

**Hillingdon Hospital, Pield Heath Road, Uxbridge,
UB8 3NN**

Planning Statement

Date of report: 5 June 2026

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1. Introduction

- 1.1 This Planning Statement has been prepared by Savills UK Ltd ('Savills Planning') on behalf of the Applicant, The Hillingdon Hospitals NHS Foundation Trust (subsequently referred to as 'the Trust') to submit a planning application for the following development:

"Relocation of Same Day Emergency Care from the 'Lister Building' to the 'Podium Building'. Internal alterations and provision of Air Handling Unit to roof level to the 'Podium Building'."

- 1.2 This Planning Statement has been prepared following an examination of the site and its surroundings, research into the relevant planning history for the site and an examination of adopted and emerging planning policy. This Statement provides background information on the site and an assessment of the proposals in relation to planning policy and other material considerations, set out under the following sections:

- **Section 2** outlines the site, its planning history and its context within the surrounding area;
- **Section 3** details the proposals;
- **Section 4** outlines the planning policy framework relevant to the determination of the application;
- **Section 5** undertakes assessment of the proposals taking account of the planning policy framework and
- **Section 6** draws conclusions in respect of the proposals.

- 1.3 This Planning Statement has been prepared in conjunction with, and should be read alongside, the following supporting documentation which is submitted in support of this planning application:

- **Existing and Proposed Plans**, prepared by Hunters;
- **Site Location Plan**, prepared by Hunters;
- **Design and Access Statement**, prepared by Hunters and
- **Noise Impact Assessment**, prepared by RSK Acoustics.

- 1.4 Planning permission has been granted for the redevelopment of the Hospital. In order for this to be implemented, a decant strategy has been developed which will enable the new hospital to be constructed. Relocating the Same Day Emergency Care (SDEC) from the Lister Building to the Podium Building will allow for the decanting works to take place for the hospital redevelopment, while ensuring that the Hospital continues to be able to deliver vital care for the Hospital users. This new plant is essential for the running of the SDEC in its new location but it will only be required until the new hospital is delivered and the services are transferred.

2. Site Background

Site and Surroundings

- 2.1 Hillingdon Hospital is located to the south of Pield Heath Road, bound by Royal Lane to the west, and Colham Green Road to the east. Hillingdon Hospital comprises a mix of hospital buildings scattered across the site, many of which are interconnected. The main hospital access and the A&E entrance are located along Pield Heath Road. There are a number of other vehicular entrances to the site from Royal Lane and from Colham Green Road.
- 2.2 Hillingdon Hospital is located within the urban area of Hillingdon and is not subject to any designations such as Green Belt or site allocations. It is not located within a conservation area.



Figure 1 – Aerial view of Hillingdon Hospital



Figure 2 – Roof of proposed relocated SDEC where the proposed Air Handling Unit will be located (indicated in red)

- 2.3 The Site is located within Flood Risk Zone 1 although identified at risk of fluvial flooding associated with an ordinary watercourse. On the east of the Site is a Grade II Listed Building, The Furze. The Furze Building was designated by Historic England as Grade II in 1974 (listing ref 1080153). The proposals do not seek to make changes or alterations to the Furze Building.

- 2.4 Currently, the Same Day Emergency Care (SDEC) is located in the Lister Ward, as identified in blue in the Figure below.

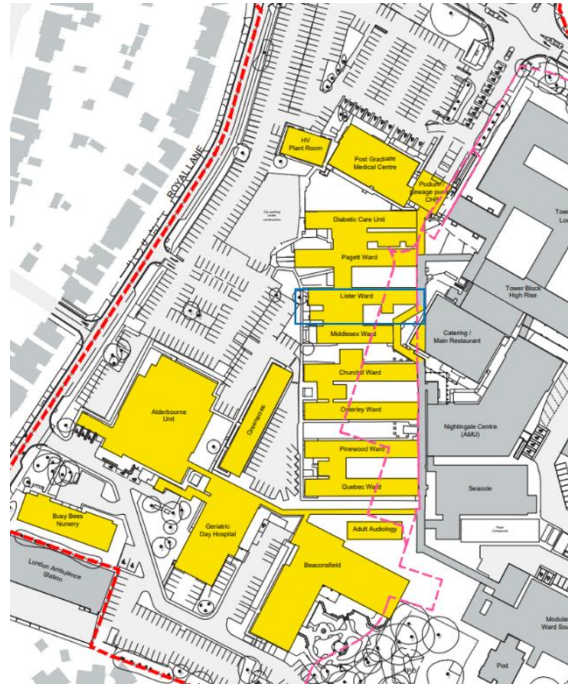


Figure 3 – Lister Ward indicated in blue where the Same Day Emergency Care is currently located

- 2.5 This application relates specifically to what is referred to as the 'Podium Building', where it is proposed that the SDEC will be relocated to. This comprises a ground floor which has been occupied by a gymnasium, physiotherapy and a waiting area. These facilities are going to be relocated within the estate, however, their relocation does not result in any external changes and therefore does not require planning permission. No changes are proposed to the first floor.



Figure 4 – View of the Podium Building from Pield Heath Road facing west



Figure 5 – View towards the Podium Building looking east on Pield Heath Road, with views of the building largely obscured by the building fronting the street



Figure 6 – Aerial view of the Hospital campus showing the current location of the SDEC in the Lister Building (indicated in blue) and the proposed location in the Podium Building (indicated in red)

- 2.6 The closest London Underground Station to Hillingdon Hospital is Uxbridge, which serves the Metropolitan and Piccadilly lines, approximately 3.7km to the north. There are also the National Rail and Crossrail services from West Drayton, approximately 2.7km to the southwest. The surrounding area around the hospital is served by a number of bus routes operating along Pield Heath Road, with the nearest stops near the main entrance in Pield Heath Road.

- 2.7 The hospital is situated in a predominantly residential area. To the west of the hospital along Royal Lane there are mainly two-storey detached and semi-detached residential properties, to the north west corner of the hospital lies a three storey flatted residential block rising to four storeys along Pield Heath Road. The few commercial uses in the area can be found on the corner of Pield Heath Road and Colham Green Road, and a few east of that intersection.

