

GENERAL STRIP OUT NOTES
 Strip Out Package to be submitted to Planners to satisfy all their conditions. Follow Hillingdon Conservation officer's requirements as instructions.
 Submit review H&S risk assessment, control and prevention measures and Method Statement (RAMS). Contractor to provide Method Statement for the safe removal of redundant medical gas pipes and existing generators if present.
 The extent of proposed demolition/ Strip-Out is shown on Consultant's drawings. These works (all new openings in walls, floors and staircases as well as other works that might jeopardise the structural stability of the adjacent structure at any time during the works) will require the sequence of Strip out to be carefully considered by the demolition contractor to ensure that stability of the remaining portions is maintained at all times. Contractor must follow all BREEM requirements list provided by MEP consultant.
 This drawing is to be read in conjunction with MEP and SE's consultants demolition drawings, specifications and Architects proposed drawings, details and specification.

Once a full Asbestos survey and report has been carried out and submitted to all the relevant parties the selected licensed contractor is to carry out the required asbestos removal and issue clear site clearance certification for reoccupation when work has been completed having made sure the areas requiring clearance assessment have been thoroughly cleaned and allowed to dry following the guidance in HSE publication Managing and working with asbestos in regard to:
 - checking site condition
 - job completeness and carrying out a thorough visual inspection.

Demolition Contractor to provide a method statement for isolation of incoming mains where necessary. Civil Engineer's + M&E Consultants to be consulted in advance of any isolation or removal of services.
 Removal of all carpets, loose furnishings, doors, panelling etc. (anything that is not structural or integral to the building) to be checked.

All boxing out of existing structures and services to be removed for inspection. Existing services to be evaluated by M&E consultants before carefully removing. Once all existing structures have been opened Structural Engineer to assess the structures integrity and document / report the findings to the design team.

Demolition contractor to provide a method statement for all elements of the building to be removed, carefully along with supporting details prior to any strip out or demolition work being carried out on site. All documentation to be sent to the design team, Hillingdon planning officer and conservation officer for review. Seek further instructions prior to proceeding.

External walls:
 Retention: Demolition contractor to provide a method statement for works required on the retained walls.
 Removal: Demolition contractor to provide a method statement for all openings to be carefully made in the external walls.

Internal walls:
 Retention: All internal walls to be retained unless stated otherwise.
 Removal: Demolition Contractor to provide a method statement for all openings to be made, where any load bearing walls are to be removed suitable temporary and/or permanent works must be carried out as instructed by Structural Engineer.

Windows
 Removal: Demolition contractor to provide a method statement for the removal of all windows where replacement windows are proposed. (Refer to window schedule for list, details and condition survey provided by Hollis survey 14.08.2023 Ref: 120937-100/MET/CBK)
 Retained: Demolition contractor to provide RAMS and adequate protection to retained windows in the listed building. (Refer to schedule for list and details).

Window sills:
 Retention: All window sills to follow condition survey provided by Hollis survey 14.08.2023 Ref: 120937-100/MET/CBK) Contractor to submit proposal for review and seek further instruction before proceeding.
 Demolition contractor to provide adequate protection to retained sills.

Doors External and Internal
 Retention: All external doors to be retained unless stated otherwise within condition survey provided by Hollis survey 14.08.2023 Ref: 120937-100/MET/CBK).
 Demolition contractor to provide a method statement for works required to doors to be retained.
 Removal: Demolition contractor to provide a method statement for the proposed careful removal of external & internal doors. (Refer to door schedule for list and details).

Stairs
 Retention: Demolition contractor to protect retained staircases during the demolition works.

Chimney Stack
 Retention: Existing chimney stack conditions to be surveyed fully and a method statement for making good to be submitted.
 Contractor to provide any temporary works needed to maintain the stability of the building fabric during the works; submit proposal for review and seek further instructions to proceed.

Floor and Ceiling
 Floor finishes to be carefully removed by contractor, SE to assess the structural integrity and report on the findings.
 Floor finishes to be removed and replaced with new finishes based on floor finishes plan series 41000

Suspended Ceiling
 All suspended ceilings within the Ground floor Original building are to be carefully removed following review on site.
 - Secondary ceiling to be retained and demolished only where required.
 - If ceiling removal is required due to strip out, then ceiling to be replaced like for like.

