

Schedule of condition

The Furze, Hillingdon Hospital, Pield Heath Road, Hillingdon UB8 3NN



Prepared for: Northmores
Prepared by: Chris Baker BSc (Hons) MRICS
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1. Introduction

1.1. Brief/background

- 1.1.1. This Schedule of Condition has been prepared in relation to record the condition of external windows, doors and stucco render at The Furze.

1.2. Date of inspection/weather conditions

- 1.2.1. The property was inspected by Chris Baker BSc (Hons) MRICS; Phoebe Lowe BSc (Hons); Isobel Harrison BSc (Hons) on 12 April 2023.

- 1.2.2. A return visit was completed by Chris Baker on 02 August 2023 to record the external condition of the high level windows and the windows and doors in in the ground floor courtyard.

- 1.2.3. Weather conditions at the time of this inspection were dry, overcast and windy.

1.3. Scope and limitations

- 1.3.1. This schedule of condition is based on a non-intrusive inspection and describes only the visual condition of the elements. We have inspected only those areas which were reasonably accessible.

- 1.3.2. The following general limitations apply to our inspection and this schedule:

- We have not tested the mechanical and electrical installations, although comments on their visual condition are provided;
- We have not inspected nor tested the below ground drainage;
- We have not provided any comments on contamination nor environmental issues;
- We have not assessed nor commented on any breaches of statutory compliance or other legal issues;
- We have not commented on the presence of any deleterious materials.

1.4. Definitions

1.4.1. The following definitions have been used to describe the condition of various elements of construction:




- *Excellent* – used to describe an element, finish, material or installation which shows no discernible signs of deterioration from new and is fully performing its intended function.
- *Good* – used to describe an element, finish, material or installation which shows minimal signs of deterioration from new and is still fully performing its intended function.
- *Fair* – used to describe an element, finish, material or installation which shows clear signs of wear and tear and deterioration from new but is still performing its intended function.
- *Poor* – used to describe an element, finish, material or installation which is appreciably damaged or has deteriorated significantly from new. Elements, finishes, materials or installations which are not performing their intended function are described as being in poor condition.




1.4.2. Cracks to plasterwork and masonry are classified in accordance with BRE Digest 251 where the width of the crack is recorded as best as possible as follows:




- *Category 0* – Hairline cracks, that is to say, cracks of less than 0.1mm in width and which are classified as negligible. Plaster-type surfaces only.
- *Category 1* – Fine cracks, again rarely visible to facing brickwork, typically up to 1mm in width.
- *Category 2* – Cracks of between 1 and 5mm and typically not necessarily visible in facing brickwork.
- *Category 3* – Cracks of between 5 and 15mm (or several cracks of say 3mm in width).
- *Category 4* – Cracks of between 15 and 25mm which generally denote extensive damage.
- *Category 5* – Cracks exceeding 25mm in width denoting structural damage (though this is dependent on the number of cracks).




1.4.3. This schedule of condition does not seek to determine the precise cause of the defects or damage recorded nor does it attempt to set out the rectification works required.




2. Schedule of condition




1.	Location: Ground Floor – East elevation	Element: Internal window 00-01
	Description: Steel frame Crittall window with single glazing and paint finish.	
	Condition: Fair. Operational. Poor paint finish	
2.	Location: Ground Floor – East elevation	Element: Internal window 00-01
	Description: Steel frame Crittall window with single glazing and paint finish.	
	Condition: As above. As above.	
3.	Location: Ground Floor – East elevation	Element: External window 00-01
	Description: Steel frame Crittall window with single glazing and paint finish.	
	Condition: Poor. Decay to the entire timber cill. Defective sealant. Poor paint finish.	




4.	Location: Ground Floor – East elevation	Element: External window 00-01
	Description: Steel frame Crittall window with single glazing and paint finish.	
	Condition: As above.	
5.	Location: Ground Floor – East elevation	Element: Internal window 00-02
	Description: Steel frame Crittall window with single glazing and paint finish.	
	Condition: Fair. Operational. Poor paint finish.	
6.	Location: Ground Floor – East elevation	Element: Internal window 00-02
	Description: Steel frame Crittall window with single glazing and paint finish.	
	Condition: Fair. As above.	




7.	Location: Ground Floor – East elevation	Element: External window 00-02
	Description: Steel frame Crittall window with single glazing and paint finish. Condition: Poor. Decay to the entire timber cill. Defective sealant. Poor paint finish.	
8.	Location: Ground Floor – East elevation	Element: External window 00-02
	Description: Steel frame Crittall window with single glazing and paint finish. Condition: Poor. As above.	
9.	Location: Ground Floor – East elevation	Element: Internal window 00-03
	Description: Steel frame Crittall window with single glazing and paint finish. Condition: Fair. Operational. Poor paint finish.	