Planning History

- 2.8 The site has an extensive planning history associated with the ongoing operation and future redevelopment of Hillingdon Hospital. A full planning history is appended to this Planning Statement in **Appendix 1**. Of particular relevance to the current application are the following permissions.

Hillingdon Hospital Redevelopment

- 2.9 Planning permission ref. **4058/APP/2022/1788** was granted on **13 October 2023** for a hybrid redevelopment of Hillingdon Hospital comprising the demolition of existing buildings and redevelopment of the site to provide the new Hillingdon Hospital, together with associated infrastructure, landscaping and access works.
- 2.10 The new hospital will be constructed on the western side of the existing site. It involves the demolition of a series of existing buildings, some of which require their services to be relocated to the main estate buildings on the eastern part of the site. This is to ensure continuity of healthcare services throughout the construction programme. The current proposals form part of this wider decant strategy, facilitating the relocation of the Same Day Emergency Care (SDEC) department from the Lister Building to the Podium Building.

Previous Decant Works

- 2.11 Planning permission ref. **4058/APP/2024/1993** was granted on 17 September 2024 for the reconfiguration of the existing hospital restaurant, services, new corridor and storage building to enable the eastern boundary of the of the development site for the new hospital. This permission allows continuation of access and restaurant provision during construction.
- 2.12 Other projects include the Tudor Centre Extension, on site power diversions and refurbishment of the Furze to enable the decant programme.

Relevant Plant Infrastructure

- 2.13 More recently, planning permission ref. **4058/APP/2025/2479** was granted on 24 September 2025 for the installation of new plant and associated plant room enclosures adjacent to the Diabetic Care Extension. In addition, planning permission ref. **4058/APP/2025/781** was granted on 19 March 2025 for a single-storey extension to the hospital building to provide a Diabetic Care Ward, including associated rooftop structures.
- 2.14 These permissions demonstrate that plant equipment and associated servicing infrastructure have previously been approved within the hospital campus where required to support healthcare operations.

3. Proposal

- 3.1 The application seeks full planning permission for the provision of a new Air Handling Unit (AHU) and associated works at roof level of the existing Podium Building at Hillingdon Hospital. This is necessary to deliver internal alterations to facilitate the use of the space for the Same Day Emergency Care (SDEC) department.
- 3.2 The proposals form part of the Trust's wider hospital redevelopment and decant strategy. The relocation of SDEC from the Lister Building to the Podium Building is necessary to maintain continuity of essential healthcare services during this programme.
- 3.3 The development will only be in place until the new hospital is operational and delivering services.
- 3.4 The proposed development comprises the following key elements:
- Installation of a new Air Handling Unit (AHU) including condensers and ductwork at roof level of the existing Podium Building;
 - A lightweight access and maintenance platform, including handrails and step access;
 - 2 outdoor units servicing the AHU;
 - Internal alterations within the Podium Building to accommodate the relocated SDEC facility; and
 - Associated minor works to integrate the plant with existing building services infrastructure.
- 3.5 The AHU is required to provide appropriate mechanical ventilation to areas of the Podium Building which currently lacks sufficient servicing to meet modern healthcare standards.
- 3.6 The AHU will be located at roof level at the Podium Building adjacent to existing plant area. This has been selected following consideration of alternative options across the wider hospital campus.
- 3.7 The proposed AHU comprises a compact, triple stacked unit with a height of 3.5m (4.1m including the supporting frame), a width of 1.9m and a length of 5.2m. The equipment will be mounted on a steel support structure with an associated maintenance platform incorporating galvanised handrails and anti-slip grating.
- 3.8 The proposed plant and associated maintenance platform have been designed solely to meet the operational requirements of the relocated SDEC. The equipment will be viewed in the context of the wider hospital estate, which contains a range of rooftop plant and servicing infrastructure.
- 3.9 The proposals represent an interim solution required to facilitate the relocation of the SDEC department and support the Trust's wider redevelopment and decant strategy pending the delivery of the new hospital facilities.
- 3.10 The proposed development has been designed to minimise intervention to the existing building and will utilise existing infrastructure where possible. No changes are proposed to the building footprint and the majority of the works are internal in nature.

