
The Furze

Design and Access Statement

Provision of Adult Audiology
Haematology, Education
Centre and Clinical Admin Offices at
The Furze

THHFP1-LDW-XX-XX-RP-A-10001

REV P05

In association with

Aecom
Northmores
Campbell Reith
Couch Perry & Wilkes
Maze
Savills
Stroma

Date 26.02.2024

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1 Introduction

Introduction

This document is intended to be read with the accompanying drawings.

The following document has been created to receive a Planning Permission and Listed Building consent for the Furze Building and should be read with the previous Design and Access statement revision P02 dated 20.05.2022. Planning Application 4058/APP/2021/3651

his proposal has been generated by comprehensive analysis of the site and context. The design has evolved during a period of consultation with the key stakeholders to provide a comprehensive scheme for the users to work within.

The following proposal within this report is subject to a conservation officer's review.

The scope of the project

The Furze building is located within the Hillingdon Hospital; the project is part of a critical position in the decant project of the overall scheme to enable demolition for the redevelopment of the new main hospital. The Furze is a Grade II listed building, consisting of an early-19th century country house with various mid to late 20th century extensions at different levels; due to these multiple extensions, the building has limited access, resulting in inadequate maintenance.

The proposal is to change the ground floor of the Furze from healthcare office use to clinical use (Haematology and Audiology). The building's original features will be retained, and the internal areas' finishes must comply with infection control guidelines and HBN.

The original early-19th century country house includes the clinical admin department on all floors (ground, first floor and second), the nature of this department is mainly office spaces. Therefore, there wouldn't be any changes necessary to the original layout

The new proposal for the original part of the building be will be remedial work, with all original/ existing features are to be retained unless they are specifically marked otherwise on the drawings.

The Audiology department would be located within the existing paediatric audiology department (20th extension), this space will require upgrading to the layout and M&E to comply with infection control.

Externally, the building is in a very poor condition, which requires repair, replacing existing damaged windows and doors, existing brickwork to be re-pointed where damaged and repainting to match existing with repair to the existing render.

Plant area:
The Haematology Department within the ground floor requires clear air ventilation. Therefore an A/C Unit covered by timber screen has been proposed in the back elevation of the building, taking space of 3 parking slots.

Design & Study Limitations

We have used and interpreted information provided to our team by others carefully to inform our proposal. However, it must be recognised that there are potential areas of risk and uncertainty, many of which will be clarified following opening up works stage.

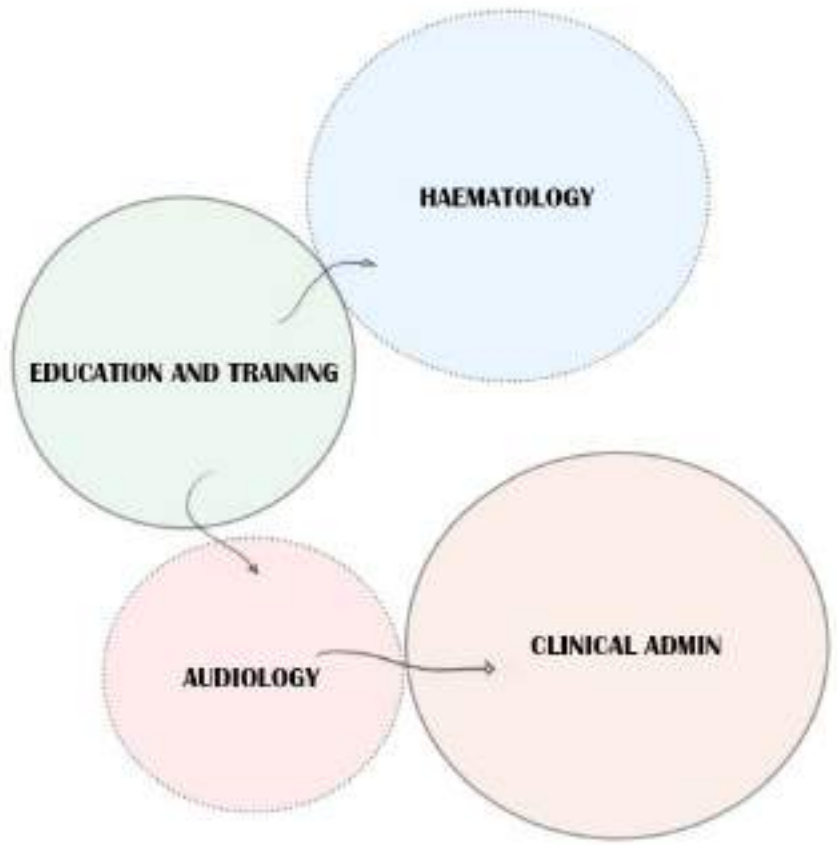
The Site

The Furze site consists of approx. 2260m² set within the Hillingdon Hospital site.

The Team

The following consultant team have collaborated in the development of the design;

Client:	The Hillingdon Hospitals NHS Foundation Trust
Project Management :	Northmores & Aecom
Architect/ Landscape:	Llewelyn Davies
Heritage & Planning Consultant:	Savills
Structural and Civil Engineers:	Campbell Reith
MEP and Acoustics Engineers:	Couch Perry Wilkes
Fire Engineers	Maze Fire
Transport Consultant:	Mott MacDonald
Tree Surveyor:	Landmark Trees
Ecologist:	Aecom
Building Control Approved Inspector	Stroma Building Control



1 Introduction



2.0 Site Analysis

2.1 Site Appraisals

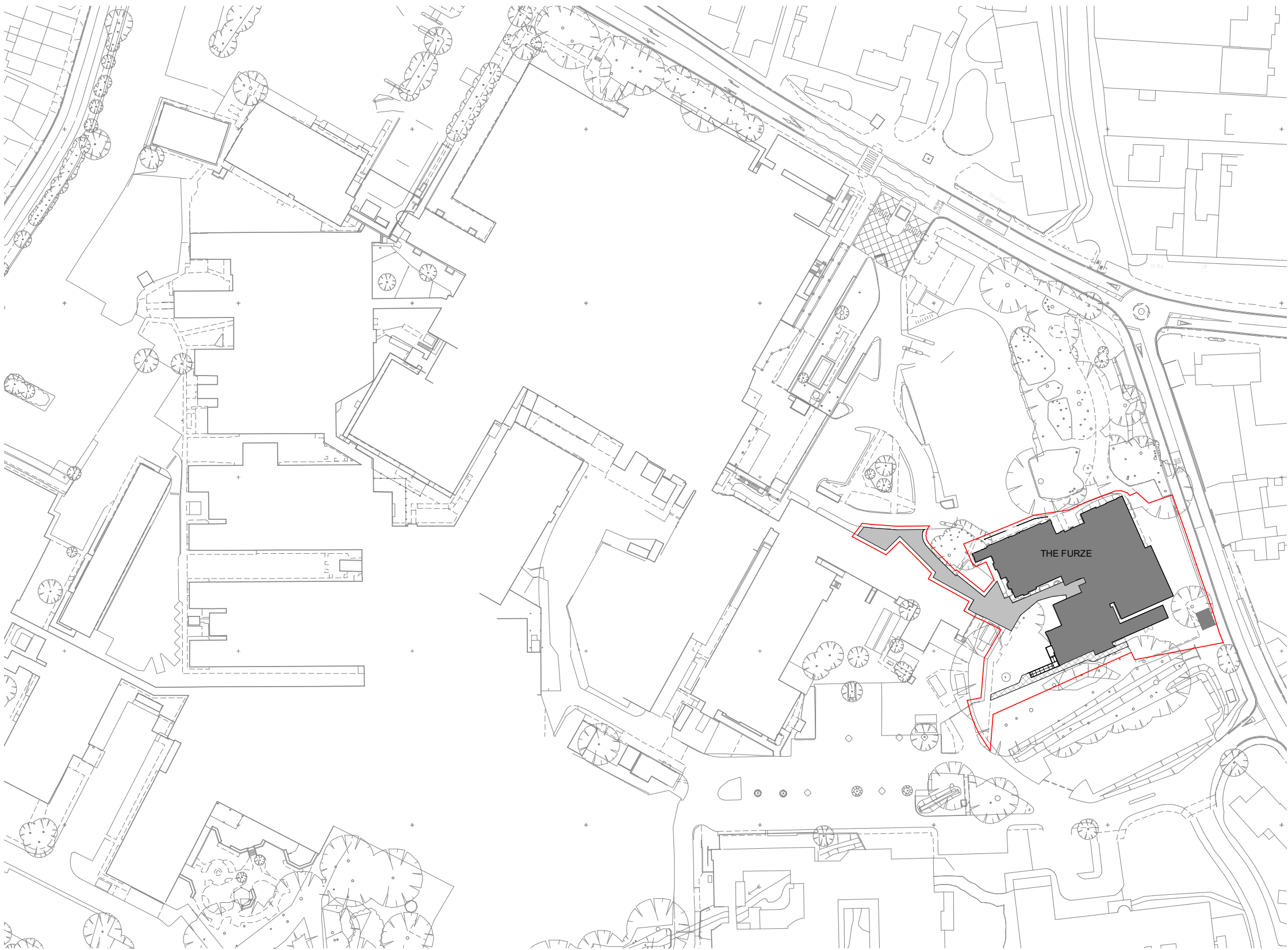


Figure 2.1, Site Boundary Plan

2.0 Site Appraisals

The site is located at:
The Furze, Hillingdon Hospital, Pield Health Road, Uxbridge, Middlesex, UB8 3NN.