10.	Location: Ground Floor – East elevation	Element: Internal window 00-03
	Description: Steel frame Crittall window with single glazing and paint finish.	
	Condition: Fair. As above.	
11.	Location: Ground Floor – East elevation	Element: External window 00-03
	Description: Steel frame Crittall window with single glazing and paint finish.	
	Condition: Poor. Decay to the entire timber cill. Defective sealant. Poor paint finish.	
12.	Location: Ground Floor – East elevation	Element: External window 00-03
	Description: Steel frame Crittall window with single glazing and paint finish.	
	Condition: Poor. As above.	




13.	Location: Ground Floor – North elevation	Element: Internal window 00-04
	Description: Timber frame vertical sliding sash window with single glazing and paint finish. Condition: Fair. Operational.	
14.	Location: Ground Floor – North elevation	Element: Internal window 00-04
	Description: Timber frame vertical sliding sash window with single glazing and paint finish. Condition: Fair. As above.	
15.	Location: Ground Floor – North elevation	Element: External window 00-04
	Description: Timber frame vertical sliding sash window with single glazing and paint finish. Condition: Fair. Poor paint finish.	




16.	Location: Ground Floor – North elevation	Element: Internal window 00-05
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Fair. Locked shut.	
17.	Location: Ground Floor – North elevation	Element: Internal window 00-05
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Fair. As above.	
18.	Location: Ground Floor – North elevation	Element: Internal window 00-05
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Fair. As above.	




19.	Location: Ground Floor – North elevation	Element: External window 00-05
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Poor. Decay to the timber cill and bottom rail. Poor paint finish.	
20.	Location: Ground Floor – North elevation	Element: External window 00-05
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: As above.	
21.	Location: Ground Floor – North elevation	Element: Internal window 00-06
	Description: Timber frame vertical sliding sash window with double glazing and paint finish.	
	Condition: Fair. Unable to test window secured shut.	




22.	Location: Ground Floor – North elevation	Element: Internal window 00-06
	Description: Timber frame vertical sliding sash window with double glazing and paint finish.	
	Condition: As above. As above.	
23.	Location: Ground Floor – North elevation	Element: External window 00-06
	Description: Timber frame vertical sliding sash window with double glazing and paint finish.	
	Condition: Poor. Decay to timber cill. Poor paint finish.	
24.	Location: Ground Floor – North elevation	Element: External window 00-06
	Description: Timber frame vertical sliding sash window with double glazing and paint finish.	
	Condition: Poor. As above.	




25.	Location: Ground Floor – North elevation	Element: External window 00-06
	Description: Timber frame vertical sliding sash window with double glazing and paint finish.	
	Condition: Poor. As above.	
26.	Location: Ground Floor – West elevation	Element: Internal window 00-07
	Description: Timber frame side hung casement window with single glazing and paint finish.	
	Condition: Poor. Does not operate correctly. Difficult to open and close. Missing catch on lock. Timber shrinkage causing splitting to frame. Poor paint finish.	
27.	Location: Ground Floor – West elevation	Element: Internal window 00-07
	Description: Timber frame side hung casement window with single glazing and paint finish.	
	Condition: Poor. As above.	




28.	Location: Ground Floor – West elevation	Element: Internal window 00-07
	Description: Timber frame side hung casement window with single glazing and paint finish.	
	Condition: Poor. As above.	
29.	Location: Ground Floor – West elevation	Element: External window 00-07
	Description: Timber frame side hung casement window with single glazing and paint finish.	
	Condition: Poor. Poor paint finish.	
30.	Location: Ground Floor – West elevation	Element: External window 00-07
	Description: Timber frame side hung casement window with single glazing and paint finish.	
	Condition: Poor. As above.	




31.	Location: Ground Floor – West elevation	Element: External window 00-07
	Description: Timber frame side hung casement window with single glazing and paint finish.	
	Condition: As above.	
32.	Location: Ground Floor – West elevation	Element: Internal window 00-08
	Description: Timber frame side hung casement window with single glazing and paint finish.	
	Condition: Fair. Operates poorly. Window sticks. Handle loose. Poor paint finish.	
33.	Location: Ground Floor – West elevation	Element: Internal window 00-08
	Description: Timber frame side hung casement window with single glazing and paint finish.	
	Condition: Fair. As above.	