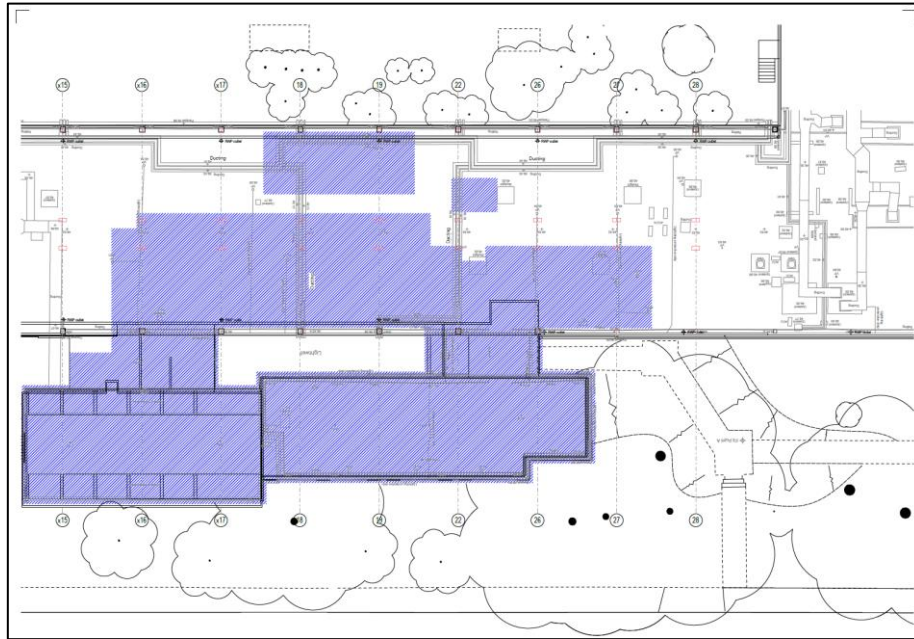


Figure 7 – Existing roof plan

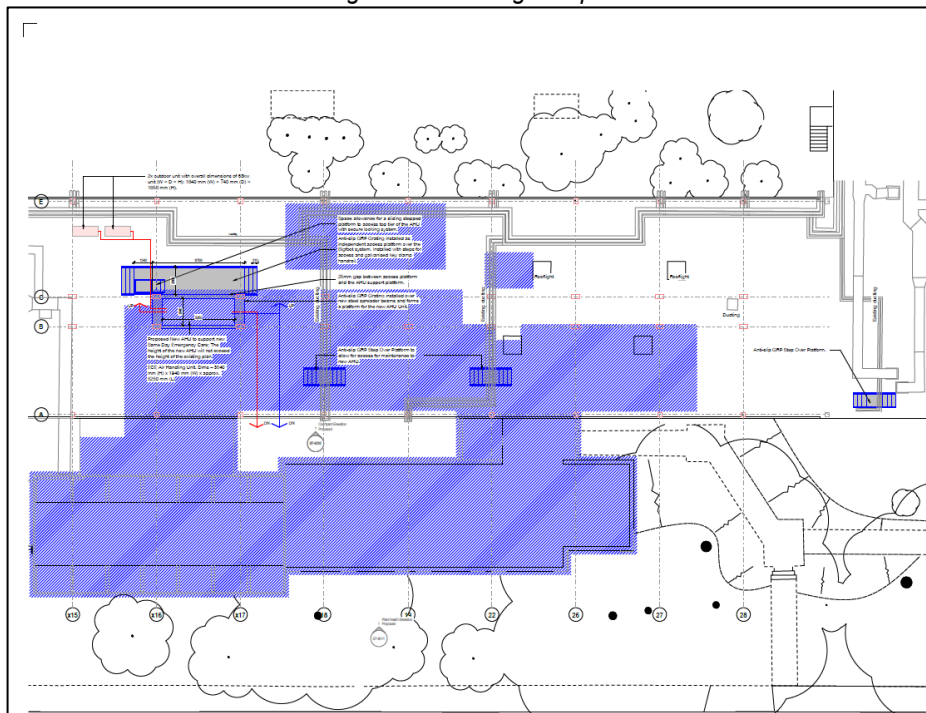


Figure 8 – Proposed roof plan showing the proposed new AHU and access platform

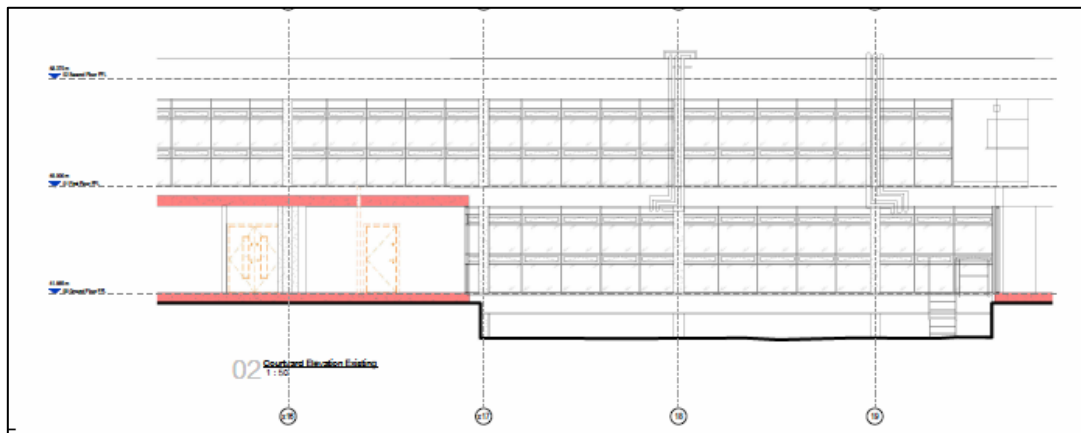


Figure 9 – Existing courtyard elevation of the Podium Building

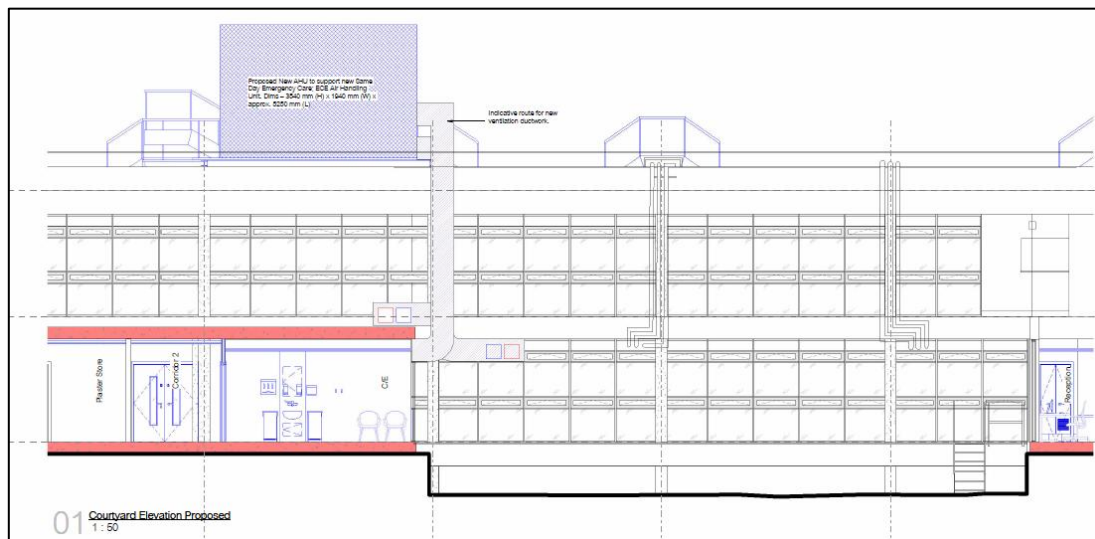


Figure 10 - Courtyard Elevation Proposed

- 3.11 The proposed AHU is essential for providing mechanical ventilation which is required for the SDEC. Various options have been examined in the preparation of this application. The proposed AHU is 3.5m in height, with a total height of just over 4m. Whilst the plant is of a notable height, it remains commensurate with the scale and height of existing rooftop plant, and integrates with the established roofscape.
- 3.12 Alternative solutions were explored which would result in a slight reduction in the overall height of the plant. However, this was considered to not be a viable option due to the potential of shutting down existing services to facilitate the works.