Site Area

The extent of land covered by the proposal is set out in Figure 2.1. within the red boundary line.

Site Character

The Furze original Building was constructed in the 19th century, the façade has delicate features 3 French windows with architraves, the roman Doric ½ columns and pilaster on the ground floor windows. The listed fabric is in poor condition, the new extension constructed approx. in the 1970s for the Nurses office. The building has many various shapes of roofs and different facades. The site is surrounded by parking for the Hospital, with overgrown landscaping.

Car parking is mainly distributed to the North and East of the Furze and the rear.

The site is exposed from the North, and enclosed from the East side by an old wall facing Colham Green Road. The Furze was categorised by Historic England as Grade II listed in 1974.

Building condition and character

The existing Grade II Listed Buildings at present appear to be in poor condition (from Condition Survey) and recommendations are proposed in the following sections of the study. Pre-application advice received on the wider site has indicated that a number of improvements could be made to the listed building.

Site History and Conservation Area

The site does not lie within a Conservation Area. The Furze was originally built as a nurses home on the grounds of which are currently being used as offices

2.2 Site Opportunities & Constraints

Location

The hospital site is located within a residential area and Hillingdon Hospital.

Access

The building has several entrances. However, the Main Entrance to The Furze is through the North façade, which welcomes visitors into the ‘pink’ painted hall. The entrance can be used as a drop-off by vehicles or pedestrians travelling in via public transport.

All-access to the building is step-free, with ramps located on the South and West facade, overlooking the existing green spaces.

The South Eastern access through Colham Green Road is for delivery and maintenance, and this road is shared with Hillingdon Hospital.

Views and Vistas

The Main Entrance overlooks the existing car parking and the hospital. The Southern part of The Furze is enclosed by trees and landscaping, providing privacy. Views into the site are not limited, but there is a level of privacy provided by the existing deep-set windows and trees surrounding the site.

Heritage

The Furze is a Grade II Listed Building and is discussed in the following section. A carefully considered and holistic approach is therefore required with regards to the proposal to develop the site.

Flood Risk

The site is on a slight gradient with a stream of water to the South. The government flood warning information survey states that the site has potential to have a high level of floods in case of heavy volume of rainfall. However, generally it is a low risk. Levels around the site would need to be determined to ascertain levels of potential flood risk to the buildings.

Construction Disturbance

Careful consideration is given to neighbouring properties during construction and measures taken to reduce disruption and disturbance, given the proximity to residents.

Landscape

The mature tree roots affect the existing structure; the majority of these trees are listed; therefore, it is a concern and a constraint to the building's construction and life span.

The Current Landscape proposal consists of repaving the existing pathways between the Furze and the Existing Emergency center for bed movement. New permeable paving is introduced within the existing landscape for Bin movement, and new greenery is introduced to replace the damaged plants.

Bats

The building has been surveyed for bats and will be monitored for any such activity that will need to be addressed before construction works commence.

2.3 Existing Circulation & Access

Existing Access

The original building was designed as a home and not for the current purpose. However, The Furze is easily accessible from all points of the site. There are fire door restrictions on each corridor, sectioning the buildings into departments.

Space standards are good, and corridors are generally 1m wide. Existing door widths are 1m with one lift located in the centre of the building between existing and the new connections. The existing lift does not comply with current standards as per The Approved Building Regulations (Part M) and Health Building Notes.

Disabled Access

The design must support dignified and easy access to and within historic buildings for disabled people. Suitable disabled access, which does not compromise a building's special interest, can normally be achieved if treated as part of an integrated review of access requirements for all users.

Two points of disabled access are noted on the drawing.

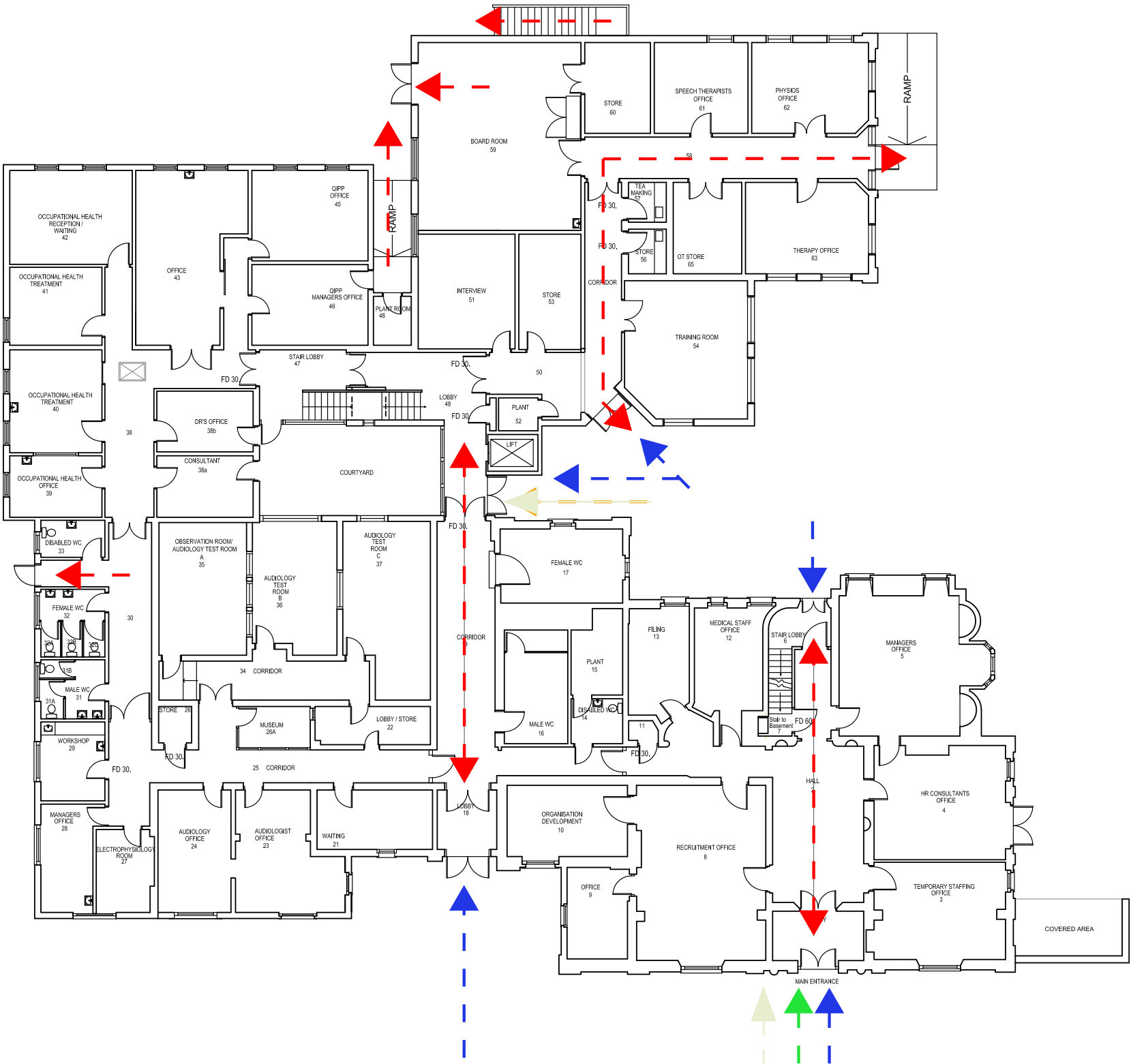
Internal Access

The internal access through The Furze is via corridors separated by fire doors and partitions. The main access to the building welcomes you into a small hall used as a waiting room, leading to a single corridor leading to the examination rooms and offices. The main stairs in the hall seem to be part of the original fabric, leading only to the first floor offices. The second floor of the building is only accessed via the stairs to the south.

Vertical Circulation & Stair Cores

The existing building has one internal staircase. The newer extension includes one main stair core and 1no. lift. The design team has investigated options to comply with the approved document M.

All works will have to be reviewed and agreed upon with the Conservation Officer.