34.	Location: Ground Floor – West elevation	Element: External window 00-08
	Description Timber frame side hung casement window with single glazing and paint finish.	
	Condition: Poor. Decay to the entire timber cill, bottom rail and mid rail. Defective sealant. Poor paint finish.	
35.	Location: Ground Floor – West elevation	Element: External window 00-08
	Description: Timber frame side hung casement window with single glazing and paint finish.	
	Condition: Poor. As above.	
36.	Location: Ground Floor – West elevation	Element: External window 00-08
	Description: Timber frame side hung casement window with single glazing and paint finish.	
	Condition: Poor. As above.	




37.	Location: Ground Floor – West elevation	Element: Internal window 00-09
	Description: Timber frame side hung casement window with single glazing and paint finish. Condition: Poor. Operational. Fixings to top level restrictor missing. Decay to entire timber bottom rail. Poor paint finish	
38.	Location: Ground Floor – West elevation	Element: Internal window 00-09
	Description: Timber frame side hung casement window with single glazing and paint finish. Condition: Poor. As above.	
39.	Location: Ground Floor – West elevation	Element: Internal window 00-09
	Description: Timber frame side hung casement window with single glazing and paint finish. Condition: Poor. As above.	




40.	Location: Ground Floor – West elevation	Element: External window 00-09
	Description Timber frame side hung casement window with single glazing and paint finish.	
	Condition: Poor. Missing and defective timber cill. Decay to cill. Defective and missing sealant. Poor paint finish.	
41.	Location: Ground Floor – West elevation	Element: External window 00-09
	Description: Timber frame side hung casement window with single glazing and paint finish.	
	Condition: Poor. As above.	
42.	Location: Ground Floor – West elevation	Element: External window 00-09
	Description: Timber frame side hung casement window with single glazing and paint finish.	
	Condition: Poor. As above.	




43.	Location: Ground Floor – West elevation	Element: Internal window 00-10
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Poor. Does not operate correctly. Screwed shut. Two glazing panels cracked. Decay to timber bottom rail. Poor paint finish.	
44.	Location: Ground Floor – West elevation	Element: Internal window 00-10
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Poor. As above.	
45.	Location: Ground Floor – West elevation	Element: Internal window 00-10
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Poor. As above.	




46.	Location: Ground Floor – West elevation	Element: External window 00-10
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Poor. Decay to timber cill, bottom rail, Jambs and bars. Defective sealant. Poor paint finish.	
47.	Location: Ground Floor – West elevation	Element: External window 00-10
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Poor. As above.	
48.	Location: Ground Floor – West elevation	Element: Internal window 00-11
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Poor. Does not operate correctly. Screwed shut. One loose glazing panel. Decay to timber bottom rail extending up the sash bars. Poor paint finish.	




49.	Location: Ground Floor – West elevation	Element: Internal window 00-11
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Poor. As above.	
50.	Location: Ground Floor – West elevation	Element: Internal window 00-11
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Poor. As above.	
51.	Location: Ground Floor – West elevation	Element: External window 00-11
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Poor. Decay to entire timber cill and bottom rail. One loose glazing panel. Poor paint finish.	




52.	Location: Ground Floor – West elevation	Element: External window 00-11
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Poor. As above	
53.	Location: Ground Floor – West elevation	Element: External window 00-11
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Poor. As above.	
54.	Location: Ground Floor – West elevation	Element: Internal window 00-12
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Poor. Does not operate correctly. Screwed shut. Sash cords snapped. Decay to bottom rail. Poor paint finish.	




55.	Location: Ground Floor – West elevation	Element: Internal window 00-12
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Poor. As above.	
56.	Location: Ground Floor – West elevation	Element: Internal window 00-12
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Poor. As above.	
57.	Location: Ground Floor – West elevation	Element: External window 00-12
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Poor. As above.	




58.	Location: Ground Floor – West elevation	Element: External window 00-12
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Fair. As above.	
59.	Location: Ground Floor – West elevation	Element: Internal window 00-13
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Poor. Does not operate correctly. Screwed shut. Decay to timber cill and bottom rail extending up the stiles. Poor paint finish.	
60.	Location: Ground Floor – West elevation	Element: Internal window 00-13
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Poor. Does not operate correctly. Screwed shut. Decay to timber cill and bottom rail extending up the stiles. Poor paint finish.	




61.	Location: Ground Floor – West elevation	Element: Internal window 00-13
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Poor. As above.	
62.	Location: Ground Floor – West elevation	Element: External window 00-13
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Poor. As above.	
63.	Location: Ground Floor – West elevation	Element: Internal window 00-14
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Poor. Operates poorly. Does not stay open. Decay to entire timber bottom rail. Poor paint finish.	