4. Planning Policy Context

- 4.1 The proposals for the Site have taken account of relevant national and local planning policy and guidance. This section of the Planning Statement sets out a brief summary of the relevant planning policy documents, whilst the following section demonstrates compliance with the policies contained within.

Policy Framework

- 4.2 Section 38 (6) of the Planning and Compulsory Purchase Act 2004 (as amended) requires that development proposals be determined in accordance with the Development Plan unless material considerations indicate otherwise.

Adopted 'Development Plan'

- 4.3 The adopted 'development plan' comprises the following:
- The London Plan ("LP") (March 2021)
 - The Hillingdon Local Plan: Part 1 - Strategic Policies ("LPP1") (November 2012)
 - The Hillingdon Local Plan: Part 2 - Development Management Policies ("LPP2") (January 2020)
 - The Hillingdon Local Plan: Part 2 - Site Allocations and Designations ("LPP2") (January 2020)
- 4.4 Other material considerations include:
- National Planning Policy Framework (NPPF) (December 2024) and
 - National Planning Practice Guidance (PPG).

National Planning Policy

- 4.5 The National Planning Policy Framework is also an important material planning consideration. This sets out the Government's planning policies for England and is a material consideration in determining planning applications. Chapter 8 of the NPPF concerns 'promoting healthy and safe communities'.
- 4.6 Paragraph 8 sets out that achieving sustainable development means that the planning system has three overarching objectives (economic, social and environmental). The social objective includes supporting strong, vibrant and healthy communities, with accessible services and open spaces that reflect current and future needs and support communities' health, social and cultural well-being.
- 4.7 Paragraph 101 seeks to ensure faster delivery of other public service infrastructure such as health, blue light, library, adult education, university and criminal justice facilities, local planning authorities should also work proactively and positively with promoters, delivery partners and statutory bodies to plan for required facilities and resolve key planning issues before applications are submitted. Significant weight should be placed on the importance of new, expanded or upgraded public service infrastructure when considering proposals for development.
- 4.8 Policy 128 states that: Local Planning Authorities should also take a positive approach to applications for alternative uses of land which is currently developed but not allocated for a specific purpose in plans, where this would help to meet identified development needs. In particular, they should support proposals to:

a) use retail and employment land for homes in areas of high housing demand, provided this would not undermine key economic sectors or sites or the vitality and viability of town centres, and would be compatible with other policies in this Framework; and

b) make more effective use of sites that provide community services such as schools and hospitals, provided this maintains or improves the quality of service provision and access to open space.

Regional Policy

- 4.9 The London Plan, provides the spatial development strategy for London which deals with matters of strategic importance to Greater London. The London Plan is based upon three principle purposes for the Greater London Area: promoting economic development, promoting social development, and promoting the improvement of the environment.

5. Planning Considerations

5.1 This section assesses the proposals against the national, regional and local planning policy framework and sets out the main planning issues.

1. **Principle of Development;**
2. **Design;**
3. **Neighbouring Amenity;**
4. **Sustainability;**
5. **Fire Safety and**
6. **Biodiversity.**

5.2 Each of these considerations are address in turn as follows:

1. Principle of Development

5.3 National, regional and local policy generally emphasises the importance of sustainable development in a way which protects the historical environment of the area.

5.4 London Plan Policy S2 states that development proposals that support the provision of high-quality new and enhanced health and social care facilities to meet identified need and new models of care should be supported, and that new facilities should be easily accessible by public transport, cycling and walking.

5.5 The proposal relates to the continued use and enhancement of an existing, operational hospital site to support the delivery of essential healthcare services. The development comprises the relocation of the Same Day Emergency Care (SDEC) department from the Lister Building to the Podium Building, alongside the installation of associated plant infrastructure required to enable its operation.

5.6 The proposals arise directly from the wider redevelopment plans for Hillingdon Hospital, which necessitates a programme of decanting to ensure continuity of clinical services throughout the construction period.

5.7 The proposal will maintain the uninterrupted provision of urgent and emergency healthcare services, enable the timely delivery of the wider redevelopment project and avoid disruption to patient care and hospital operations during construction.

5.8 In addition, the plant will accommodate essential mechanical and electrical equipment required to service the relocated SDEC, improving the efficiency and resilience of the hospital's infrastructure. By providing modern plant equipment to support heating, cooling, ventilation and other services, the proposals are expected to contribute positively to the sustainability objectives within London Plan Policy GG6 and therefore the principle of development is considered to be acceptable.

2. Design

5.9 Policy D4 of the London Plan emphasises good design and quality throughout the planning process to maintain design integrity from conception to completion.

- 5.10 Policy BE1 *Built Environment* of the Hillingdon Local Plan Part 1 and Policy DMHB11 *Design of New Development* of the Local Plan Part 2 seek to ensure that development achieves a high standard of design and responds appropriately to its surroundings.
- 5.11 There are internal works required to relocate the SDEC and these will have no impact on the external appearance of the building, nor would they typically be required planning permission.
- 5.12 Externally, the proposals comprise the installation of a new AHU, condensers, ductwork and associated maintenance platform within an existing rooftop plant area on the Podium Building.
- 5.13 The AHU has been positioned within an established servicing area at roof level following consideration of alternative locations across the wider hospital campus. The proposed equipment is compact in form, measuring approximately 3.5m in height (4.1m including the support frame), 1.9m in width and 5.2m in length. Whilst partially visible from certain viewpoints, the development will be read within the context of the existing hospital estate, which contains a variety of large-scale buildings and associated plant infrastructure.



