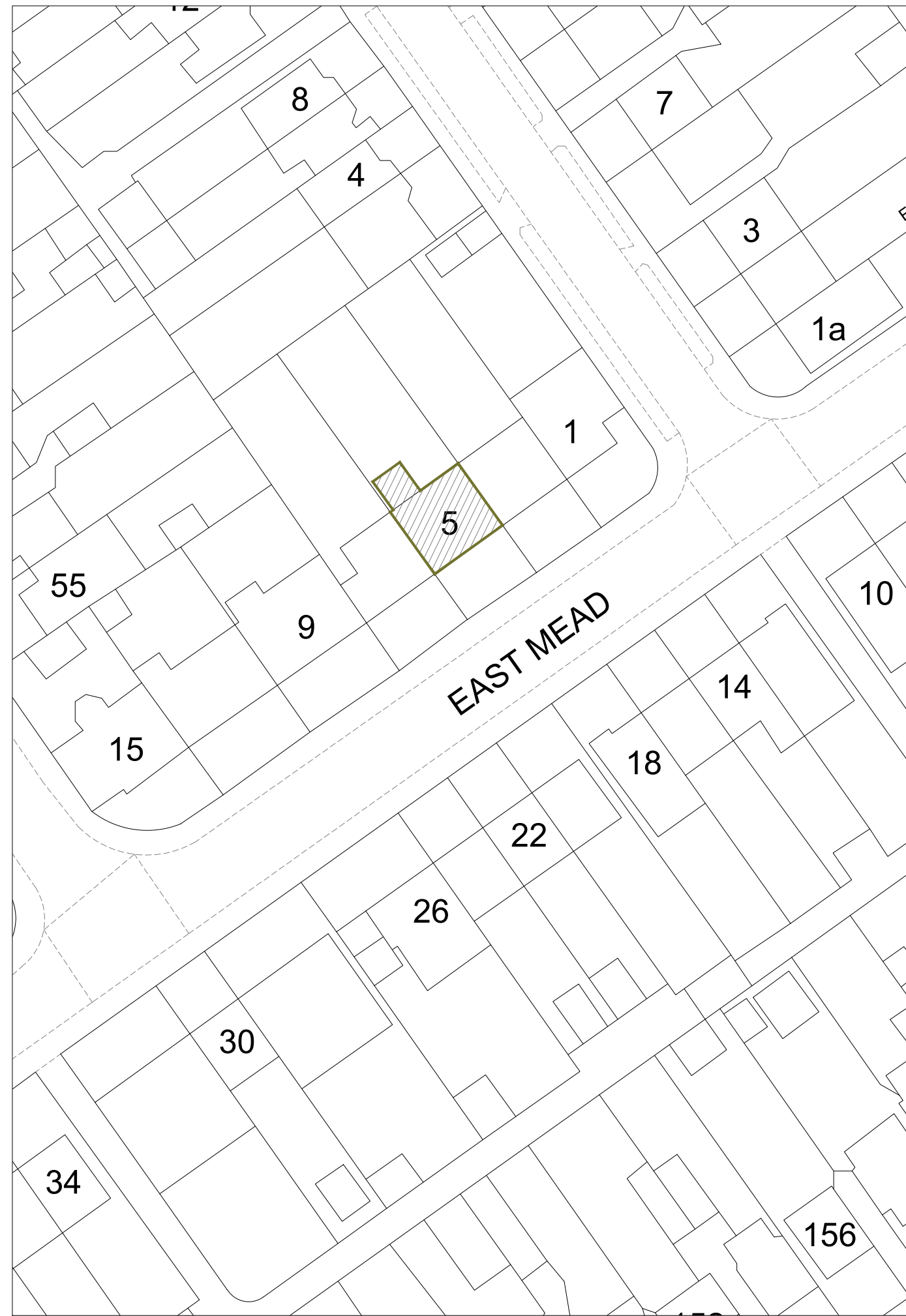




LOCATION PLAN
Scale: 1/1250

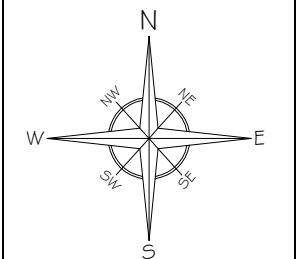


BUILDING BOUNDARY
Scale: 1/500



GENERAL NOTES:

- KEY:
- BUILDING - (5 EAST MEAD)
 - SITE BOUNDARY
 - BUILDING BOUNDARY



A	Issue For Approval	03/26
No	Revision / Issue	Date

Site :
5 East Mead,
Ruislip,
HA4 9HJ

Project Title :
Proposal for a Hip-to-Gable &
Rear Loft Dormer Extension,
along with Internal
Re-Configuration Under
Certificate of Lawfulness
Planning Application

Client :
Mrs Jaymini Patel
5 East Mead,
Ruislip,
HA4 9HJ

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Project Ref No : ABP-EMR5-01	Sheet No : P-0
Date : March 2026	Drawn By : ABP
Scale : VARIES @ A-3	

SCALE: 1:1250

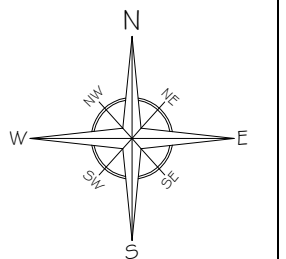
SCALE: 1:500



GENERAL NOTES:

KEY:

— SITE BOUNDARY



A	Issue For Approval	03/26
No	Revision / Issue	Date

Site :
5 East Mead,
Ruislip,
HA4 9HJ

Project Title :
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Client :
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Project Ref No : ABP-EMR5-01	Sheet No : P-O-1
Date : March 2026	Drawn By : ABP
Scale : 1:200 @ A-3	

SCALE: 1:200 10m

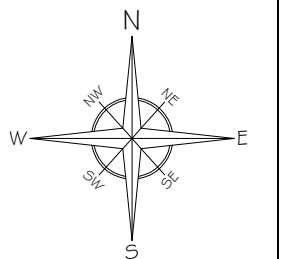
EXISTING BLOCK PLAN
Scale: 1/200



GENERAL NOTES:

KEY:

— SITE BOUNDARY



No	Revision / Issue	Date
A	Issue For Approval	03/26

Site :
5 East Mead,
Ruislip,
HA4 9HJ

Project Title :
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Client :
Mrs Jaymini Patel
5 East Mead,
Ruislip,
HA4 9HJ

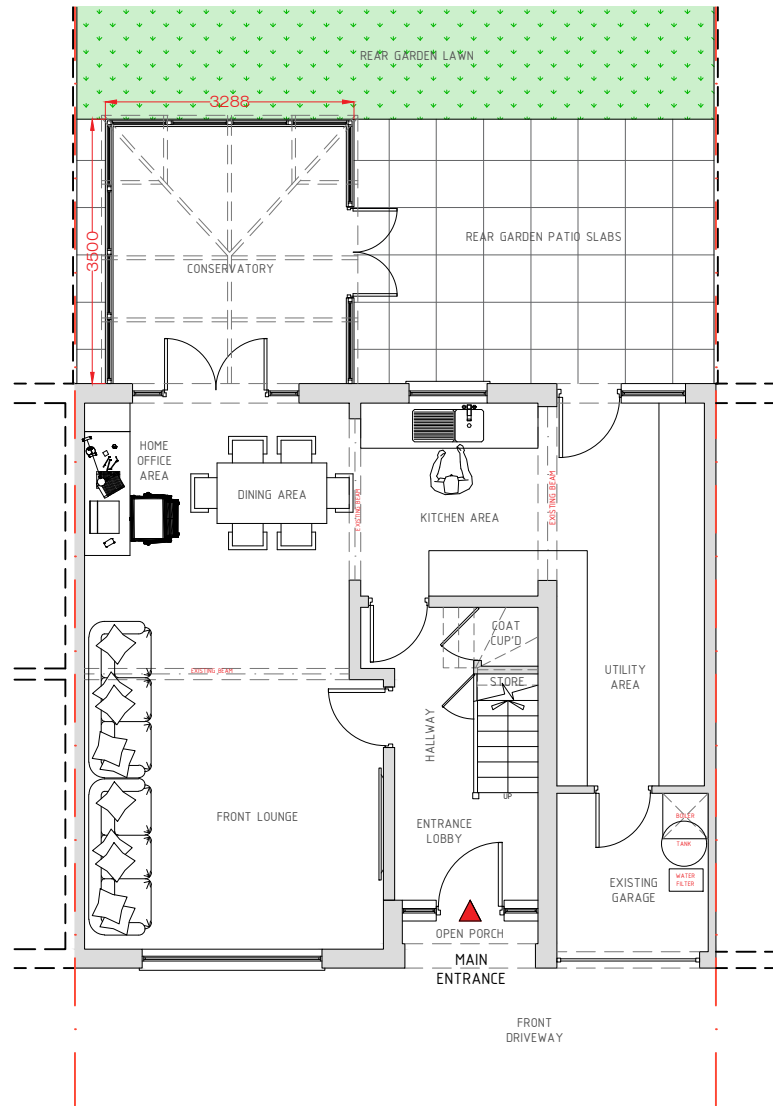
Do not alter or amend the scale from this drawing. The information may be suitable for discussion purposes and for obtaining Planning Approval Only. This drawing is NOT for construction purposes and should not be relied upon for any other works. This drawing should not be copied or altered in any way except by way of written permission from the designers. Discrepancies may occur from onsite dimensions to this drawing issued. ABP Architectural Services Ltd will not be held liable for any discrepancies raised from this drawing and onsite dimensions.