64.	Location: Ground Floor – West elevation	Element: Internal window 00-14
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Fair. As above.	
65.	Location: Ground Floor – West elevation	Element: Internal window 00-14
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Poor. As above.	
66.	Location: Ground Floor – West elevation	Element: External window 00-14
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Poor. Decay to the entire timber cill. Poor sealant. Poor paint finish.	




67.	Location: Ground Floor – West elevation	Element: External window 00-14
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Poor. As above.	
68.	Location: Ground Floor – West elevation	Element: Internal window 00-15
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Poor. Does not operate. Screwed shut. Lock broken. Poor paint finish.	
69.	Location: Ground Floor – West elevation	Element: Internal window 00-15
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Poor. As above.	



70.	Location: Ground Floor – West elevation	Element: External window 00-15
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Poor. Decay to the entire timber jambs, rails and bars. Loose sealant. Poor paint finish	
71.	Location: Ground Floor – West elevation	Element: External window 00-15
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Poor. As above.	
72.	Location: Ground Floor – West elevation	Element: Internal window 00-16
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Poor. Does not operate. Sash cords snapped. Poor paint finish. Two cracked glazing panel.	




73.	Location: Ground Floor – West elevation	Element: Internal window 00-16
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Poor. As above.	
74.	Location: Ground Floor – West elevation	Element: Internal window 00-16
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Poor. As above.	
75.	Location: Ground Floor – West elevation	Element: External window 00-16
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Poor. Missing and defective sealant. Poor paint finish.	




76.	Location: Ground Floor – West elevation	Element: External window 00-16
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Poor. As above.	
77.	Location: Ground Floor – West elevation	Element: External window 00-16
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Poor. As above.	
78.	Location: Ground Floor – South elevation	Element: Internal window 00-17
	Description: Steel frame side hung Crittall window with single glazing and paint finish.	
	Condition: Fair. Operational. Opening restricted by window restrictor. Poor paint finish throughout.	

79.	Location: Ground Floor – South elevation	Element: External window 00-17
	Description: Steel frame side hung Crittall window with single glazing and paint finish.	
	Condition: Fair. As above.	
80.	Location: Ground Floor – South elevation	Element: Internal window 00-18
	Description: Steel frame side hung Crittall window with single glazing and paint finish.	
	Condition: Fair. Operational. Opening restricted by window restrictor. Poor paint finish throughout.	
81.	Location: Ground Floor – South elevation	Element: Internal window 00-18
	Description: Steel frame side hung Crittall window with single glazing and paint finish.	
	Condition: Fair. As above.	




82.	Location: Ground Floor – South elevation	Element: External window 00-18
	Description: Steel frame side hung Crittall window with single glazing and paint finish.	
	Condition: Poor. Poor paint finish throughout.	
83.	Location: Ground Floor –North elevation	Element: Internal window 00-19
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Poor. Operational. Decay to mid rail and bottom rail. Poor paint finish.	
84.	Location: Ground Floor –North elevation	Element: Internal window 00-19
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: As above.	




85.	Location: Ground Floor –North elevation	Element: Internal window 00-19
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Poor. As above.	
86.	Location: Ground Floor –North elevation	Element: External window 00-19
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Poor. Decay to timber cill and bottom rail. Cracked stone cill.	
87.	Location: Ground Floor –North elevation	Element: Internal window 00-20
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Poor. Does not operate correctly. Locked shut. One cracked panel. Mould to timber throughout. Poor paint finish.	




88.	Location: Ground Floor –North elevation	Element: Internal window 00-20
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Poor. As above.	
89.	Location: Ground Floor –North elevation	Element: Internal window 00-20
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Poor. As above.	
90.	Location: Ground Floor –North elevation	Element: External window 00-20
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Poor. Decay to entire timber cill. Poor paint finish	




91.	Location: Ground Floor –North elevation	Element: External window 00-20
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Poor. As above.	
92.	Location: Ground Floor – West elevation	Element: Internal window 00-21
	Description: Timber side hung casement window with double glazing and a paint finish	
	Condition: Fair. Operational. Timber shrinkage causing splitting in the frame. Poor paint finish.	
93.	Location: Ground Floor – West elevation	Element: Internal window 00-21
	Description: Timber side hung casement window with double glazing and a paint finish	
	Condition: Fair. As above.	