LEGEND

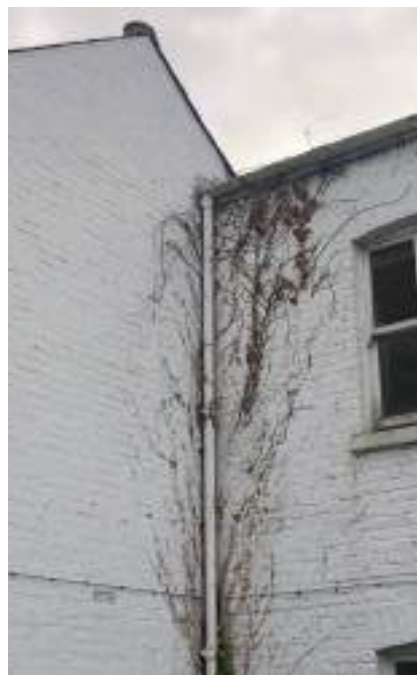
- Disabled Access point
- Emergency Egress
- Patient Access
- Staff Access

5m

2.4 Existing Site Photographs



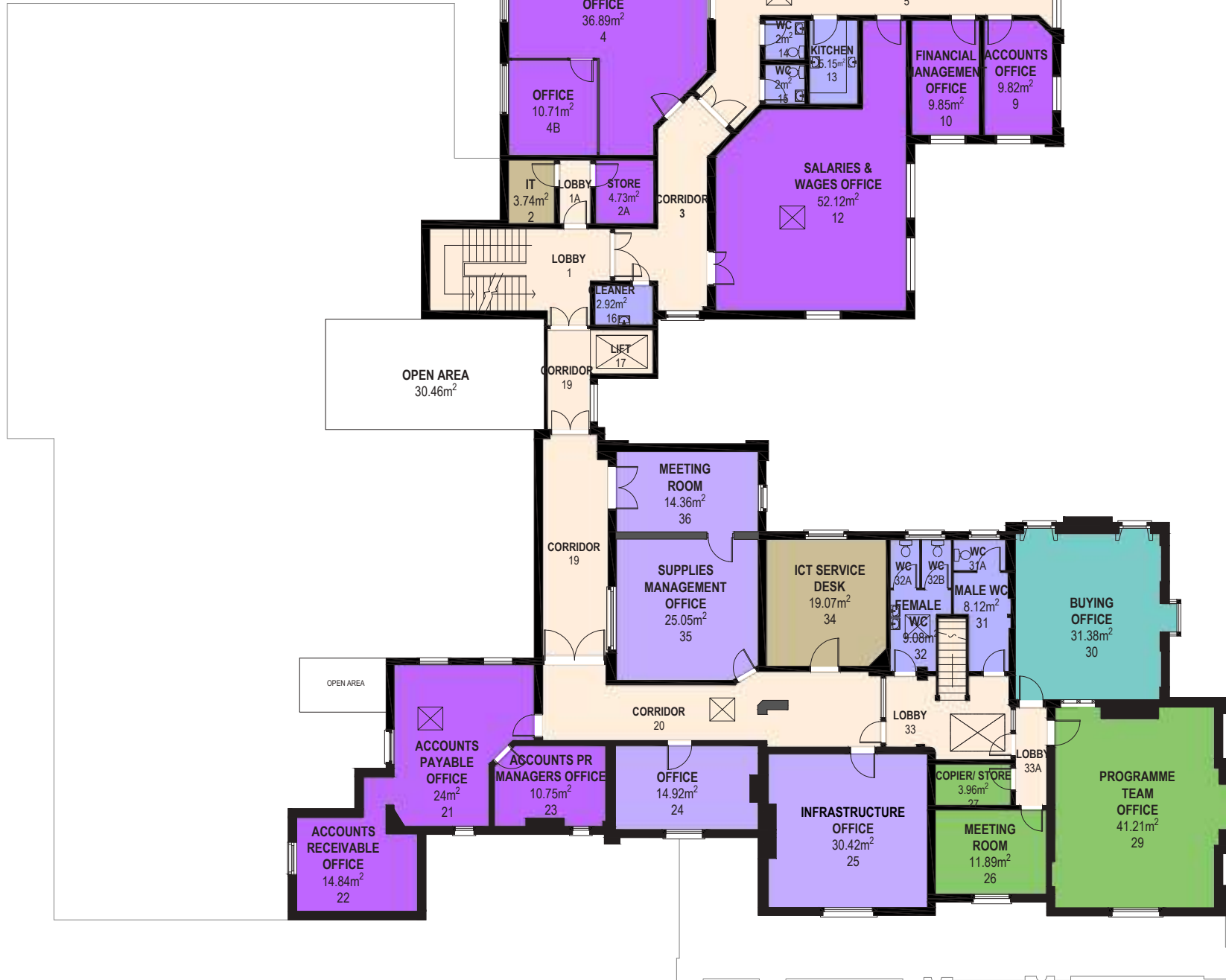
2.4 Existing Site Photographs



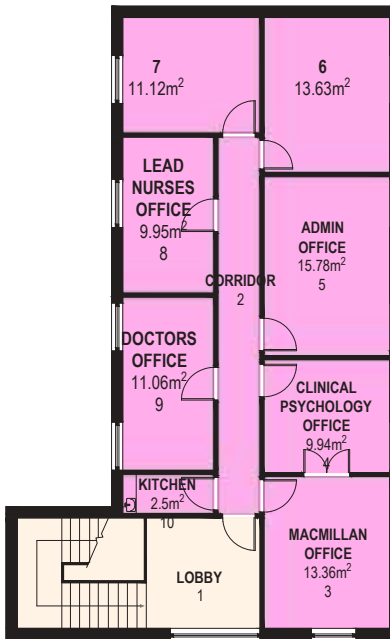
2.5 Existing Floor Plan



2.5 Existing Floor Plan



FIRST FLOOR



SECOND FLOOR



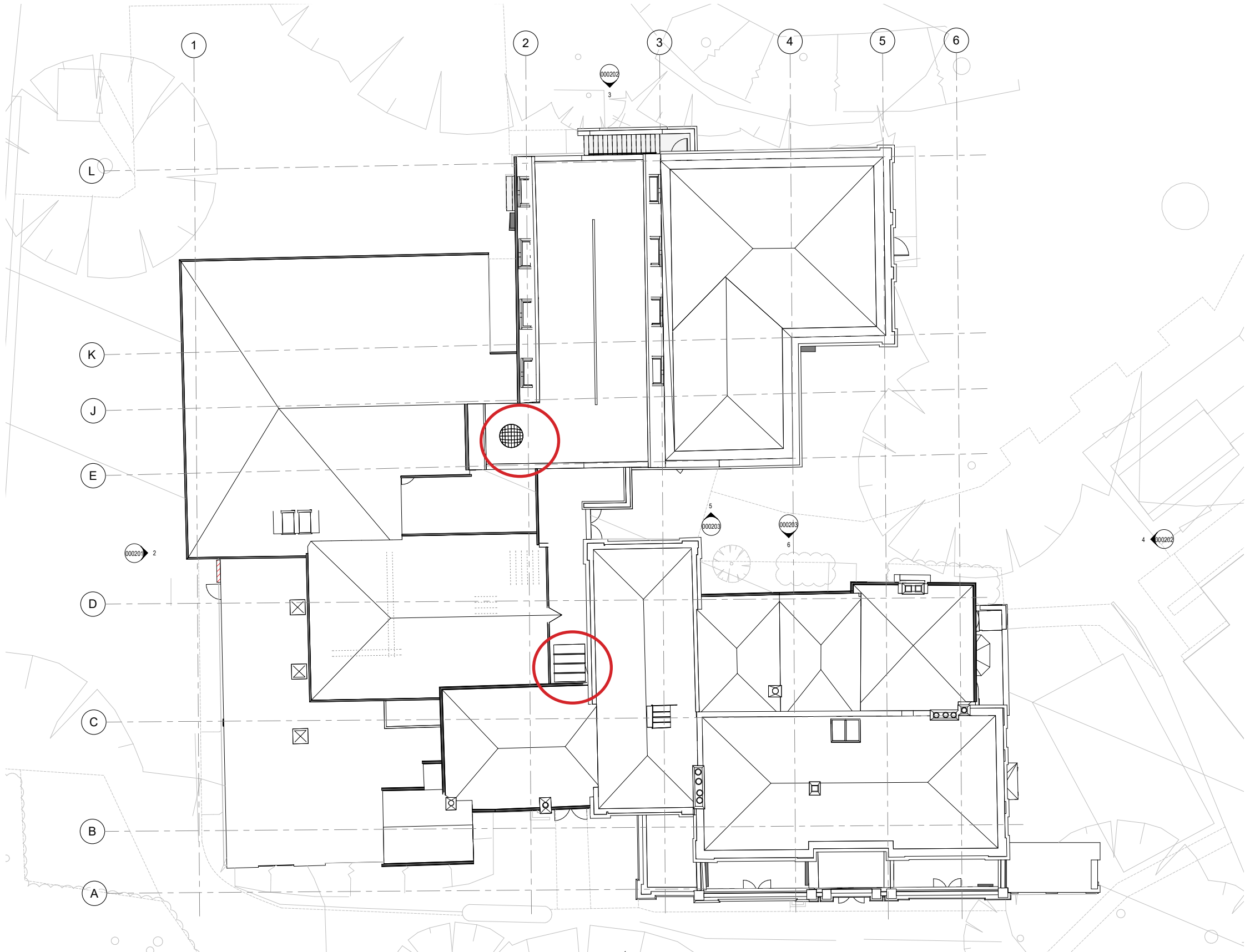
2.5 Existing Roof Plans

Location Roof Works

The roof of the Furze has not been maintained for years; lack of maintenance caused blockage of the gutters, missing lead, broken tiles ..etc, the project team has been requested to retain the existing roof and repair where needed.