Project Ref No : ABP-EMR5-01	Sheet No : P-O-2
Date : March 2026	Drawn By : ABP
Scale : 1:200 @ A-3	

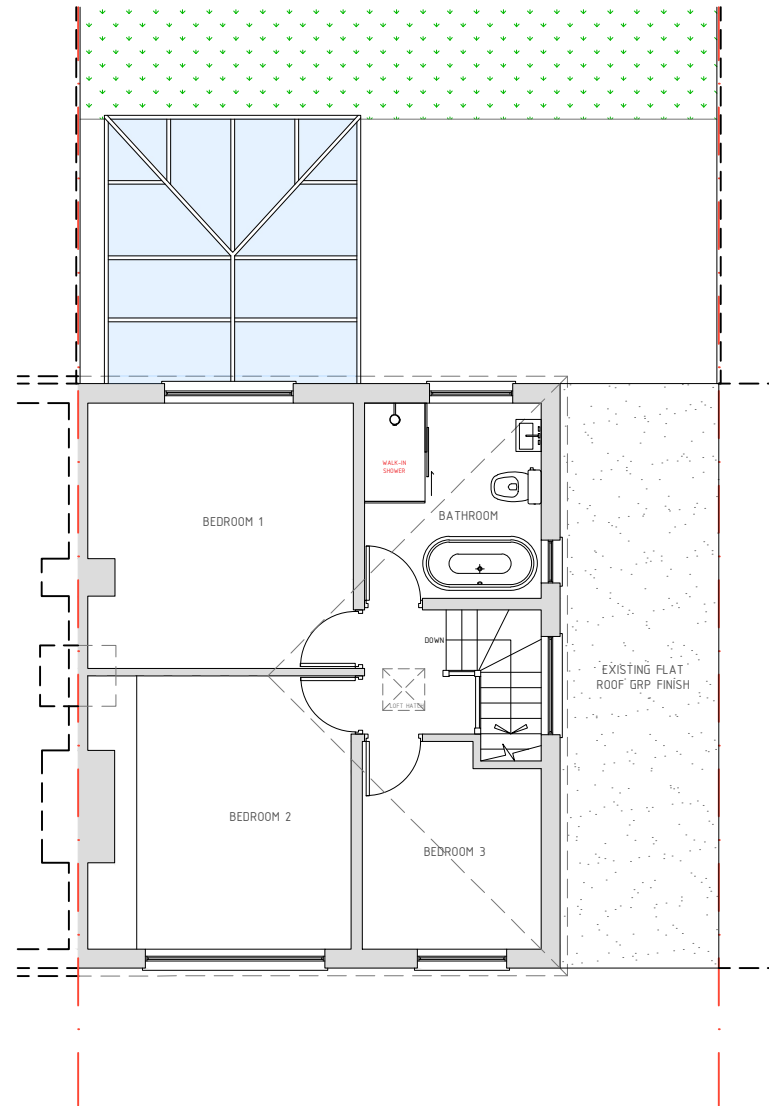
SCALE: 1:200 10m

PROPOSED BLOCK PLAN
Scale: 1/200

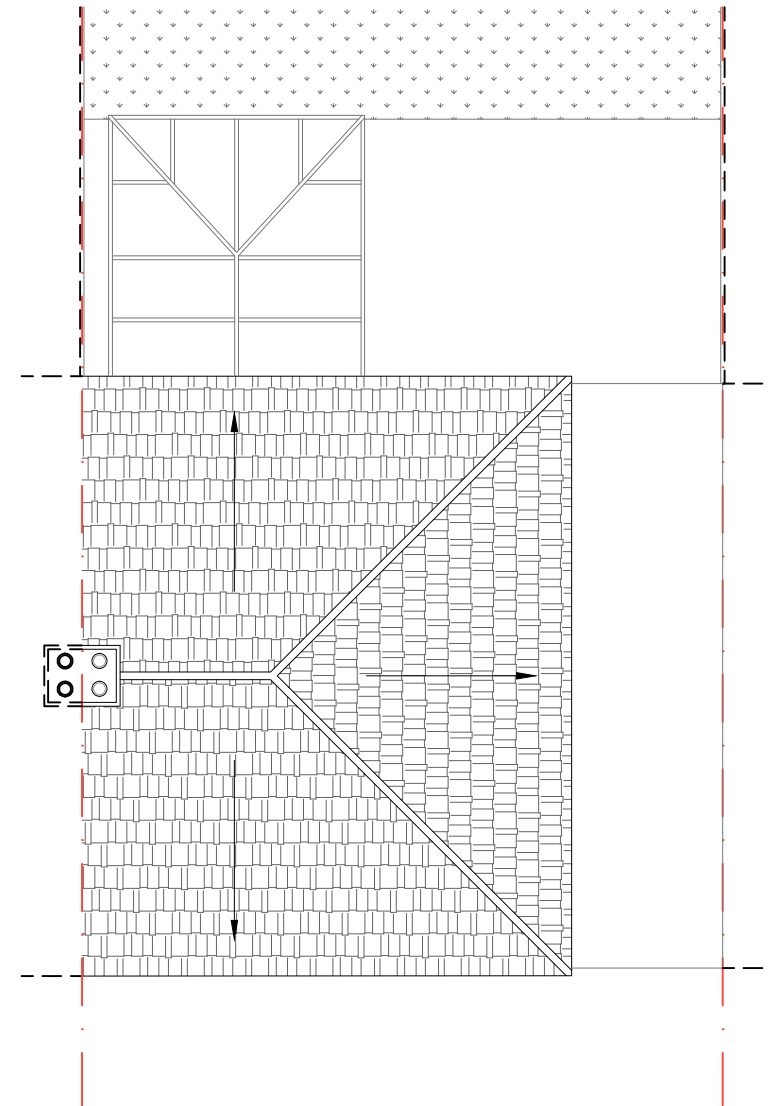
GENERAL NOTES:



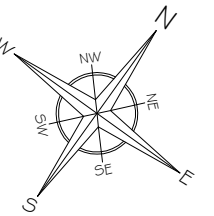
GROUND FLOOR



FIRST FLOOR



ROOF PLAN



A	Issue For Approval	03/26
No	Revision / Issue	Date

Site :
5 East Mead,
Ruislip,
HA4 9HJ

Project Title :
Proposal for a Hip-to-Gable &
Rear Loft Dormer Extension,
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Certificate of Lawfulness
Planning Application

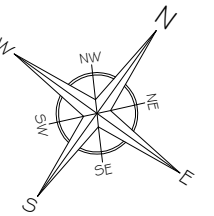
Client :
Mrs Jaymini Patel
5 East Mead,
Ruislip,
HA4 9HJ

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Project Ref No : ABP-EMR5-01	Sheet No : P-1
Date : March 2026	Drawn By : ABP
Scale : 1:100 @ A-3	