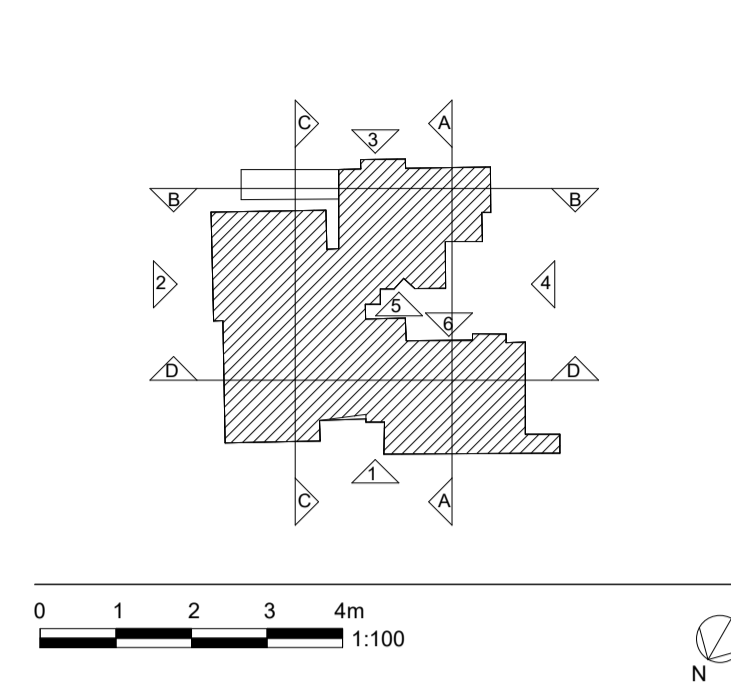
Sanitarywear
 Sanitarywear to be repaired if damaged, removed and replaced like for like when repair is not applicable. See Sanitaryware Schedule SH-030005

General Note:
 Revisions to the drawings may be required following receipt of both Invasive and Non-Invasive surveys, and any additional adjustments will occur by updates to the Structure and Mechanical & Electrical (M&E) Engineering elements.
 Before the commencement of on-site activities, it is crucial to obtain confirmation from the Trust for all drawings. Moreover, any modifications to the design beyond the original scope must strictly adhere to the requirements of the Planning Approval and Listed Building Consent.

Notes

- All dimensions to be checked on site
- Do not scale off this drawing
- All dimensions are shown in mm unless otherwise stated
- Refer to drawing issue sheet for purpose of issue
- If in doubt ask
- © Llewelyn Davies Weeks

Key Plan



- TO BE DEMOLISHED
- EXISTING BUILDING TO BE RETAINED
- SUSPENDED CEILING TO BE DEMOLISHED

FOR ALL MEP INFORMATION REFER TO CPW DRAWINGS
 ALL ORIGINAL FEATURES WITHIN THE ORIGINAL BUILDING ARE TO BE PROTECTED. SUBMIT PROPOSAL FOR REVIEW

Project Work Stage

REV	DESCRIPTION	DATE	BY	CHK	LD
P01	For Planning	26/02/24			

Structural Consultant: **CAMPBELL REITH** Services Consultant: **CPW**

Cost Consultant: **CURRIE & BROWN**

Project Title: **HILLINGDON HOSPITAL - THE FURZE**

Client: **THE HILLINGDON HOSPITAL NHS FOUNDATION TRUST**

Drawing Title: **DEMOLITION ROOF LEVEL**

Project Number: **LD20 192.00** Project Status
 Drawing Number: **THHFP1-LDW-ZZ-RF-DR-A-000132** P01
 Scale @ A1: **1 : 100** Date: **26/02/24**
 Architect

LLEWELYN DAVIES
 Architects | Planners | Designers
 The Rookery | 3rd Floor | 2 Dyott Street | London | WC1A 1DE
 T +44(0)20 7907 7900 | E london@ldavies.com
 www.ldavies.com