A roof survey conducted via a drone has identified issues with the roof. Missing lead flashing and tiles are currently causing leaks and damp problems within the building, as determined through visual inspection and the condition survey. The team has identified various issues with the roof and recommends extensive remedial works. Therefore, a damp survey was undertaken by the specialists at 'Heritage House' to understand the extent of the damage, and they have suggested a repair method. Since many of the walls have been painted with modern paint, we need to replace the paint with lime wash, clay, and breathable paint to allow the building to breathe properly. However, a further internal roof survey is required to determine the extent of the necessary works, as we need to understand the source of the problem in order to eliminate it.

Furthermore, the roof light to the rear extension on the second floor & first floor (highlighted in red) are damaged and covered to minimize rainwater leaks. Therefore, it has been recommended to Remove the redundant damaged roof light and close up the opening. Reinststate the area to match the rest of the roof.



2.6 Existing Elevation



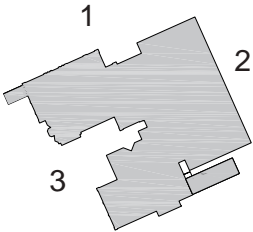
Elevation 01



Elevation 02



Elevation 03



2.6 Existing Elevation



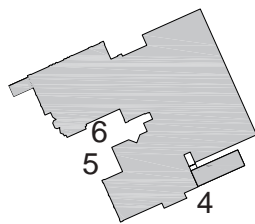
Elevation 04



Elevation 05



Elevation 06



2.7 Existing Schedule of Accommodation

Building Name The Furze -Existing layout
Hospital The Hillingdon Hospital
Client Hillingdon Hospitals NHS Foundation Trust
Total NIA (m²) 1,787.60

Building Department Name	Ground Floor Area (m²)	First Floor Area (m²)	Second Floor Area (m²)	Total
The Furze - HR	380.8	0	0	380.80
The Furze -Finance	19.5	238.3	0	257.80
The Furze - Plant	14.6	0	0	14.60
The Furze - Child Audiology	208.3	0	0	208.30
The Furze -Oncology	22	5	99.3	126.30
The Furze - Occupational Health	62.9	6	0	68.90
The Furze -In-Patient Speech Therapy	72.3	7	0	79.30
The Furze - Paediatrics	0	39.3	0	39.30
The Furze - Medicine	0	61.6	0	61.60
The Furze - IT	0	25.9	0	25.90
The Furze - Supplies	0	33.5	0	33.50
The Furze - Communal Spaces	65.8	36.2	0	102.00
The Furze - Circulation	252.6	127.9	8.8	389.30

Total Room NIA (m²)		1,296.30
Comms NIA (m²)		491.30
Total NIA (m²)		1,787.60

2.8 Planning Policy, Framework Regulations and Design Considerations

Planning Constraints

The Furze is located within the London Borough of Hillingdon (LBH). According to the LBH, the site falls under the following planning constraints:

Listed Buildings of Grade II
Environment Agency Flood Medium Risk Zone
Building Structures and Works Exceeding 90 Meters
Planning Application:

The only new external addition to The Furze is the external A/C unit located to the rear of the building. Furthermore, following the proposal of adding new fixed partitions to the interior rooms within the extension, we must obtain listed building consent before commencing any work.

Planning policy and guidance encourage the continued use of the building as a 'hospital,' as stated in the Conservation Area design guidelines. The Trust must ensure the proposal accommodates departments in a modern facility with rooms large enough to deliver services, appropriate finishes, and MEP services to meet design guidelines and recently updated building regulations.

Building Regulations And Fire

The latest building regulations set out requirements with which individual aspects of building design and construction must comply in the interests of:

- The health and safety of building users;
- Energy conservation; and
- Access to and use of buildings.

General Building Regulations.

The design team has worked closely with Stroma building control, who has reviewed the drawings and recommended that all new proposals are to meet the latest building regulations guidelines, including circulation and space requirements, access and sanitary provisions. Furthermore, due to the listed building constraint, many of the approved documents are not complied with as it falls under listed building protection.

Asbestos

A full review asbestos has been carried out throughout the building and must be removed prior to any work commencing on site.

BREEAM:

The Design Team will promote commercially feasible low environmental impact design solutions and will work closely with the project cost consultant to guide the team along with the lowest capital and whole life cost route to achieving these goals. However, due to the nature of the building, there might be few constraints to work on achieving a very good BREEAM mark.

The design team is currently working closely with the client and the BREEAM Assessor to ensure we achieve the high important categories of the BREEAM Requirement.

The team will efficiently coordinate the collation of BREEAM evidence at both the design and post-construction stages and compile reports to facilitate certification.

2.9 Historic Fabric & Later Date Extensions



Heritage And Conservation Area Character and Appearance

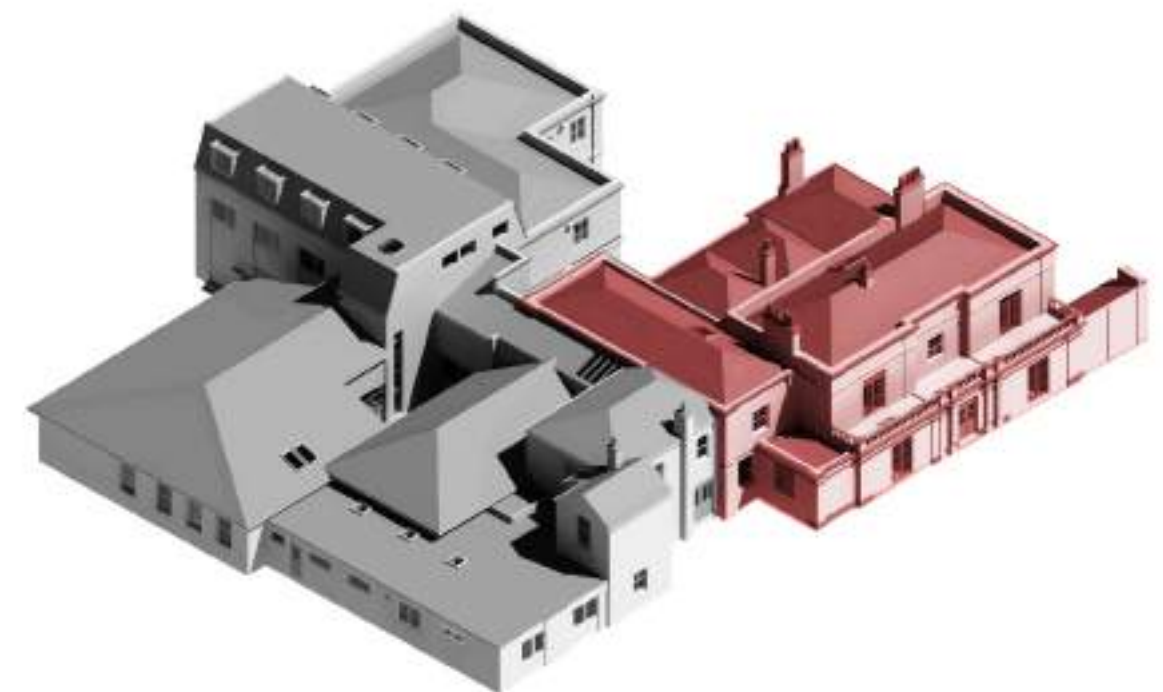
The Furze is not located within a conservation area. It is important to note that the original features of The Furze are to be retained, with details to be renovated and made to match the existing ones. The proposal is enclosed within secure boundary walls to the east, which should minimize any changes in the surrounding areas.

The primary focus will be on repairing and restoring the external historic character and, if feasible, removing later additions that detract from the historical character. However, due to program and cost risks, there are no proposed alterations to the external fabric.

Historic England provides the following factual details:

The Furze, Nurses Home in the Grounds of Hillingdon Hospital, falls under Grade II listing, first listed on 06.09.1974.

Savills Planning is providing support and advice for all planning requirements and heritage considerations.