EXISTING FLOOR PLANS
Scale: 1/100

SCALE: 1:100 5m



A	Issue For Approval	03/26
No	Revision / Issue	Date

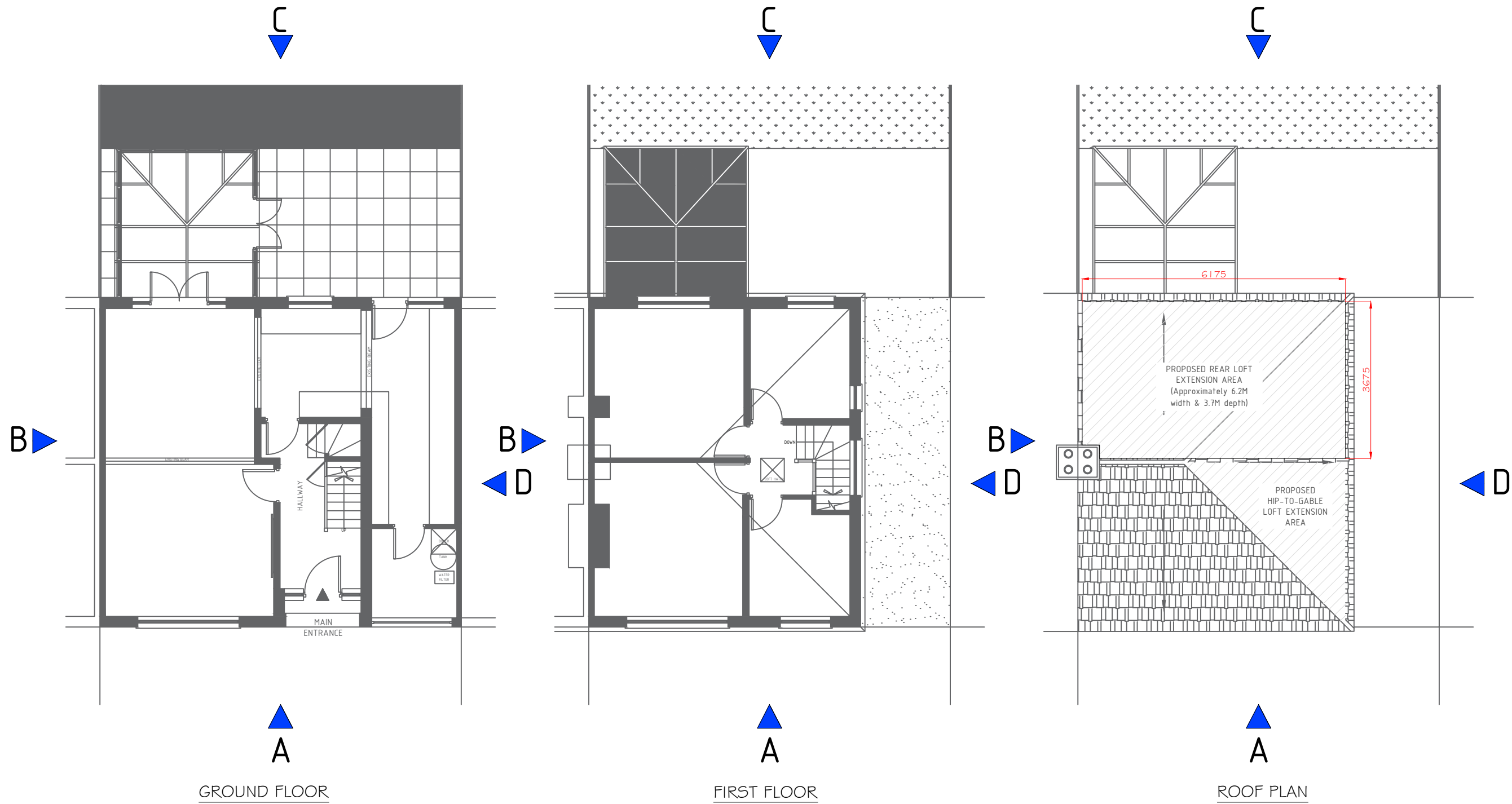
Site :
5 East Mead,
Ruislip,
HA4 9HJ

Project Title :
Proposal for a Hip-to-Gable &
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Client :
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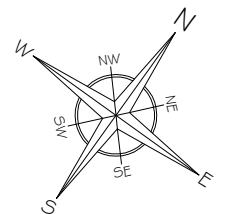
Project Ref No : ABP-EMR5-01	Sheet No : P-2
Date : March 2026	Drawn By : ABP
Scale : 1:100 @ A-3	



SCALE: 1:100 5m

EXISTING & PROPOSED ELEVATION INDICATIONS
Scale: 1/100

GENERAL NOTES:



A	Issue For Approval	03/26
No	Revision / Issue	Date

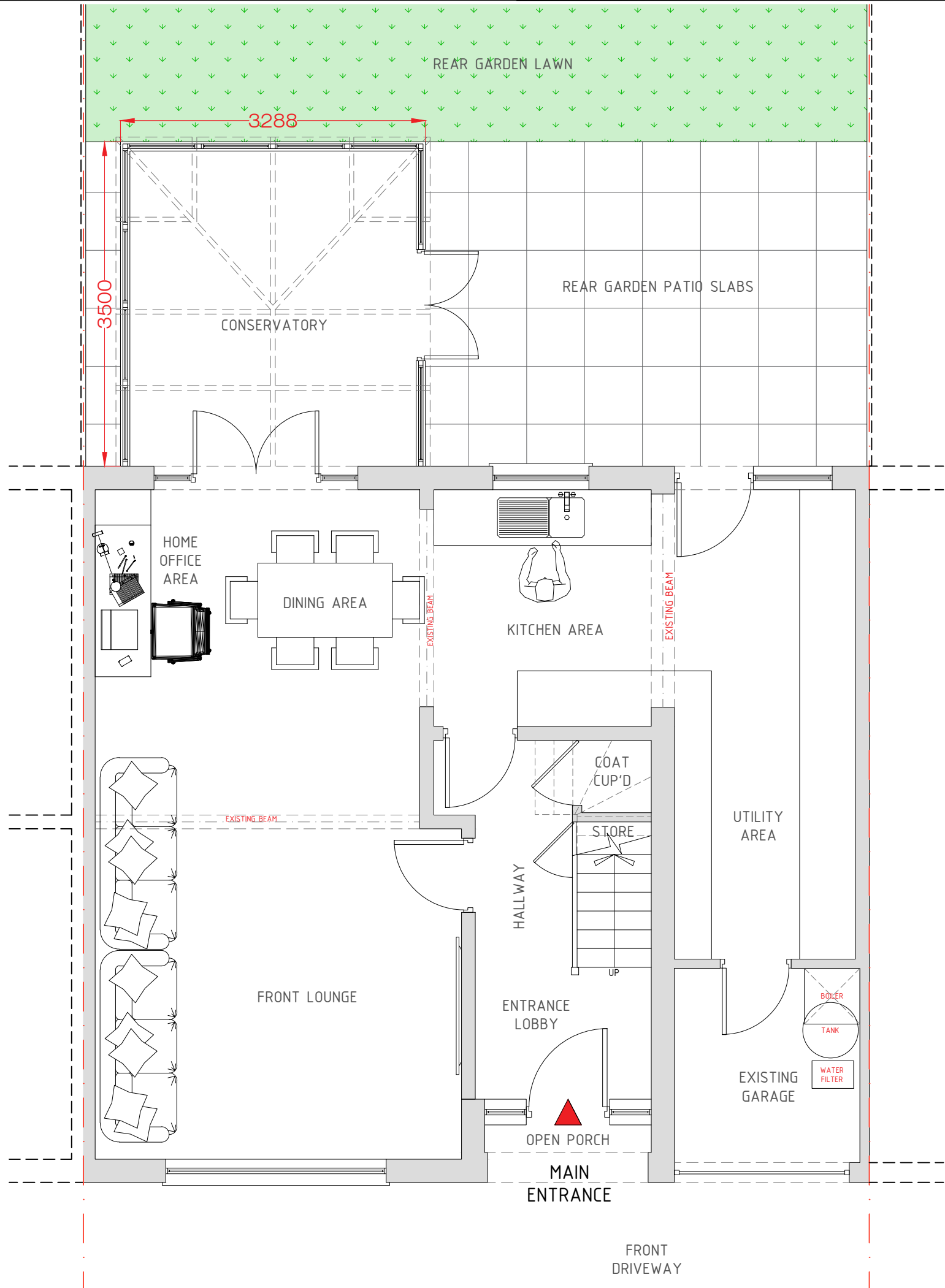
Site :
5 East Mead,
Ruislip,
HA4 9HJ

Project Title :
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Client :
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Project Ref No : ABP-EMR5-01	Sheet No : P-3
Date : March 2026	Drawn By : ABP
Scale : 1:50 @ A-3	

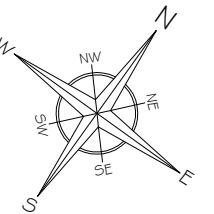


SCALE: 1:50 2.5m

GROUND FLOOR

PROPOSED FLOOR PLANS
Scale: 1/50

GENERAL NOTES:



A	Issue For Approval	03/26
No	Revision / Issue	Date

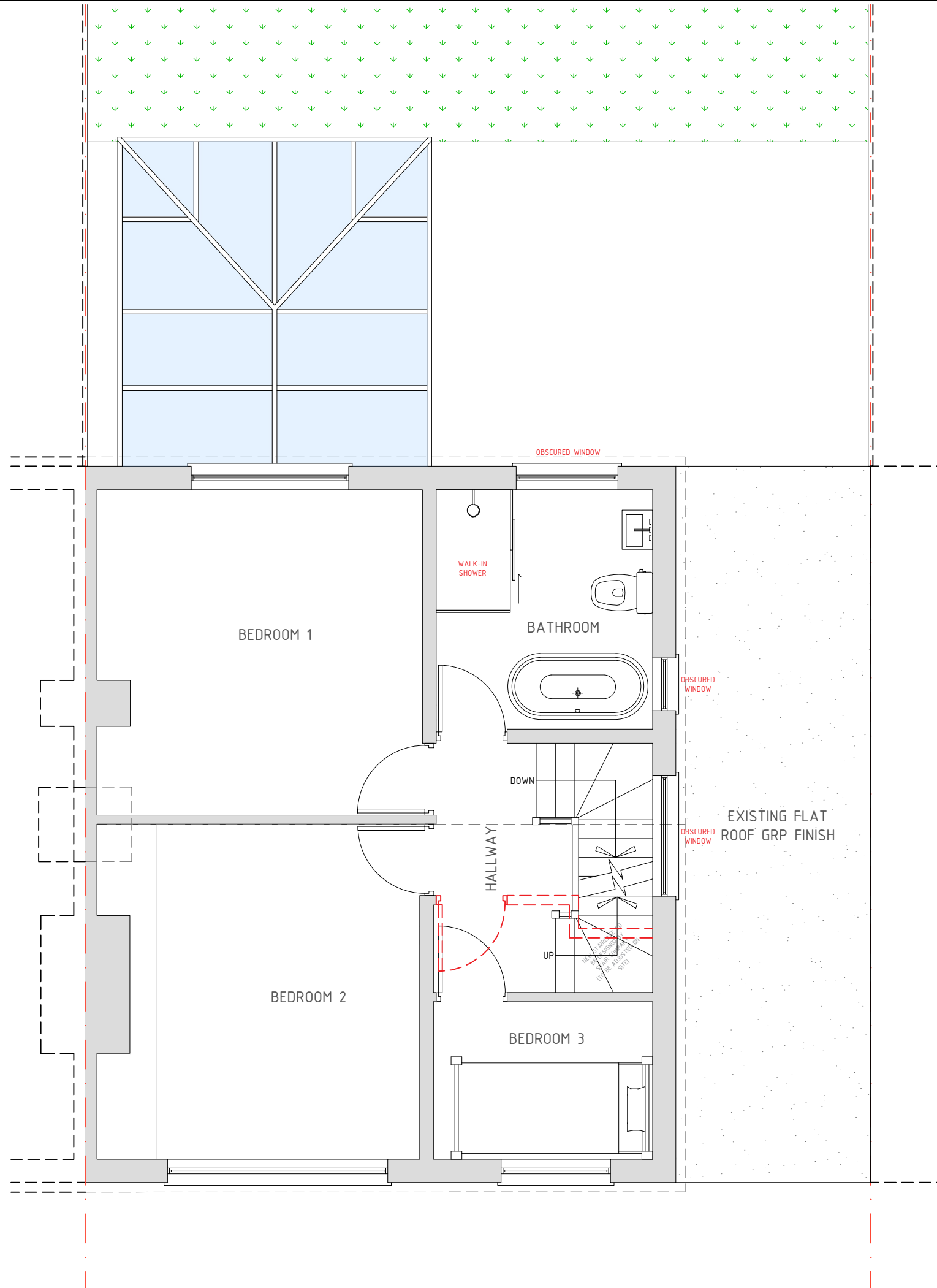
Site :
5 East Mead,
Ruislip,
HA4 9HJ

Project Title :
Proposal for a Hip-to-Gable &
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Planning Application