Figure 11 – The AHU (indicated in shaded orange) will be partially visible from Pield Heath Road, however, this is in keeping with the character of the existing Hospital campus and will only be in place to allow the redevelopment works to take place

Streetscene: The new AHU is not visible from the junction of Pield Heath Road and the hospital's main entrance road.

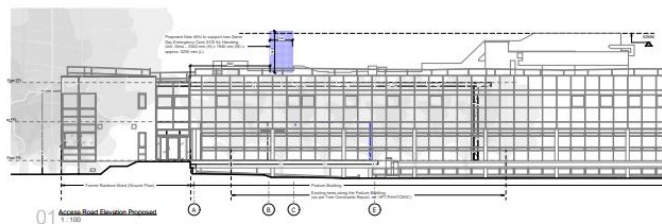


Figure 12 – Extract from the DAS shows that the AHU will not be visible from the junction of Pield Heath Road and the hospital's main entrance

- 5.14 As shown in the figures above, the AHU will be partially visible from some locations, but the building's set back nature means that it is not visible from all positions on the surrounding public roads.

- 5.15 The nearest residential properties are located to the north side of Pield Heath Road. These are located a significant distance from the proposed plant and there are a number of mature trees lining the road which would obscure views of the proposed plant.



Figure 13 – The nearest residential properties are located a significant distance from the proposed plant and there are a number of mature trees obscuring views to the Hospital

- 5.16 It is also important to note that the new plant will be a similar height to the existing plant located further east on the Podium Building and therefore this does not break an established building line along the roofscape.



Figure 14 – The proposed AHU will be a similar height to the existing plant located further east on the Podium Building

- 5.17 In terms of the design and visual appearance of the AHU, the equipment would be read as typical building services infrastructure, characterised by functional plant units and associated ductwork at roof level. The plant is of a comparable height to existing rooftop plant across the hospital estate and would be perceived within the context of an established roofscape containing similar utilitarian equipment.
- 5.18 The proposed plant equipment is functional in nature and has been designed solely to meet operational requirements. Given its location within an existing rooftop plant area and its relationship with the surrounding hospital buildings, the development will not appear inappropriate or result in unacceptable harm to the character or appearance of the site or wider area.
- 5.19 Furthermore, the development should be considered in the context of its enabling role in supporting the wider hospital redevelopment programme. The proposed works represent an interim solution

required to facilitate the relocation of the SDEC department pending delivery of the new hospital facilities.

- 5.20 The development is therefore temporary in nature and is only required for the duration necessary to facilitate the redevelopment of Hillingdon Hospital. Any limited visual impacts are therefore outweighed by the significant public benefits associated with maintaining healthcare provision and facilitating the redevelopment of Hillingdon Hospital.
- 5.21 The proposals are consistent with Local Plan Policies DMHB 11 and 12, which support development that is in character with the existing townscape and does not detract from visual amenity. The proposals are therefore considered acceptable in design terms.

3. Neighbouring Amenity

- 5.22 London Plan Policy D14 (Noise) sets out that noise impacts should be reduced, managed and mitigated by avoiding significant impact adverse noise impact on health and quality of life, and minimise the existing and potential adverse impacts of noise in the vicinity of new development.
- 5.23 Policy EM8 *Land, Water, Air and Noise* of the Hillingdon Local Plan Part 1 and Policy DMHB11 *Design of New Development* of the Hillingdon Local Plan Part 2 seek to ensure that development safeguards the amenity of existing and future occupiers.
- 5.24 The proposed internal alterations will have no impact on neighbouring properties. Externally, the development is limited to the installation of rooftop plant equipment and associated servicing infrastructure.
- 5.25 A detailed Plant Noise Assessment has been prepared by RSK Acoustics in support of the application. The assessment identifies the nearest off-site noise-sensitive receptors as residential properties on Pield Heath Road, located approximately 48m north of the proposed plant installation. The assessment also notes that the existing acoustic environment is dominated by road traffic noise associated with Pield Heath Road, Royal Lane and Colham Green Road, together with aircraft activity associated with Heathrow Airport.
- 5.26 The assessment demonstrates that, following the incorporation of the proposed acoustic attenuation measures, the predicted plant noise level at the nearest residential receptors will be 28 dB(A) during both daytime and night-time periods. This is significantly below the adopted noise limits of 44 dB(A) during the daytime and 36 dB(A) during the night-time period. The assessment concludes that the proposed plant installation will not exceed the established noise limits at nearby residential receptors and therefore will not give rise to unacceptable noise impacts.
- 5.27 There are a range of mitigation measures that have been incorporated into the plant design to ensure that noise emissions are maintained at acceptable levels. In particular, attenuators (silencers) are integrated within the supply and extract ventilation systems, including units fitted to both the fresh air intake and exhaust discharge. These attenuators are designed to provide significant insertion loss across a range of frequencies, thereby reducing noise as it is transmitted through the ductwork to the external environment.
- 5.28 It is noted that without these mitigations, the plant operation would exceed the relevant noise limits at nearby receptors. The Applicant is happy to agree a suitably worded condition which ensures that the mitigation measures are implemented in line with the plant being in operation.
- 5.29 It is also worth noting that, owing to the nature and location of the proposed works, the development will not result in overlooking, loss of privacy, loss of daylight, overshadowing or any overbearing impact upon neighbouring occupiers.
- 5.30 The development therefore preserves neighbouring amenity and accords with the requirements of the Development Plan.