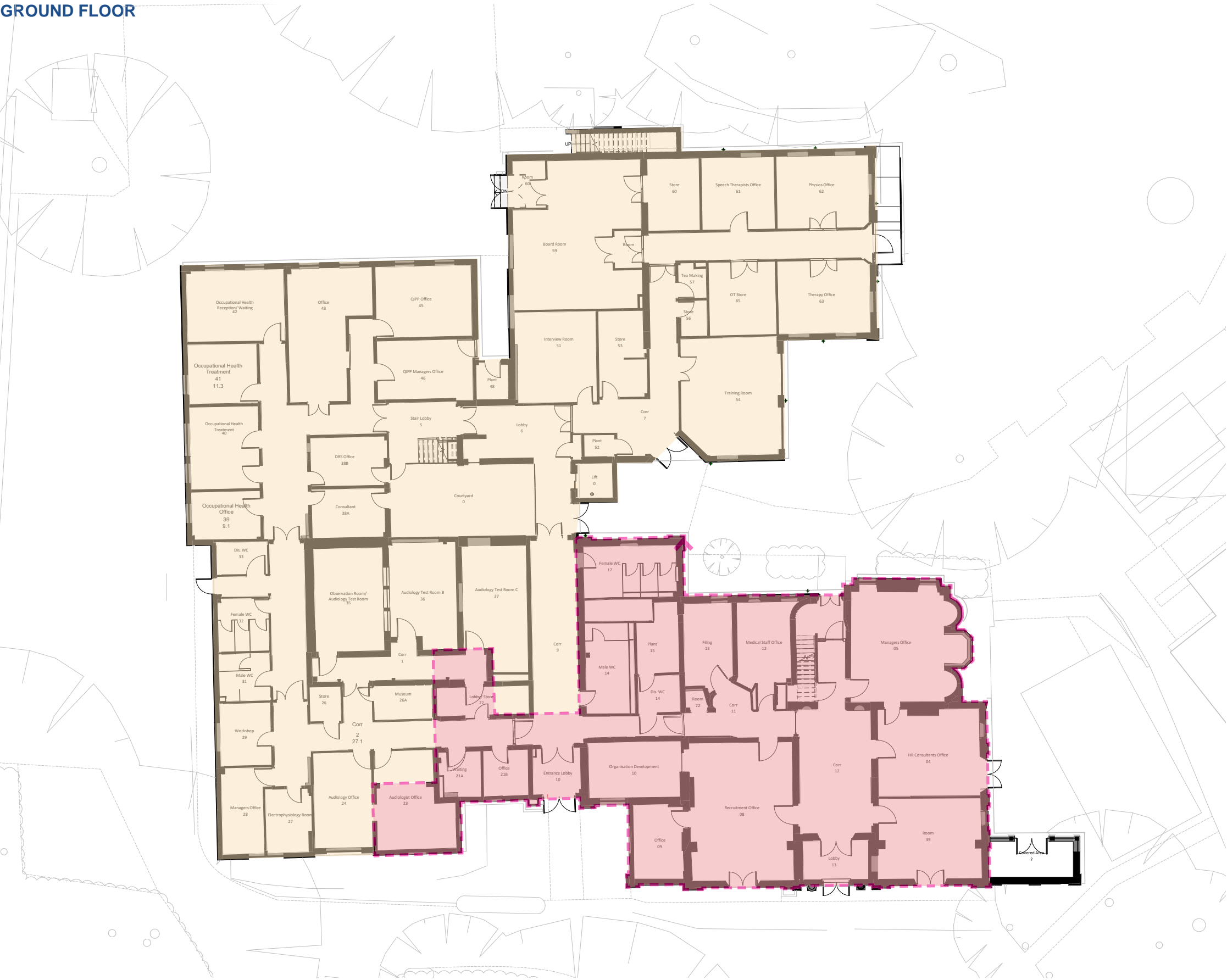


2.10 Historic Fabric & Later Date Extensions

Illustrating the extent of the original Georgian building from the early 19th Century, which is highly protected and for which only minimal alterations would be acceptable, such as repair, making good, and replacing like for like. (All original internal partitions are to be retained.)

Illustrating the extent of later extensions, ranging from the Victorian era to the 1990s, the Trust's Heritage consultant is of the opinion that alterations and removal of internal partitions would not be contentious in historic building terms. Furthermore, any alterations to the external fabric should be acceptable if they result in an improvement.

GROUND FLOOR



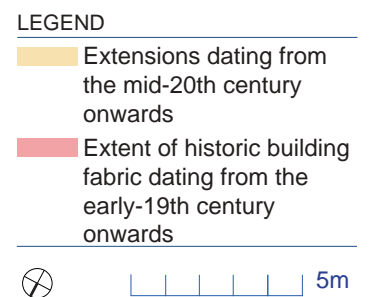
LEGEND

Extensions dating from the mid-20th century onwards

Extent of historic building fabric dating from the early-19th century onwards



FIRST FLOOR



2.11 Listed Landscape - Protected Trees, Topographical Plan

Protected Trees


Law protects certain trees within the UK through Tree Preservation Orders (TPOs) and planning conditions within the planning system; therefore, any changes and alteration to the locations of the existing listed trees will require planning permission first.

The current proposal is to retain all the trees, as no extension to the building is proposed; therefore, the roots of the existing trees do not cause any issues.

Tree Constraints Report by Landmark trees states the need to retain the Category A and B trees. Most Category C trees are in fair condition and are fairly protected but could be removed and relocated if necessary. The arbor culturalist's recommendation is to retain the trees where possible.

The key relates to the categories shown on the tree survey plan.

NOTE:
This survey is of a preliminary nature. The trees were inspected from the ground only on the basis of the Visual Tree Assessment method. No samples were taken for analysis. No decay detection equipment was employed. The survey does not cover the arrangements that may be required in connection with the laying or removal of underground services.
Branch spread in metres is taken at the four cardinal points to derive an accurate representation of the crown.
Root Protection Areas (RPA) are derived from stem diameter measured at 1.5 m above adjacent ground level (taken on sloping ground on the upslope side of the tree base).



Landmark Trees
Holden House, 4th Floor, 57 Rathbone Place, London W1T 4JU
Tel: 0207 851 4544 Mobile: 07812 989928
e-mail: info@landmarktrees.co.uk Web: www.landmarktrees.co.uk

Site: Hillingdon Hospital, The furze Building	1:200@ A0
Drawing Title: Arboricultural Impacts Assessment	March 2021

Key:

Category A

Category B

Category C

Category U

Trees Unsuitable for Retention

Category

Root Protection Area

Tree Position Approximate (not shown on original survey)

Tree Felled To Facilitate Development

Crown Spread

Tree Number

Species

Category

26 THH - THE FURZE STAGE 2 CONCEPT DESIGN LLEWELYN DAVIES

3.0 Design Evolution

3.1 Design Concept

Proposed Design

The current proposal for the Furze is as following:
Refurbishing the existing building, ensuring its complaint with HBN and infection control to suit the clinical use.

The building will occupy four departments
Audiology
Haematology
Education and Training
Clinical Admin offices

Each of these departments is isolated from the other with its designated entrance for security reasons and patient well being.

External Proposal:

External doors are generally in poor conditions; the front entrance door appears to be a modern hardwood replacement. However, other entrance doors are original with a single glazed vision panel; therefore, the original doors are to be retained and repaired with only minor replacement as stated in the condition survey, replacement will only taken place to damaged door beyond repair following the local Authority of Hillingdon approval.

Windows to the original building are single sliding/casement windows. However, the extension windows are mostly single glazed, double glazed and modern UPVC; therefore, its been proposed to retain and repair the damaged and broken single glazed windows, and only replace the windows that are beyond repiar following the specialist condition survey recommendation with new timber windows as per the granted apporval of condition 4 ((Parts a, b, c, d & e) details 4058/APP/2023/2795 .

Additional secondary glazing is to be added internally to meet acoustic rating, following an agreement with local Authority of Hillingdon.