Client :
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Project Ref No : ABP-EMR5-01	Sheet No : P-4
Date : March 2026	Drawn By : ABP
Scale : 1:50 @ A-3	

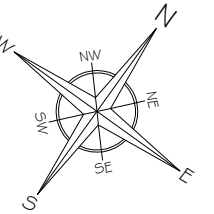


SCALE: 1:50 2.5m

FIRST FLOOR

PROPOSED FLOOR PLANS
Scale: 1/50

GENERAL NOTES:



No	Revision / Issue	Date
A	Issue For Approval	03/26

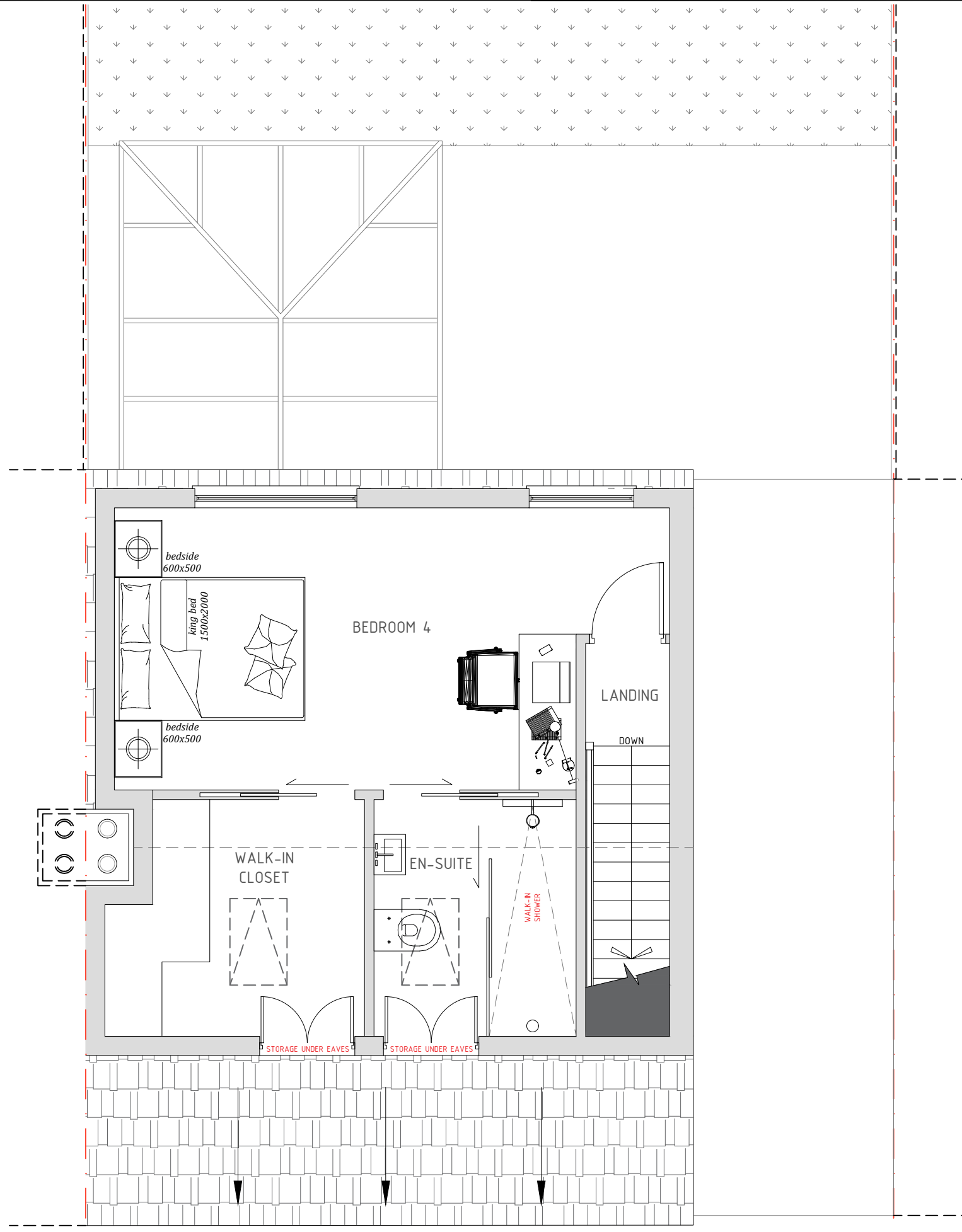
Site :
5 East Mead,
Ruislip,
HA4 9HJ

Project Title :
Proposal for a Hip-to-Gable &
Rear Loft Dormer Extension,
along with Internal
Re-Configuration Under
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Planning Application

Client :
Mrs Jaymini Patel
5 East Mead,
Ruislip,
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Project Ref No : ABP-EMR5-01	Sheet No : P-5
Date : March 2026	Drawn By : ABP
Scale : 1:50 @ A-3	

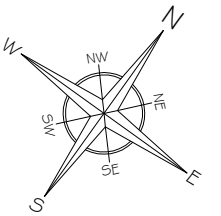


SCALE: 1:50 2.5m

LOFT FLOOR

PROPOSED FLOOR PLANS
Scale: 1/50

GENERAL NOTES:



A	Issue For Approval	03/26
No	Revision / Issue	Date

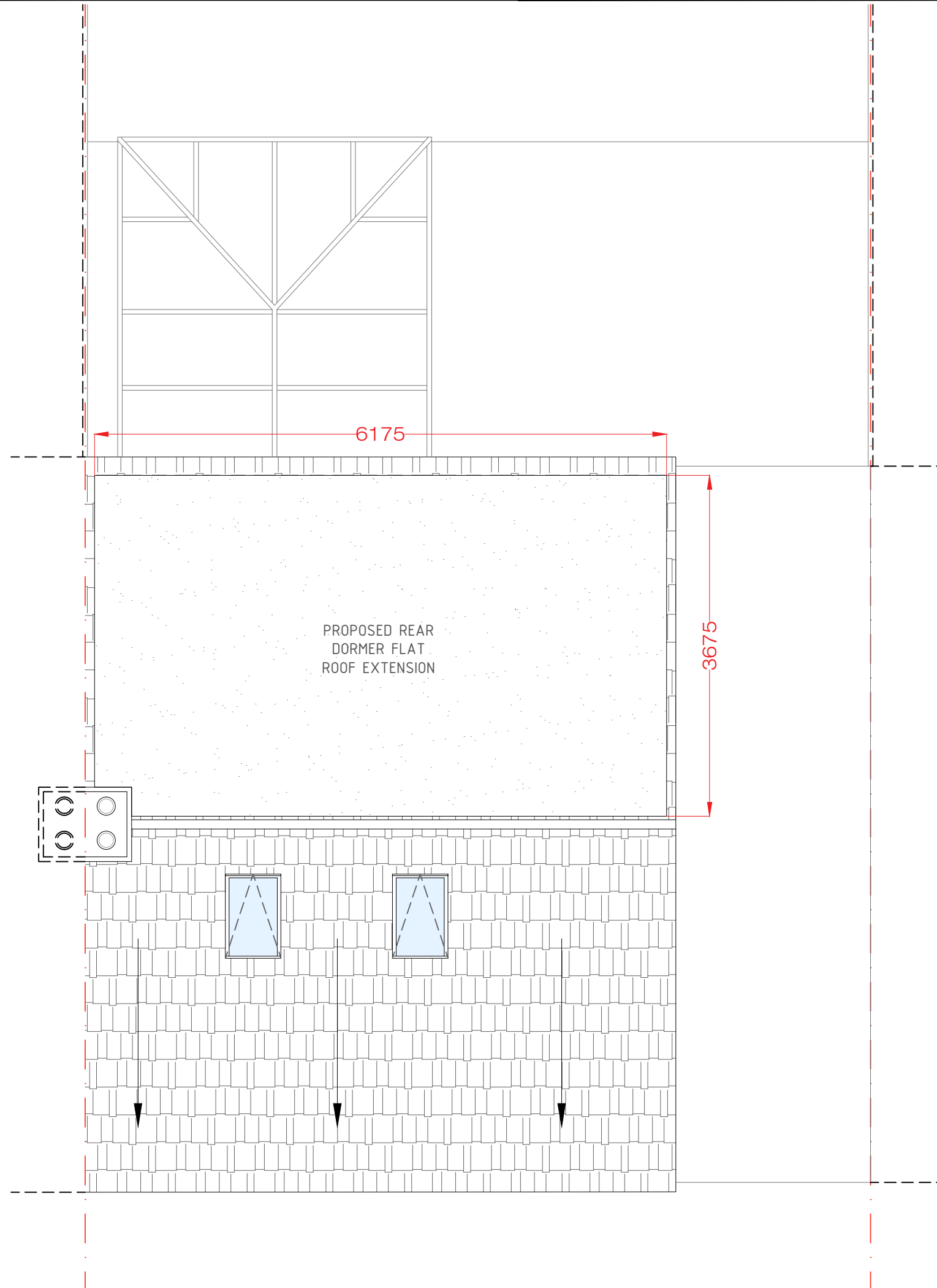
Site :
5 East Mead,
Ruislip,
HA4 9HJ

Project Title :
Proposal for a Hip-to-Gable &
Rear Loft Dormer Extension,
along with Internal
Re-Configuration Under
Certificate of Lawfulness
Planning Application