4. Sustainability

- 5.31 Policy EM1 *Climate Change Adaptation and Mitigation* of the Hillingdon Local Plan Part 1 seeks to support development that contributes towards climate change mitigation and adaptation, whilst London Plan Policy GG6 *Increasing Efficiency and Resilience*, encourages development that improves the efficiency, resilience and long-term functionality of London's built environment.
- 5.32 The proposed development comprises the installation of a new Air Handling Unit (AHU) and associated plant equipment together with internal alterations required to facilitate the relocation of the SDEC department within the existing hospital estate.
- 5.33 The proposals make effective use of existing buildings and infrastructure, enabling the continued operation of essential healthcare services without the need for additional temporary accommodation elsewhere on the hospital campus. This represents an efficient use of existing hospital infrastructure during the redevelopment period and avoids the additional material, energy and financial costs associated with the provision of standalone temporary buildings.
- 5.34 The proposed AHU forms an essential component of the building services strategy for the relocated department and will provide the ventilation and environmental controls necessary to meet modern healthcare standards. The development therefore supports the efficient operation of the existing building whilst facilitating the wider redevelopment programme at Hillingdon Hospital.
- 5.35 Accordingly, the proposals represent a proportionate enhancement to existing healthcare infrastructure and accord with the sustainability objectives of the Development Plan.

5. Fire Safety

- 5.36 Policy D12 Part A of the London Plan states that, in the interests of fire safety and to ensure the safety of all building users, development proposals should achieve the highest standards of fire safety.
- 5.37 The proposed development comprises the installation of a new Air Handling Unit (AHU), associated condensers, ductwork and ancillary plant equipment at roof level of the existing Podium Building, together with internal alterations to facilitate the relocation of the Same Day Emergency Care (SDEC) department. The proposals do not involve the construction of a new building, alterations to means of escape, or changes to the wider fire strategy serving the hospital campus.
- 5.38 The proposed plant equipment is required to support the operation of the relocated SDEC facility and will be installed in accordance with relevant Building Regulations and healthcare design standards. Accordingly, the proposals raise no fire safety concerns and are consistent with the objectives of Policy D12 of the London Plan.

6. Biodiversity

- 5.39 Local Plan Policy DME17 requires that new developments protect and enhance biodiversity. Where unavoidable, suitable replacement provision should be made on or off-site. Development near ecologically valuable sites must demonstrate that no unacceptable impacts occur, and that proposals contribute positively to biodiversity.
- 5.40 The proposed plant is located on the roof of the existing podium building. The existing roof does not contain any trees or vegetation. As these proposals impact less than 25 square metres of non-priority onsite habitat and less than 5 metres of non-priority onsite linear habitat, they are exempt from the mandatory Biodiversity Net Gain provisions. The proposals fall within the 'de minimis exemption' set out under the Biodiversity Gain (Exemptions) Regulations 2024.

6. Conclusion

- 6.1 This Planning Statement has been prepared in support of a planning application seeking full planning permission for the installation of a new Air Handling Unit (AHU), associated condensers, ductwork steps for access and a anti-slip grating over new platform at roof level of the existing Podium Building at Hillingdon Hospital, together with internal alterations required to facilitate the relocation of the Same Day Emergency Care (SDEC) department.
- 6.2 The proposals form part of The Hillingdon Hospitals NHS Foundation Trust's wider redevelopment and decant strategy and are required to facilitate the phased delivery of these important works. The relocation of the SDEC department will ensure the continued provision of essential healthcare services throughout the redevelopment programme whilst avoiding the need for additional temporary accommodation elsewhere within the hospital campus.
- 6.3 The proposed AHU and associated plant equipment have been carefully positioned within an existing rooftop plant area following consideration of alternative locations across the hospital estate. The equipment is functional in nature, proportionate in scale and will be viewed within the context of the existing hospital campus and associated plant infrastructure. As such, the proposals will not result in unacceptable harm to the character or appearance of the site or surrounding area.
- 6.4 The supporting Plant Noise Assessment demonstrates that, following the incorporation of the proposed attenuation measures, the plant equipment will not result in any unacceptable impacts on neighbouring amenity.
- 6.5 The proposals represent a temporary and operationally necessary intervention which will support the continued delivery of healthcare services whilst enabling the wider redevelopment of Hillingdon Hospital. The development accords with the relevant policies of the Development Plan and there are no material considerations which indicate that planning permission should be withheld.

Appendix 1 – Planning History Summary

Reference	Description of Development	Decision and Date
4058/APP/2025/2479	Installation of new plant and associated plant room enclosures adjacent to the Diabetic Care Extension.	Approved – 24/09/2025
4058/APP/2025/2179	Variation of Condition 3 (Approved Plans) of Listed Building Consent ref. 4058/APP/2024/3315 dated 13-02-2025 for 'Variation of Condition 3 (Approved Plans) of Listed Building Consent ref. 4058/APP/2024/589, dated 20-06-2024 (External air conditioning plant within a timber enclosure, replacement of external ramp, repair and restoration of windows throughout and installation of secondary glazing, replacement of damaged windows and doors, repairs and application of render and external vents, removal of non-original roof light and infill of roof opening. Internal reconfiguration and alterations including the removal and installation of partition walls, replacement of doors, removal and replacement of floor finishes, removal and replacement of suspended ceilings, along with other associated works. Erection of an external bin store along with a new footpath and associated landscaping) for alterations to internal layout, landscaping and elevations.	Approved – 12/08/2025
4058/APP/2025/2129	Section 73 application to vary Condition 1 (Temporary Time Limit) of application reference 4058/APP/2021/3691 dated 11-07-2022. Section 73 application to vary Condition 2 (Approved Plans) of application reference 4058/APP/2020/1003 (Construction of a new 90-bed three-storey ward building (Ward Building South); an additional two storeys to be constructed on the site of the ground-floor 28-bed Decant Ward Building (Ward Building North) and the provision of 117 replacement car parking spaces, involving the demolition of the existing Paediatric building and relocation of the existing waste compound and its associated parking) to amend the elevations of Ward Building South.	Approved – 07/08/2025
4058/APP/2025/2069	Installation of a non-domestic, flat roof-mounted solar PV installation at Hillingdon Hospital Maternity Building (Application under Class J, Part 14, Schedule 2 of the General Permitted Development (England) Order 2015 (as amended)).	Approved – 01/08/2025
4058/APP/2025/2070	Installation of a non-domestic, flat roof-mounted solar PV installation at Hillingdon Hospital Choices Cafe (Application under Class J, Part 14, Schedule 2 of the General Permitted Development (England) Order 2015 (as amended)).	Approved – 01/08/2025
79649/APP/2025/2074	Installation of a non-domestic, flat roof-mounted solar PV installation at Hillingdon Hospital Laundry Building (Application under Class J, Part 14, Schedule 2 of the General Permitted Development (England) Order 2015 (as amended)).	Approved – 01/08/2025
4058/APP/2025/1748	Details pursuant to the discharge of Condition 6 (Servicing/mechanical and engineering elements) for Listed	Approved – 24/06/2025