The roof of the Furze has not to be maintained for a long time. Therefore an extensive repair might be needed; new tiles/ flashing/ gutters to replace damaged, broken and

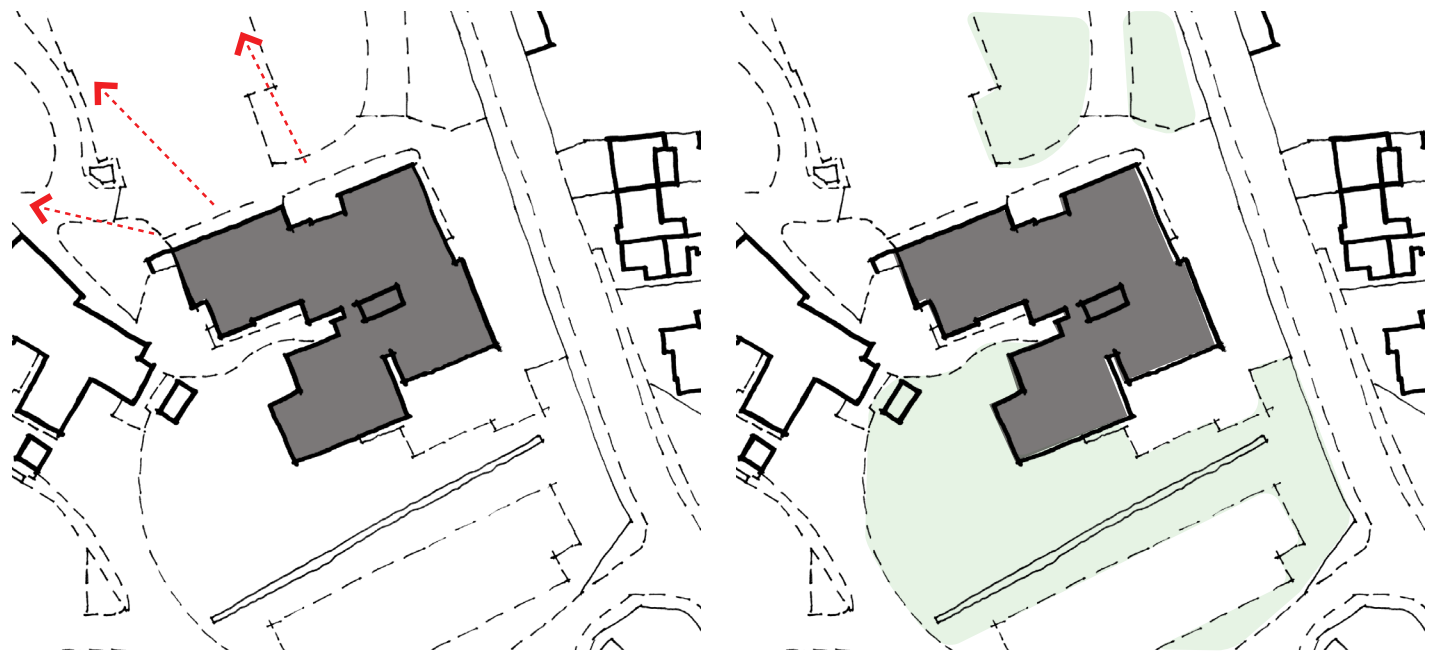
missing elements.

All damaged gutters are to be replaced like for like; additional RWP is required for roof drainage.



Option 1 Main Entrances - For Adult Audiology and the Clinical Admin and Haematology

Access - Staff access/ Education Centre

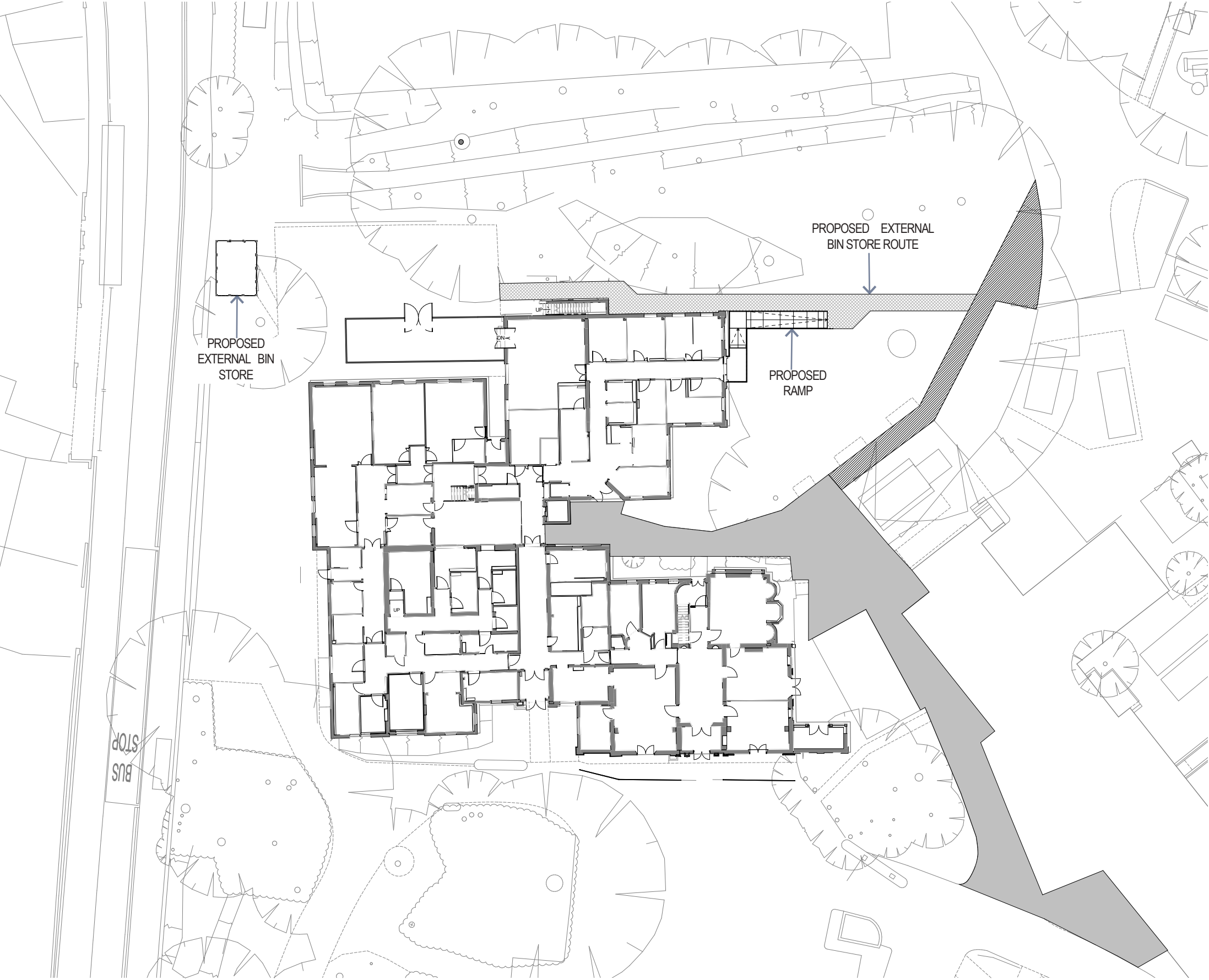


Context - Proximity to Hospital and transport links (buses, primary routes etc)

Green Space



3.2 Proposed Route from Haemotology and the Hospital



Design Consideration

The design team is currently investigating the patient route linked between the Haemotology (The Furze) and the emergency department (Main Hospital) as indicated on the plan.

Throughout careful consideration, the only feasible route is through the maternity building, which provides less external exposure and step-free access. However, there are few constraints we must consider:

- The pavement of the route: Currently, this route is not suitable for patient bed. new pavement has been proposed to suit the client requirements.
- External lighting.
- Removal of existing road Bollards.



3.3 Proposal - Ground Floor

Proposed Design:

Proposed areas NIA (includes shared, comm and internal plant spaces):

Audiology:	191 m2
Clinical Admin:	931 m2
Education & Training:	227 m2
Haematology:	279 m2

Room adjacency and areas are based on existing provisions and SoA.

Education centre sit on Ground Floor.

Haematology on Ground Floor and a new A/C unit will be covered by timber screen to suit the surrounding areas.

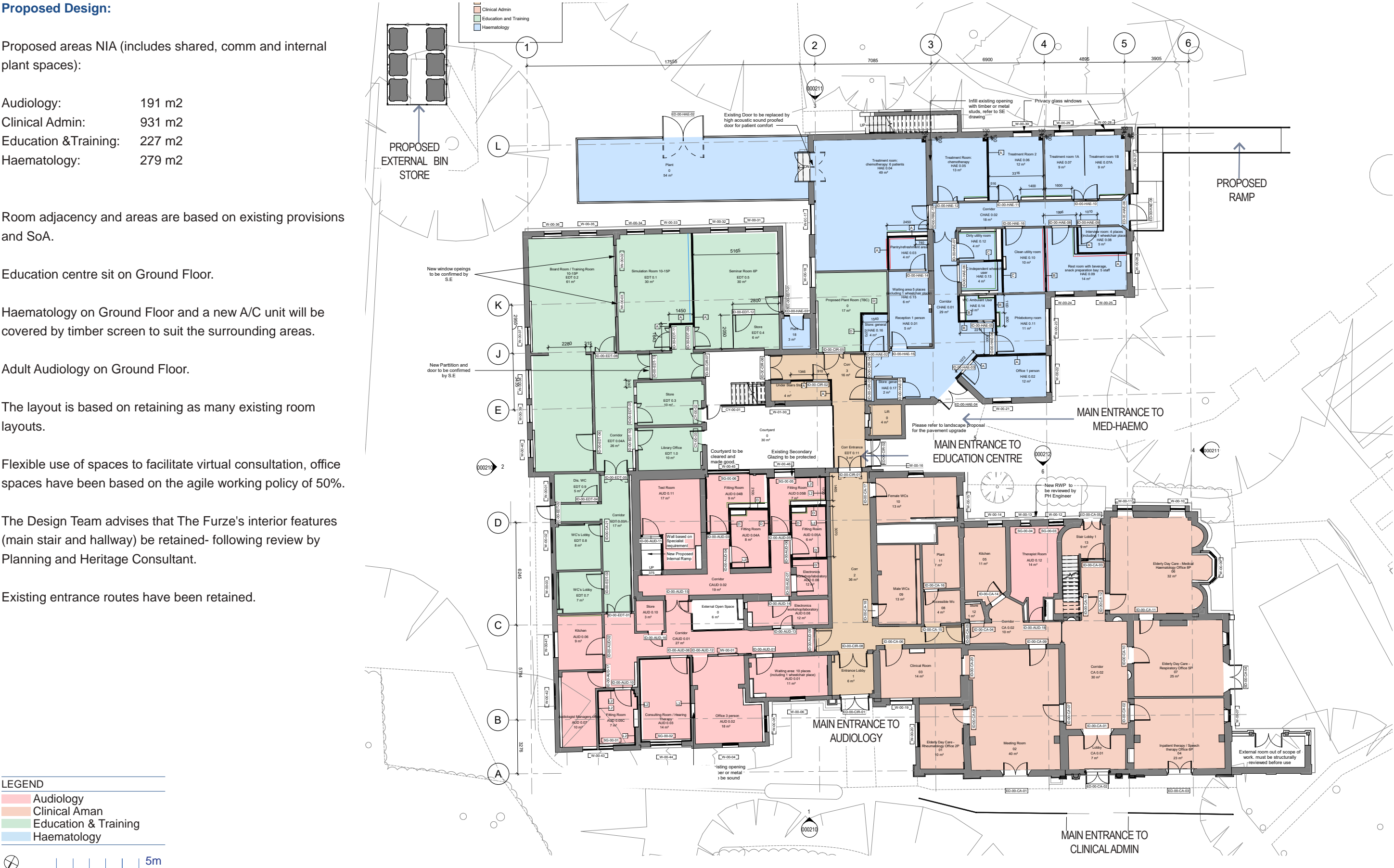
Adult Audiology on Ground Floor.