Client :
Mrs Jaymini Patel
5 East Mead,
Ruislip,
HA4 9HJ

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Project Ref No : ABP-EMR5-01	Sheet No : P-6
Date : March 2026	Drawn By : ABP
Scale : 1:50 @ A-3	



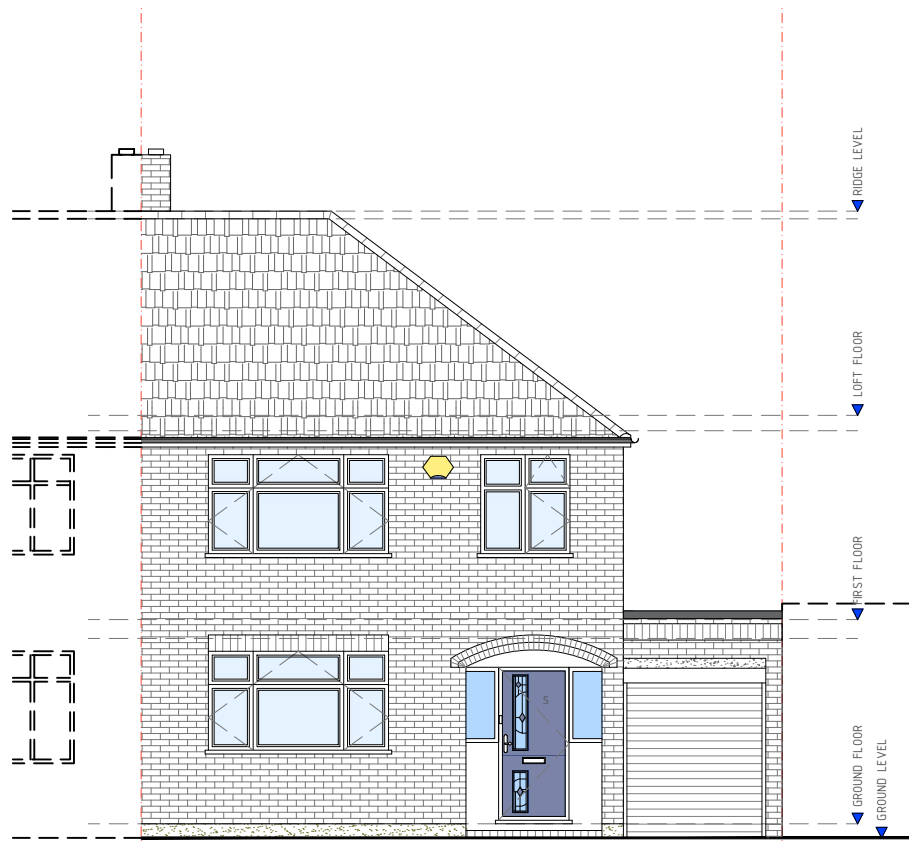
ROOF PLAN

PROPOSED FLOOR PLANS
Scale: 1/50

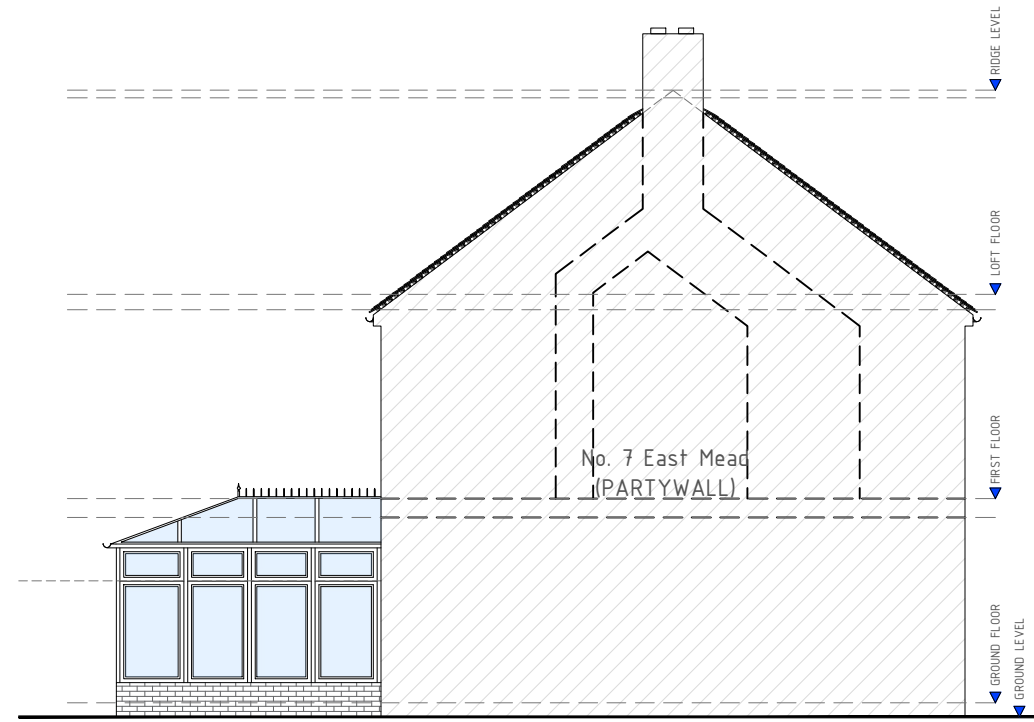
SCALE: 1:50 2.5m

GENERAL NOTES:

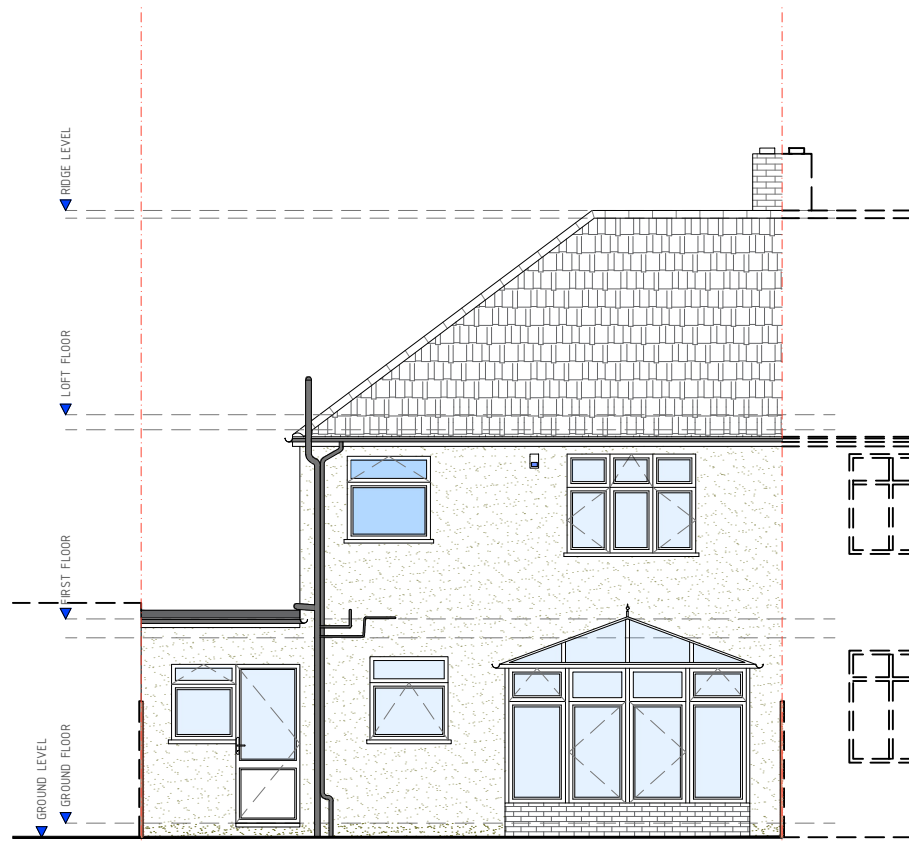
- THIS DRAWING IS READ IN CONJUNCTION WITH P-2 (ELEVATION INDICATION PLANS & EXTENSION AREA)



FRONT ELEVATION (A)



FLANK ELEVATION (B)
[LEFT SIDE]



REAR ELEVATION (C)



FLANK ELEVATION (D)
[RIGHT SIDE]