	Building Consent application 4058/APP/2024/3315 dated 13-02-2025 for alterations to internal layout, landscaping and elevations.	
4058/APP/2025/997	Details pursuant to the discharge of Condition 5 (Details of access to building entrances) of Listed Building Consent 4058/APP/2024/3315 dated 13-02-2025 for alterations to internal layout, landscaping and elevations.	Approved – 02/04/2025
4058/APP/2025/781	Erection of single storey extension to hospital building to be used as a Diabetic Care Ward, with associated roof top structures.	Approved – 19/03/2025
4058/APP/2024/3333	Non-Material Amendment application to planning permission reference 4058/APP/2024/587 dated 05-03-2024 to vary Condition 2 (List of Drawings) and Condition 3 (Supporting Plans and Documents) to allow alterations to the internal layout of the building, amendments to window details, amendments to external doors, changes to plant enclosure, repairs to the roof of the building and amendments to the approved stair drawings.	Approved – 20/12/2024
4058/APP/2024/3315	Variation of Condition 3 (Approved Plans) of Listed Building Consent ref. 4058/APP/2024/589 dated 20-06-2024 for alterations to internal layout, landscaping and elevations.	Approved – 19/12/2024
4058/APP/2024/2824	Details pursuant to the discharge of Condition 4 (Access Condition) of planning permission ref. 4058/APP/2024/1993 dated 17-09-2024 (Extension of existing hospital restaurant and alteration to services, new corridor and storage building, along with associated demolition and alteration works).	Approved – 24/10/2024
4058/APP/2024/2828	Temporary works comprising the construction of a substation and related infrastructure, corridor relocation and surfacing works, along with associated demolition works.	Approved – 24/10/2024
4058/APP/2024/2759	Proposed replacement of the existing rear wing of the Tudor Centre with a new two storey rear extension, installation of mechanical plant, new hard and soft landscaping and other associated alterations.	Approved – 16/10/2024
4058/APP/2024/2003	Details pursuant to the partial discharge of Condition 4 (Part A – Opening Up Historic Ceilings and/or Re-roofing) of planning consent reference 4058/APP/2024/587.	Approved – 24/07/2024
4058/APP/2024/1993	Extension of existing hospital restaurant and alteration to services, new corridor and storage building, along with associated demolition and alteration works.	Approved – 23/07/2024
4058/APP/2024/1976	Details pursuant to the partial discharge of Condition 6 (Servicing Details) of planning consent reference 4058/APP/2024/587.	Approved – 22/07/2024
4058/APP/2024/1940	Details pursuant to the discharge of Condition 5 (Level Access) of planning consent reference 4058/APP/2024/587.	Approved – 17/07/2024
4058/APP/2024/1918	Details pursuant to the partial discharge of Condition 4 (Part A – Opening Up Historic Ceilings and/or Re-roofing) of Listed Building Consent reference 4058/APP/2024/589.	Approved – 16/07/2024
4058/APP/2024/1911	Details pursuant to the discharge of Condition 5 (Level Access) of Listed Building Consent reference 4058/APP/2024/589.	Approved – 15/07/2024
4058/APP/2024/1881	Details pursuant to the discharge of Condition 6 (Servicing Details) of Listed Building Consent reference 4058/APP/2024/589.	Approved – 11/07/2024
4058/APP/2024/587	External air conditioning plant within a timber enclosure, replacement of external ramp, repair and restoration of windows throughout and installation of secondary glazing, replacement of damaged windows and doors, repairs and application of render and external vents, removal of non-original roof light and infill of	Approved – 05/03/2024

	roof opening. Internal reconfiguration and alterations including the removal and installation of partition walls, replacement of doors, removal and replacement of floor finishes, removal and replacement of suspended ceilings, along with other associated works. Erection of an external bin store along with a new footpath and associated landscaping.	
4058/APP/2024/589	External air conditioning plant within a timber enclosure, replacement of external ramp, repair and restoration of windows throughout and installation of secondary glazing, replacement of damaged windows and doors, repairs and application of render and external vents, removal of non-original roof light and infill of roof opening. Internal reconfiguration and alterations including the removal and installation of partition walls, replacement of doors, removal and replacement of floor finishes, removal and replacement of suspended ceilings, along with other associated works. Erection of an external bin store along with a new footpath and associated landscaping (Application for Listed Building Consent).	Approved – 05/03/2024
4058/APP/2024/259	Details pursuant to the discharge of Condition 5 (Access Ramp) of planning permission ref. 4058/APP/2021/3650 dated 09-09-2022.	Approved – 01/02/2024
4058/APP/2024/251	Details pursuant to the partial discharge of Condition 5 (Access Ramp) of Listed Building Consent reference 4058/APP/2021/3651 dated 09-09-2022.	Approved – 31/01/2024
4058/APP/2023/3616	Details pursuant to the partial discharge of Condition 4 (Materials – Part F Cladding for Plant Enclosure) of Listed Building Consent reference 4058/APP/2021/3651 dated 09-09-2022.	Approved – 14/12/2023
4058/APP/2023/3621	Details pursuant to the discharge of Condition 4 (Materials – Part F Cladding for Plant Enclosure) of planning permission ref. 4058/APP/2021/3650 dated 09-09-2022.	Approved – 14/12/2023
4058/APP/2023/2793	Details pursuant to the partial discharge of Condition 4 (Parts A–E) (Details of Windows and Doors) of Listed Building Consent reference 4058/APP/2021/3651 dated 09-09-2022.	Approved – 22/09/2023
4058/APP/2023/2795	Details pursuant to the partial discharge of Condition 4 (Parts A–E) (Details of Windows and Doors) of planning permission ref. 4058/APP/2021/3650 dated 09-09-2022.	Approved – 22/09/2023
4058/APP/2023/679	The installation of a modular MRI unit.	Approved – 08/03/2023
75013/APP/2022/2052	Details pursuant to the discharge of Condition 3 (Landscaping) in relation to planning consent reference 75013/APP/2021/4513 dated 01-06-2022 for additional parking provision.	Approved – 28/06/2022
4058/APP/2022/1788	Hybrid planning application for: FULL application seeking planning permission for demolition of existing buildings (excluding the Tudor Centre and the Old Creche) and redevelopment of the site to provide the new Hillingdon Hospital (Use Class C2), multi-storey car park and mobility hub, vehicle access, highways works, associated plant, generators, substation, new internal roads, landscaping and public open space, utilities, servicing area, surface car park/expansion space, and other works incidental to the proposed development; and OUTLINE planning application (all matters reserved except access) for mixed-use redevelopment comprising residential (Class C3) and supporting Commercial,	Approved – 06/06/2022