The layout is based on retaining as many existing room layouts.

Flexible use of spaces to facilitate virtual consultation, office spaces have been based on the agile working policy of 50%.

The Design Team advises that The Furze's interior features (main stair and hallway) be retained- following review by Planning and Heritage Consultant.

Existing entrance routes have been retained.



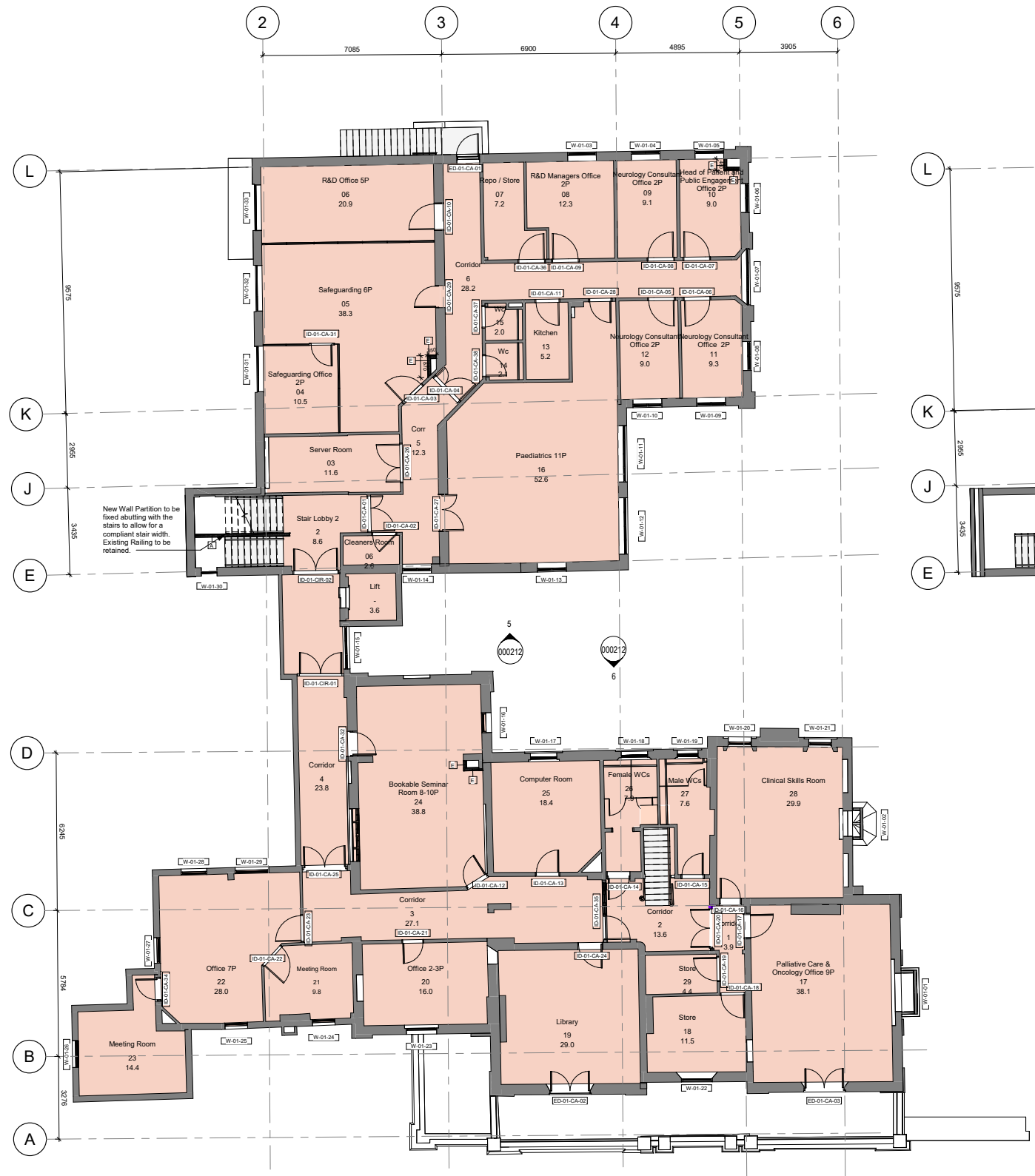
LEGEND

■	Audiology
■	Clinical Admin
■	Education & Training
■	Haematology

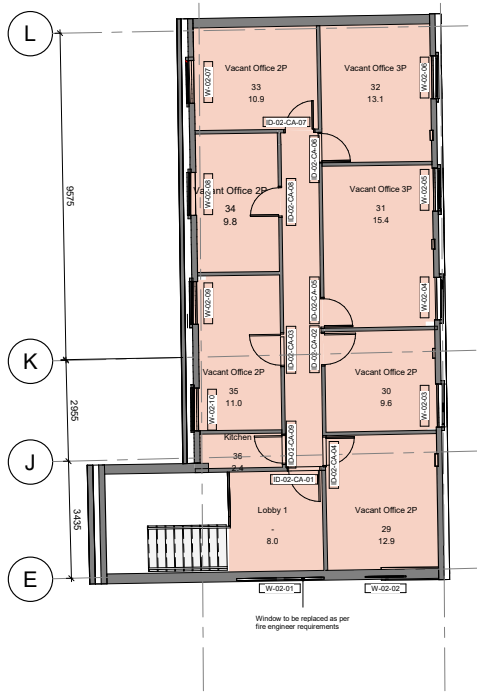
5m

3.3 Proposal - First and Second Floor

FIRST FLOOR



SECOND FLOOR



Proposed Design:

The first-floor has been assigned to the clinical admin. Therefore, only office spaces will accomdate this space. the layout has been retained with minimum demoliton work of one partition to allow for larger spaces and replacement / reapiire of few damaged doors/ floor and ceilings following water damage internally. All replacements will be set like for like.