SCALE: 1:100

EXISTING ELEVATIONS
Scale: 1/100

A	Issue For Approval	03/26
No	Revision / Issue	Date

Site :
5 East Mead,
Ruislip,
HA4 9HJ

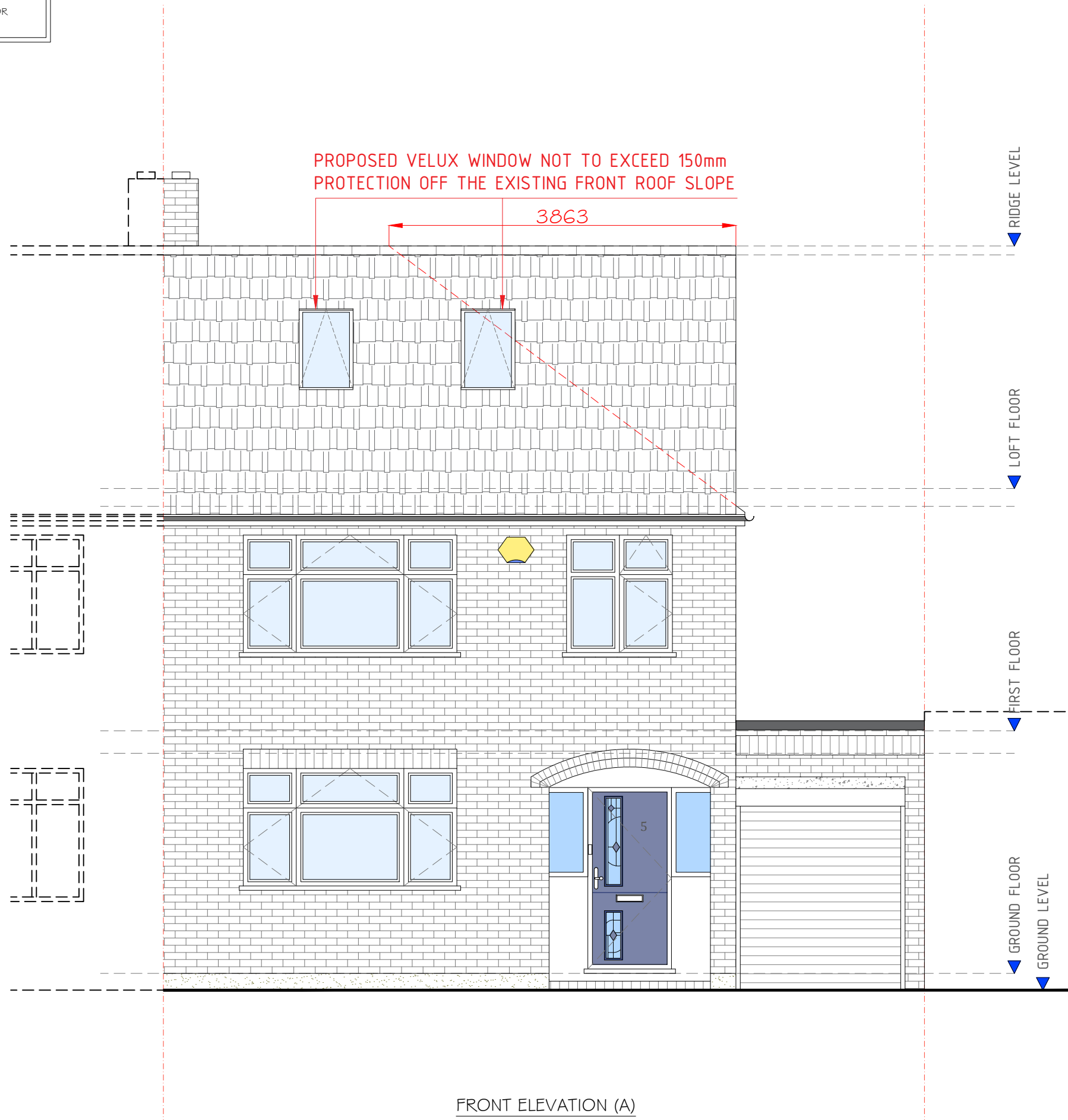
Project Title :
Proposal for a Hip-to-Gable &
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Planning Application

Client :
Mrs Jaymini Patel
5 East Mead,
Ruislip,
HA4 9HJ

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Project Ref No : ABP-EMR5-01	Sheet No : P-7
Date : March 2026	Drawn By : ABP
Scale : 1:100 @ A-3	

GENERAL NOTES:
REFER TO DRAWING P-2 FOR
ELEVATION INDICATIONS



FRONT ELEVATION (A)

SCALE: 1:50 2.5m

VOLUME CALCULATION FOR LOFT CONVERSION:

WE OBSERVE THAT THE PERMITTED VOLUME SET UNDER THE GDPO FOR THIS PROPERTY (A SEMI-DETACHED PROPERTY) = $50m^3$.

COMPLIANCE IS THEREFORE ACHIEVED WHERE VOLUME OF THE HIP-TO-GABLE CONVERSION + VOLUME OF REAR DORMER IS NO GREATER THAN $50m^3$.

CALCULATION 1:
VOLUME OF HIP-TO-GABLE CONVERSION = VOLUME OF A PYRAMID
VOLUME OF HIP-TO-GABLE CONVERSION = $((2.7 \times 7.73) / 2) \times 3.86 / 3 = 13.43m^3$

CALCULATION 2:
VOLUME OF DORMER = VOLUME OF TRIANGULAR PRISM
VOLUME OF DORMER = $(2.7 \times 3.68) / 2 \times 6.17 = 30.65m^3$

TOTAL VOLUME OF PROPOSED DEVELOPMENT:
VOLUME OF HIP-TO-GABLE CONVERSION + VOLUME OF DORMER = $13.43m^3 + 30.65m^3 = 44.08m^3$

CONCLUSION:
TOTAL VOLUME DOES NOT EXCEED $50m^3$. THEREFORE THE PROPOSED DEVELOPMENT FALLS WITHIN THE VOLUME STANDARDS SET IN THE GDPO.



GENERAL NOTES:

DEPARTMENT FOR COMMUNITIES & LOCAL GOVERNMENT, 'Permitted Development for Householders'. Loft Conversion to Comply with the mention document & is noted in the points below:

1) Ref: 'Class B, B.1 (a)', Works on the Loft Dormer will NOT exceed the highest part of the existing roof.

2) Ref: 'Class B, B.1 (c)', The cubic content of the resulting roof space would exceed the cubic of the original roof space by more than (i) 50 cubic metres in the case of a detached house. In this case we are achieving $44.08m^3$ within the requirements.

3) Ref: 'Class B, B.2 (a), point 1', Flat roof of dormer windows will not have any visual impact, so Lead will be used for the flat roof of the dormer.

4) Ref: 'Class B, B.2 (b), (aa)', The eaves of the original roof maintained and NOT altered in any way.

5) Ref: 'Class B, B.2 (b), (bb)', 200mm will be achieved from the outside edge of the eaves, to comply with the minimum 20cm requirement for a rear loft extension.

6) Ref: 'Class C, C.1 (a)', New skylight windows will be inserted on the existing loft roof slope, which will NOT exceed over 150mm beyond the plane of the slope.

No	Revision / Issue	Date
A	Issue For Approval	03/26

Site :

5 East Mead,
Ruislip,
HA4 9HJ

Project Title :

Proposal for a Hip-to-Gable & Rear Loft Dormer Extension, along with Internal Re-Configuration Under Certificate of Lawfulness Planning Application

Client :

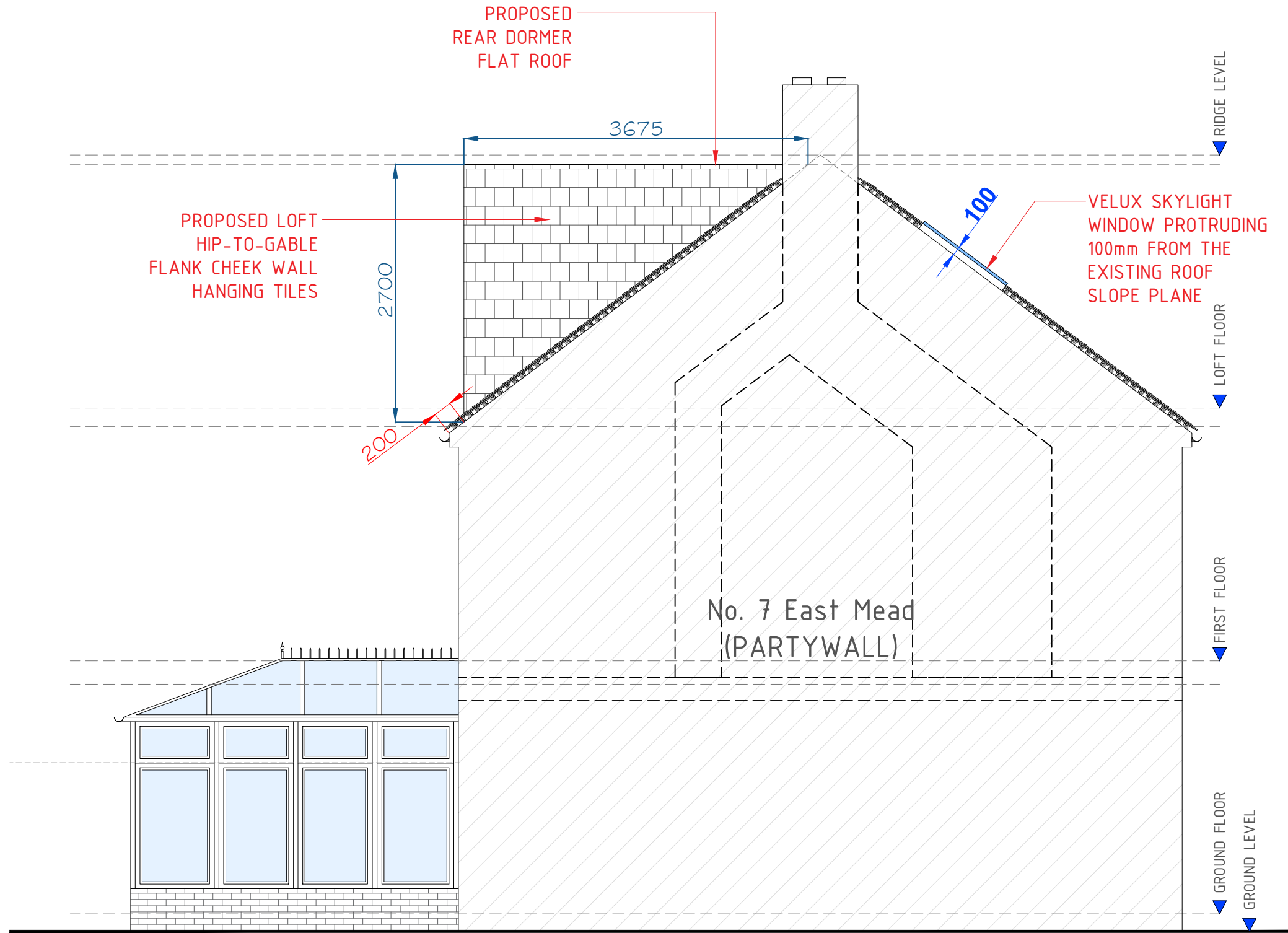
Mrs Jaymini Patel
5 East Mead,
Ruislip,
HA4 9HJ