	Business and Service uses (Class E), with associated access, public realm, amenity space and parking.	
4058/APP/2022/671	Demolition of the following buildings within the grounds of Hillingdon Hospital: Busy Bees, Alderborne Unit, Elderly Day Hospital, Beaconsfield, Adult Audiology, Quebec Ward, Pinewood Ward, Osterley Ward, Churchill Ward, Middlesex Ward, Lister Ward, Pagett Ward, Diabeticare Ward, Greenacres, Postgraduate Medical Centre, HV Plant Room, Annex Corridor and Partial Canteen (Prior Notification under Schedule 2, Part 11, Class B of the GPDO 2015 (as amended)).	Approved – 04/03/2022
76613/APP/2022/37	Demolition of existing modular building and erection of new two storey building for use as a nursery (Use Class E), with external play space, ramped access, external plant, car parking, cycle parking, refuse and buggy storage.	Approved – 07/01/2022
75013/APP/2021/4513	Application for 11 no. new car parking spaces, including 2 no. spaces within the existing car park, 7 no. spaces along the entrance road and 2 no. spaces accessed directly from Colham Green Road.	Approved – 10/12/2021
4058/APP/2021/3691	Section 73 application to vary Condition 2 of planning permission ref. 4058/APP/2020/1003 for the construction of a new 90-bed three-storey ward building (Ward Building South), an additional two storeys to the Decant Ward Building (Ward Building North), and replacement car parking, to amend the elevations of Ward Building South.	Approved – 30/09/2021
4058/APP/2021/3650 / 4058/APP/2021/3651	External air conditioning plant enclosure, replacement of external ramp, repair and restoration of windows, installation of secondary glazing, replacement of damaged windows and doors, repointing and repainting works, replacement rooflight, and internal reconfiguration including installation/removal of partition walls and replacement fire doors.	Approved – 28/09/2021
4058/APP/2021/2563	Variation of Condition 2 of planning permission ref. 4058/APP/2020/2213 for a permanent containerised low voltage diesel standby generator, fuel tank and associated works, to allow omission of a section of hedge and replacement with a hit-and-miss timber fence along Pield Heath Road.	Approved – 20/09/2021
4058/APP/2021/421	Installation of a single-storey building for retail use (Use Class E(a)).	Approved – 29/03/2021
4058/APP/2020/2213	Installation of a permanent containerised low voltage diesel driven standby generator, associated fuel tank and boundary fencing, together with installation of a small steel enclosure adjacent to the existing Generator No. 1.	Approved – 12/10/2020
4058/APP/2020/2923	Installation of generator, fuel tank and enclosure, involving demolition of existing generator building.	Approved – 09/11/2020
4058/APP/2020/1003	Construction of a new 90-bed three-storey ward building (Ward Building South); erection of an additional two storeys on the existing 28-bed Decant Ward Building (Ward Building North); provision of 117 replacement car parking spaces; demolition of the existing Paediatric Building; and relocation of the existing waste compound and associated parking.	Approved – 07/05/2020
4058/APP/2019/3286	Erection of a temporary single-storey prefabricated building linked to the Acute Medical Unit (AMU), providing a 28-bed decant and winter overspill ward (888 sqm), including four parking spaces;	Approved – 04/03/2020

	demolition of Building 17; creation of 30 replacement staff parking spaces; and reconfiguration of parking east of the Women's Services Building resulting in a net gain of 11 visitor parking spaces (amended scheme).	
4058/APP/2019/737	Formation of four ambulance/hospital vehicle parking spaces, installation of a ramp and installation of new doors serving the patient waiting area.	Approved – 04/03/2019
4058/APP/2018/4114	Formation of three parking spaces and a turning head for three ambulances or hospital vehicles.	Refused – 17/01/2019
4058/APP/2018/4018	Section 73 application to vary planning permission ref. 4058/APP/2018/1055 for a single-storey extension to the Accident and Emergency Department, including alterations to the design and footprint of the extension and provision of a new ramp.	Approved – 15/03/2019
4058/APP/2018/1055	Single-storey extension to the Accident and Emergency Department to create an Urgent Care Centre.	Approved – 20/03/2018
4058/APP/2015/4041	Formation of 48 additional parking spaces on land adjoining the main hospital car park, together with associated highway, access and landscaping works.	Approved – 28/09/2015
4058/APP/2013/99	Demolition of part of the existing kitchen and staff restaurant and erection of a new two-storey Acute Medical Unit located to the south of the existing tower ward block. (Subject to a Section 106 Agreement including a strategic masterplan clause.)	Approved – 17/01/2013
4058/APP/2006/2380	Variation of Condition 2 of outline planning permission ref. 4058/APP/2005/1 to allow reserved matters to be submitted before expiry of five years from the date of permission.	Approved – 15/08/2006
4058/APP/2005/1	Phased redevelopment of the existing hospital comprising the erection of three linked blocks (approximately 85,000 sqm of floorspace), reconfiguration of on-site car parking and access arrangements, landscaping works and demolition of existing buildings (Outline Application).	Approved – 04/01/2005

Contact

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