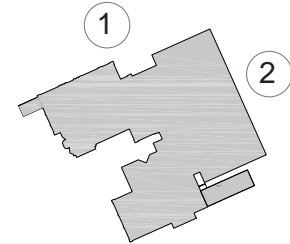
LEGEND

Clinical Admin

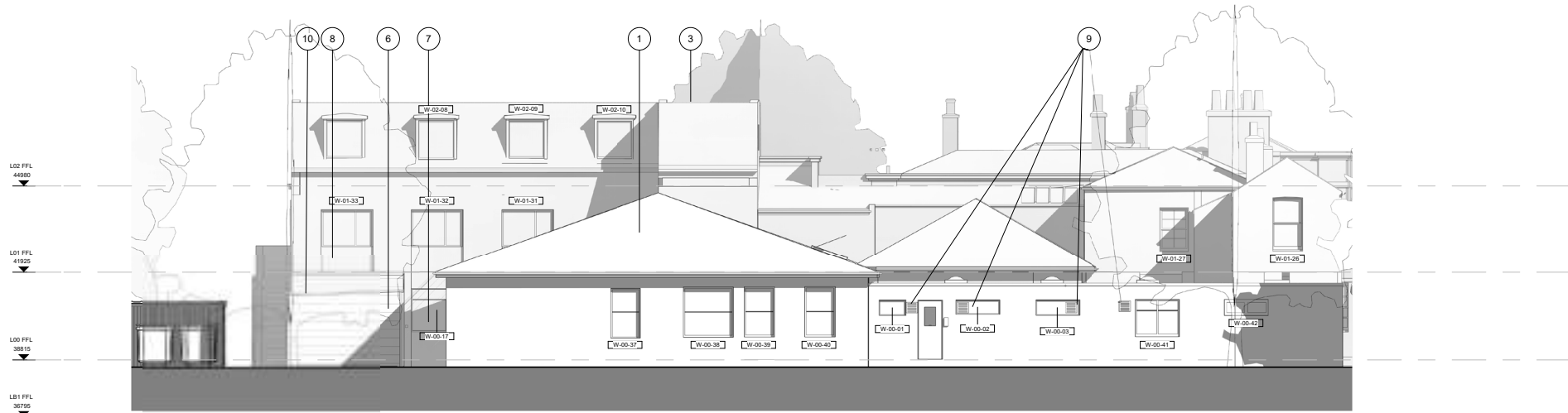
5m

3.4 Proposed Elevation

- Existing roof is to be retained and refurbished or replaced like for like where repair is not possible, including flashing and gutters. (refer to drawing THHFP1-LDW-Z-RF-DR-A-000123)
- The chimney brick to be repointed to match existing and all flashing to be made good.
- Remove the redundant damaged roof light and close up the opening. Reinstate the area to match the rest of the roof.
- All existing guttering to be made good and replaced like for like where needed.
- Re-Render in a hot lime render (NOT NHL3.5 or 2) areas that are to be rendered in the lime render are the old parts of the building (Solid wall construction) Other areas which are the later additions, with modern construction can be rendered in standard sand and cement. Hollis - draft schedule of condition 14 August 2023 120937-100/met/cbK
- New treated timber fence enclosure to A/C Plant to be positioned in front of existing facade (Refer to drawing THHFP1-LDW-ZZ-00-DR-A-700017).
- Existing windows & doors to be repaired or replaced like for like where needed.
- Existing decaying timber spandrel panels to be carefully removed to allow fire stopping to be made good.
New rendered rainscreen panel non-combustible cladding system to be installed in lieu of the removed timber.
- New Grille to be installed following MEP Design
Change in existing vents and replacement of locations according to MEP design based on usage of building. (refer to THHFP1-LDW-ZZ-ZZ-DR-A-210005).
- Roof covering to be added to the plant area for compliance with HTM 03-01 document, (When refurbishing or changing the use of an existing building, plant space should be created to house the ventilation plant and other services. If located at ground level they should be secured within a plantroom to prevent unauthorised access.) (refer to THHFP1-LDW-ZZ-00-DR-A-700017).
- Railing to match adjacent yellow railing with a larger opening at the entrance

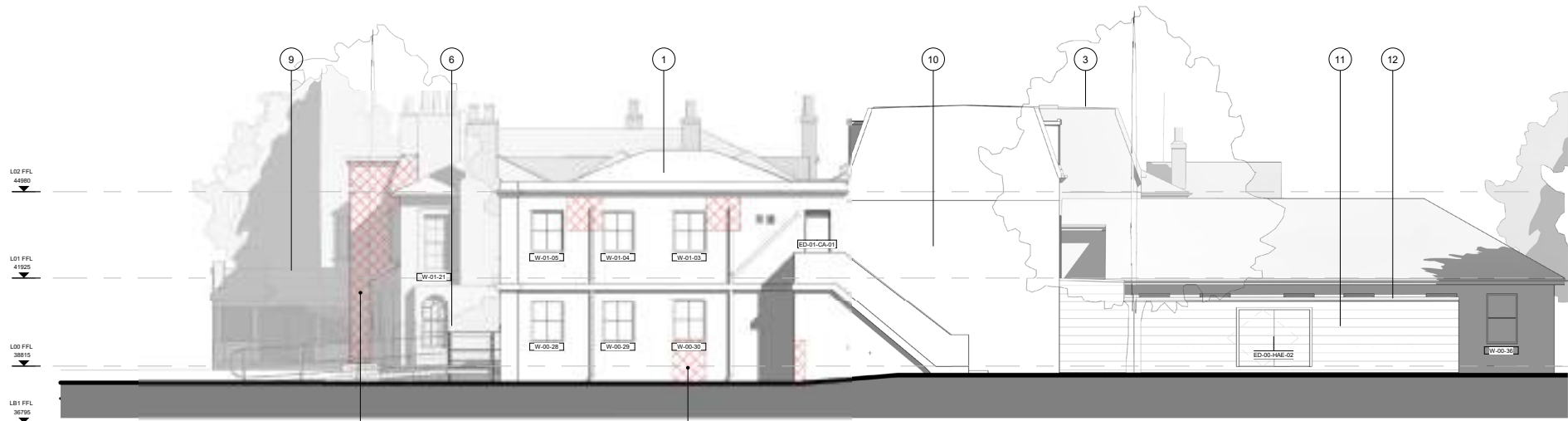


Elevation 01



Elevation 02

3.4 Proposed Elevation

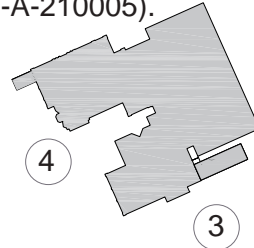


Elevation 03



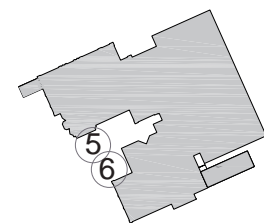
Elevation 04

- Existing roof is to be retained and refurbished or replaced like for like where repair is not possible, including flashing and gutters. (refer to drawing THHFP1-LDW-Z-RF-DR-A-000123)
- The chimney brick to be repointed to match existing and all flashing to be made good
- Remove the redundant damaged roof light and close up the opening. Reinststate the area to match the rest of the roof.
- All existing guttering to be made good and replaced like for like where needed.
- New paint finish to replace existing decaying painted brick walls painted to match colour of Georgian stucco finish. (Extent of the work to be agreed with local authority following further assessment and secured by planning condition) Paint to better match the existing limewash paintwork.
- New ramp to be installed for compliance with Building Regulation
- Existing windows & doors to be repaired or replaced like for like where needed.
- Existing decaying timber spandrel panels to be carefully removed to allow fire stopping to be made good. New rendered rainscreen panel non-combustible cladding system to be installed in lieu of the removed timber.
- Following clients confirmation - Shed space to be retained and not repaired. Architect recomendation for the shed to remain closed and not used.
- Re-Render in a hot lime render (NOT NHL3.5 or 2) areas that are to be rendered in the lime render are the old parts of the building (Solid wall construction) Other areas which are the later additions, with modern construction can be rendered in standard sand and cement. Hollis - draft schedule of condition 14 August 2023 120937-100/met/cbK
- New treated timber fence enclosure to A/C Plant to be positioned in front of existing facade (Refer to drawing THHFP1-LDW-ZZ-00-DR-A-700017).
- Roof covering to be added to the plant area for compliance with HTM 03-01 document, (When refurbishing or changing the use of an existing building, plant space should be created to house the ventilation plant and other services. If located at ground level they should be secured within a plantroom to prevent unauthorised access.) (refer to THHFP1-LDW-ZZ-00-DR-A-700017).
- New Grille to be installed following MEP Design Change in existing vents and replacement of locations according to MEP design based on usage of building. (refer to THHFP1-LDW-ZZ-ZZ-DR-A-210005).



3.4 Proposed Elevation

- 1. Existing roof is to be retained and refurbished or replaced like for like where repair is not possible, including flashing and gutters. (refer to drawing THHFP1-LDW-Z-RF-DR-A-000123)
- 2. Remove the redundant damaged roof light and close up the opening. Reinstall the area to match the rest of the roof.
- 3. All existing guttering to be made good and replaced like for like.
- 4. New paint finish to replace existing decaying painted brick walls painted to match colour of Georgian stucco finish. (Extent of the work to be agreed with local authority following further assessment and secured by planning condition)
Paint to better match the existing limewash paintwork.
- 5.Existing windows & doors to be repaired or replaced like for like where needed.
- 6. Missing RWP to be replaced by a new RWP.
- 7. Re-Render in a hot lime render (NOT NHL3.5 or 2) areas that are to be rendered in the lime render are the old parts of the building (Solid wall construction) Other areas which are the later additions, with modern construction can be rendered in standard sand and cement. Hollis - draft schedule of condition 14 August 2023 120937-100/met/cbK
- 8. New Grille to be installed following MEP Design. Change in existing vents and replacement of locations according to MEP design based on usage of building. (refer to THHFP1-LDW-ZZ-ZZ-DR-A-210005).



Elevation 06



Elevation 05

3.5 Proposed Sections



Section AA



Section BB