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Project Ref No :	Sheet No :
ABP-EMR5-01	P-8
Date : March 2026	Drawn By : ABP
Scale : 1:50 @ A-3	

PROPOSED ELEVATIONS
Scale: 1/50

GENERAL NOTES:
REFER TO DRAWING P-2 FOR
ELEVATION INDICATIONS



FLANK ELEVATION (B)
[LEFT SIDE]

SCALE: 1:50 2.5m

VOLUME CALCULATION FOR LOFT CONVERSION:

WE OBSERVE THAT THE PERMITTED VOLUME SET UNDER THE GDPO FOR THIS PROPERTY (A SEMI-DETACHED PROPERTY) = 50m³.

COMPLIANCE IS THEREFORE ACHIEVED WHERE VOLUME OF THE HIP-TO-GABLE CONVERSION + VOLUME OF REAR DORMER IS NO GREATER THAN 50m³.

CALCULATION 1:
VOLUME OF HIP-TO-GABLE CONVERSION = VOLUME OF A PYRAMID
VOLUME OF HIP-TO-GABLE CONVERSION = $((2.7 \times 7.73) / 2) \times 3.86 / 3 = 13.43\text{m}^3$

CALCULATION 2:
VOLUME OF DORMER = VOLUME OF TRIANGULAR PRISM
VOLUME OF DORMER = $(2.7 \times 3.68) / 2 \times 6.17 = 30.65\text{m}^3$

TOTAL VOLUME OF PROPOSED DEVELOPMENT:
VOLUME OF HIP-TO-GABLE CONVERSION + VOLUME OF DORMER = $13.43\text{m}^3 + 30.65\text{m}^3 = 44.08\text{m}^3$

CONCLUSION:
TOTAL VOLUME DOES NOT EXCEED 50m³. THEREFORE THE PROPOSED DEVELOPMENT FALLS WITHIN THE VOLUME STANDARDS SET IN THE GDPO.



GENERAL NOTES:

DEPARTMENT FOR COMMUNITIES & LOCAL GOVERNMENT, 'Permitted Development for Householders'. Loft Conversion to Comply with the mention document & is noted in the points below:

1) Ref: 'Class B, B.1 (a)', Works on the Loft Dormer will NOT exceed the highest part of the existing roof.

2) Ref: 'Class B, B.1 (c)', The cubic content of the resulting roof space would exceed the cubic of the original roof space by more than (i) 50 cubic metres in the case of a detached house. In this case we are achieving 44.08m³ within the requirements.

3) Ref: 'Class B, B.2 (a), point 1', Flat roof of dormer windows will not have any visual impact, so Lead will be used for the flat roof of the dormer.

4) Ref: 'Class B, B.2 (b), (aa)', The eaves of the original roof maintained and NOT altered in any way.

5) Ref: 'Class B, B.2 (b), (bb)', 200mm will be achieved from the outside edge of the eaves, to comply with the minimum 20cm requirement for a rear loft extension.

6) Ref: 'Class C, C.1 (a)', New skylight windows will be inserted on the existing loft roof slope, which will NOT exceed over 150mm beyond the plane of the slope.

A	Issue For Approval	03/26
No	Revision / Issue	Date

Site :
5 East Mead,
Ruislip,
HA4 9HJ

Project Title :
Proposal for a Hip-to-Gable & Rear Loft Dormer Extension, along with Internal Re-Configuration Under Certificate of Lawfulness Planning Application

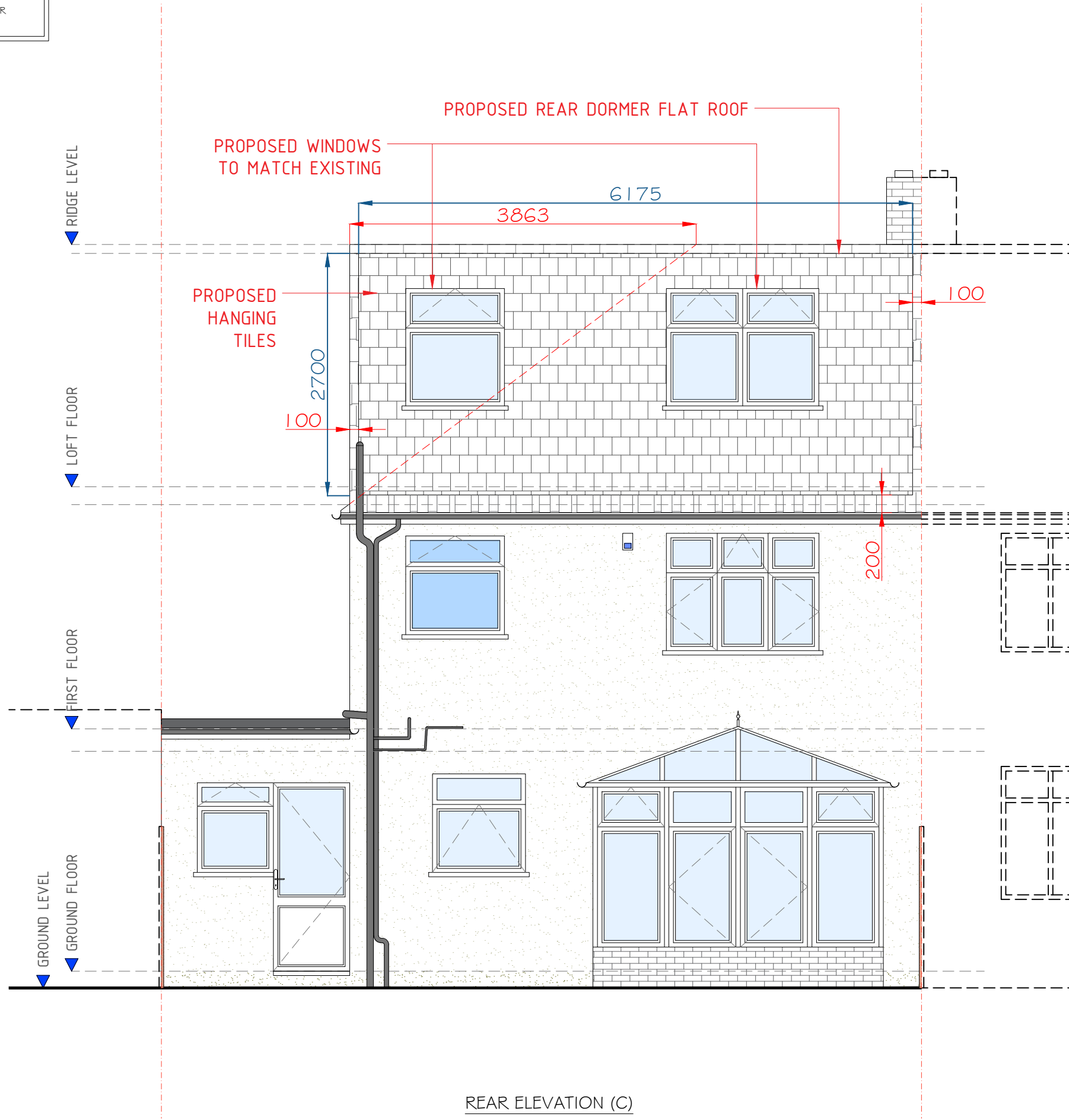
Client :
Mrs Jaymini Patel
5 East Mead,
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Project Ref No : ABP-EMR5-01	Sheet No : P-9
Date : March 2026	Drawn By : ABP
Scale : 1:50 @ A-3	

PROPOSED ELEVATIONS
Scale: 1/50

GENERAL NOTES:
REFER TO DRAWING P-2 FOR
ELEVATION INDICATIONS



REAR ELEVATION (C)

SCALE: 1:50

VOLUME CALCULATION FOR LOFT CONVERSION:

WE OBSERVE THAT THE PERMITTED VOLUME SET UNDER THE GDPO FOR THIS PROPERTY (A SEMI-DETACHED PROPERTY) = $50m^3$.

COMPLIANCE IS THEREFORE ACHIEVED WHERE VOLUME OF THE HIP-TO-GABLE CONVERSION + VOLUME OF REAR DORMER IS NO GREATER THAN $50m^3$.

CALCULATION 1:
VOLUME OF HIP-TO-GABLE CONVERSION = VOLUME OF A PYRAMID
VOLUME OF HIP-TO-GABLE CONVERSION = $((2.7 \times 7.73) / 2) \times 3.86 = 13.43m^3$

CALCULATION 2:
VOLUME OF DORMER = VOLUME OF TRIANGULAR PRISM
VOLUME OF DORMER = $(2.7 \times 3.68) / 2 \times 6.17 = 30.65m^3$

TOTAL VOLUME OF PROPOSED DEVELOPMENT:
VOLUME OF HIP-TO-GABLE CONVERSION + VOLUME OF DORMER = $13.43m^3 + 30.65m^3 = 44.08m^3$

CONCLUSION:
TOTAL VOLUME DOES NOT EXCEED $50m^3$. THEREFORE THE PROPOSED DEVELOPMENT FALLS WITHIN THE VOLUME STANDARDS SET IN THE GDPO.



GENERAL NOTES:

DEPARTMENT FOR COMMUNITIES & LOCAL GOVERNMENT, 'Permitted Development for Householders'. Loft Conversion to Comply with the mention document & is noted in the points below:

- 1) Ref: 'Class B, B.1 (a)', Works on the Loft Dormer will NOT exceed the highest part of the existing roof.
- 2) Ref: 'Class B, B.1 (c)', The cubic content of the resulting roof space would exceed the cubic of the original roof space by more than (i) 50 cubic metres in the case of a detached house. In this case we are achieving $44.08m^3$ within the requirements.
- 3) Ref: 'Class B, B.2 (a), point 1', Flat roof of dormer windows will not have any visual impact, so Lead will be used for the flat roof of the dormer.
- 4) Ref: 'Class B, B.2 (b), (aa)', The eaves of the original roof maintained and NOT altered in any way.
- 5) Ref: 'Class B, B.2 (b), (bb)', 200mm will be achieved from the outside edge of the eaves, to comply with the minimum 20cm requirement for a rear loft extension.
- 6) Ref: 'Class C, C.1 (a)', New skylight windows will be inserted on the existing loft roof slop, which will NOT exceed over 150mm beyond the plane of the slope.

A	Issue For Approval	03/26
No	Revision / Issue	Date

Site :
5 East Mead,
Ruislip,
HA4 9HJ

Project Title :
Proposal for a Hip-to-Gable & Rear Loft Dormer Extension, along with Internal Re-Configuration Under Certificate of Lawfulness Planning Application

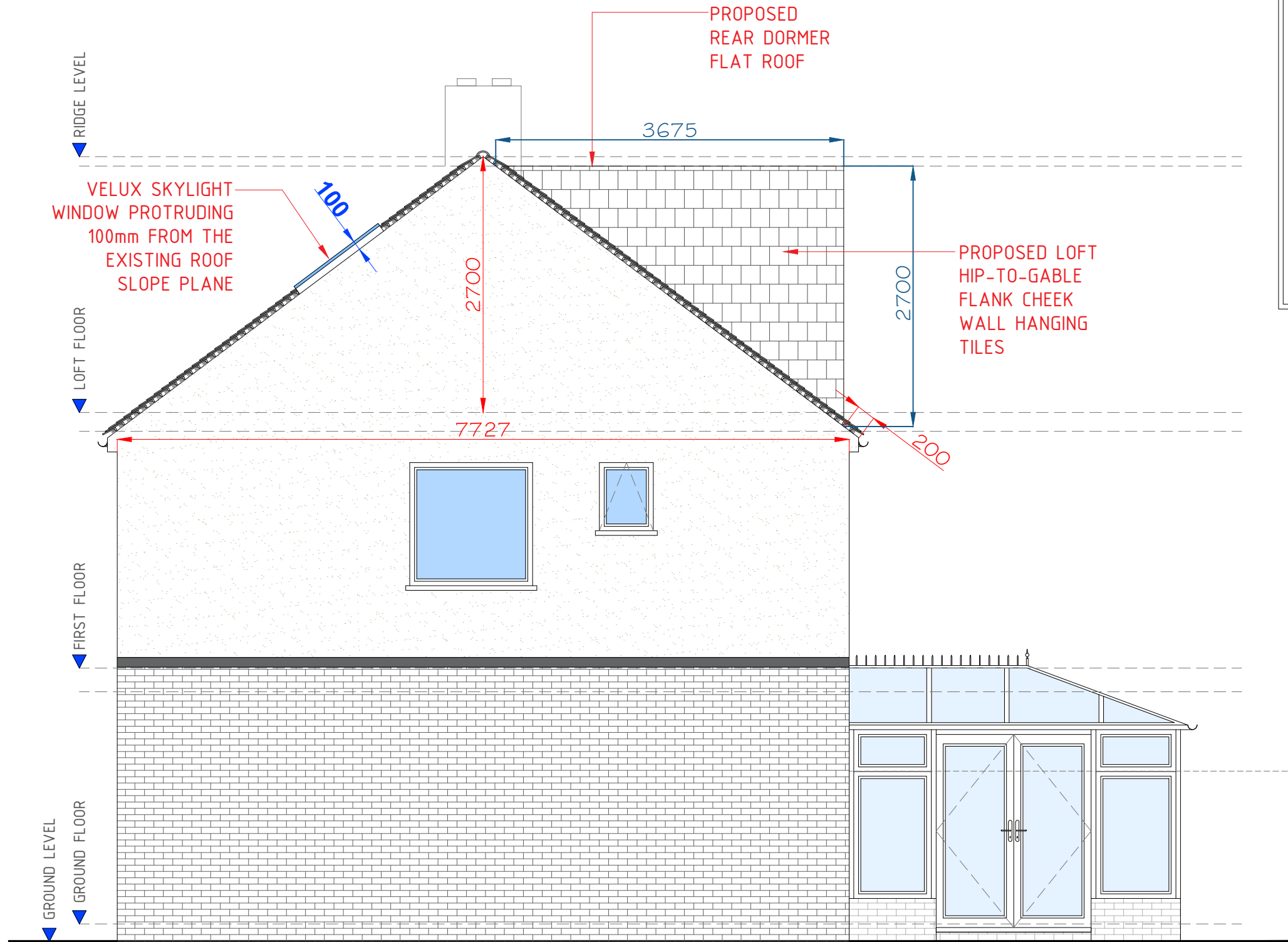
Client :
Mrs Jaymini Patel
5 East Mead,
Ruislip,
HA4 9HJ

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Project Ref No : ABP-EMR5-01	Sheet No : P-10
Date : March 2026	Drawn By : ABP
Scale : 1:50 @ A-3	

PROPOSED ELEVATIONS
Scale: 1/50

GENERAL NOTES:
REFER TO DRAWING P-2 FOR
ELEVATION INDICATIONS



FLANK ELEVATION (D)
[RIGHT SIDE]

SCALE: 1:50 2.5m

VOLUME CALCULATION FOR LOFT CONVERSION:

WE OBSERVE THAT THE PERMITTED VOLUME SET UNDER THE GDPO FOR THIS PROPERTY (A SEMI-DETACHED PROPERTY) = $50m^3$.

COMPLIANCE IS THEREFORE ACHIEVED WHERE VOLUME OF THE HIP-TO-GABLE CONVERSION + VOLUME OF REAR DORMER IS NO GREATER THAN $50m^3$.

CALCULATION 1:
VOLUME OF HIP-TO-GABLE CONVERSION = VOLUME OF A PYRAMID
VOLUME OF HIP-TO-GABLE CONVERSION = $((2.7 \times 7.73) / 2) \times 3.86 / 3 = 13.43m^3$

CALCULATION 2:
VOLUME OF DORMER = VOLUME OF TRIANGULAR PRISM
VOLUME OF DORMER = $(2.7 \times 3.68) / 2 \times 6.17 = 30.65m^3$

TOTAL VOLUME OF PROPOSED DEVELOPMENT:
VOLUME OF HIP-TO-GABLE CONVERSION + VOLUME OF DORMER = $13.43m^3 + 30.65m^3 = 44.08m^3$

CONCLUSION:
TOTAL VOLUME DOES NOT EXCEED $50m^3$. THEREFORE THE PROPOSED DEVELOPMENT FALLS WITHIN THE VOLUME STANDARDS SET IN THE GDPO.



GENERAL NOTES:

DEPARTMENT FOR COMMUNITIES & LOCAL GOVERNMENT, 'Permitted Development for Householders'. Loft Conversion to Comply with the mention document & is noted in the points below:

- 1) Ref: 'Class B, B.1 (a)', Works on the Loft Dormer will NOT exceed the highest part of the existing roof.
- 2) Ref: 'Class B, B.1 (c)', The cubic content of the resulting roof space would exceed the cubic of the original roof space by more than (i) 50 cubic metres in the case of a detached house. In this case we are achieving $44.08m^3$ within the requirements.
- 3) Ref: 'Class B, B.2 (a), point 1', Flat roof of dormer windows will not have any visual impact, so Lead will be used for the flat roof of the dormer.
- 4) Ref: 'Class B, B.2 (b), (aa)', The eaves of the original roof maintained and NOT altered in any way.
- 5) Ref: 'Class B, B.2 (b), (bb)', 200mm will be achieved from the outside edge of the eaves, to comply with the minimum 20cm requirement for a rear loft extension.
- 6) Ref: 'Class C, C.1 (a)', New skylight windows will be inserted on the existing loft roof slope, which will NOT exceed over 150mm beyond the plane of the slope.

A	Issue For Approval	03/26
No	Revision / Issue	Date

Site :
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Project Ref No : ABP-EMR5-01	Sheet No : P-11
Date : March 2026	Drawn By : ABP
Scale : 1:50 @ A-3	

PROPOSED ELEVATIONS
Scale: 1/50