94.	Location: Ground Floor – West elevation	Element: Internal window 00-21
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Fair. As above.	
95.	Location: Ground Floor – West elevation	Element: External window 00-21
	Description: Timber side hung casement window with double glazing and a paint finish.	
	Condition: Poor. Broken vent cover to top rail. Poor paint finish.	
96.	Location: Ground Floor – West elevation	Element: External window 00-21
	Description: Timber side hung casement window with double glazing and a paint finish.	
	Condition: Poor. As above.	




97.	Location: Ground Floor – West elevation	Element: Internal window 00-22
	<p>Description: Side hung timber casement window with double glazing and a paint finish.</p> <p>Condition: Fair. Operational. 2no. screws missing to the restrictor. Slight splitting in the timber frame due to shrinkage. Poor paint finish.</p>	
98.	Location: Ground Floor – West elevation	Element: External window 00-22
	<p>Description: Side hung timber casement window with double glazing and a paint finish.</p> <p>Condition: Poor. Missing timber to the bottom rail. Decay to the timber bars throughout. Poor paint finish.</p>	
99.	Location: Ground Floor – West elevation	Element: External window 00-22
	<p>Description: Side hung timber casement window with double glazing and a paint finish.</p> <p>Condition: Poor. As above.</p>	




100.	Location: Ground Floor – West elevation	Element: External window 00-22
	Description: Side hung timber casement window with double glazing and a paint finish..	
	Condition: Poor. As above.	
101.	Location: Ground Floor – West elevation	Element: Internal window 00-23
	Description: Side hung timber casement window with double glazing and a paint finish..	
	Condition: Fair. Operational. 2no. screws missing to the restrictor. Slight splitting of the timber frame due to shrinkage.	
102.	Location: Ground Floor – West elevation	Element: Internal window 00-23
	Description: Side hung timber casement window with double glazing and a paint finish.	
	Condition: Fair. As above.	




103.	Location: Ground Floor – West elevation	Element: External window 00-23
	Description: Side hung timber casement window with double glazing and a paint finish.	
	Condition: Poor. Missing timber to the sash bar. Decay to the timber bars throughout. Poor paint finish.	
104.	Location: Ground Floor – West elevation	Element: External window 00-23
	Description: Side hung timber casement window with double glazing and a paint finish.	
	Condition: Poor. As above.	
105.	Location: Ground Floor – West elevation	Element: Internal window 00-24
	Description: Timber side hung casement window with double glazing and a paint finish.	
	Condition: Fair. Operational. Missing lock fixing to bottom rail. Timber shrinkage causing splitting in the frame. Poor paint finish.	




106.	Location: Ground Floor – West elevation	Element: Internal window 00-24
	Description: Timber side hung casement window with double glazing and a paint finish. Condition: Fair. As above.	
107.	Location: Ground Floor – West elevation	Element: Internal window 00-24
	Description: Timber side hung casement window with double glazing and a paint finish. Condition: Fair. As above.	
108.	Location: Ground Floor – West elevation	Element: External window 00-24
	Description: Timber side hung casement window with double glazing and a paint finish. Condition: Fair. Poor paint finish.	




109.	Location: Ground Floor – West elevation	Element: Internal window 00-25
	Description Timber side hung casement window with double glazing and a paint finish	
	Condition: Poor. Operational. Timber shrinkage causing splitting in the frame. Poor paint finish.	
110.	Location: Ground Floor – West elevation	Element: Internal window 00-25
	Description: Timber side hung casement window with double glazing and a paint finish	
	Condition: Poor. As above.	
111.	Location: Ground Floor – West elevation	Element: External window 00-25
	Description: Timber side hung casement window with double glazing and a paint finish	
	Condition: Fair. Poor paint finish.	




112.	Location: Ground Floor – West elevation	Element: External window 00-25
	Description: Timber side hung casement window with double glazing and a paint finish	
	Condition: Fair. As above.	
113.	Location: Ground Floor – West elevation	Element: Internal window 00-26
	Description: Timber side hung casement window with double glazing and a paint finish.	
	Condition: Fair. Operates moderately. Sticking of the windows. Poor paint finish.	
114.	Location: Ground Floor – West elevation	Element: External window 00-26
	Description: Timber side hung casement window with double glazing and a paint finish.	
	Condition: Fair. Loose timber to mid rail. Decay to entire timber bottom rail extending along the rail and up the stiles. Poor paint finish	




115.	Location: Ground Floor – West elevation	Element: External window 00-26
	Description: Timber side hung casement window with double glazing and a paint finish. Condition: Good. As above.	
116.	Location: Ground Floor – West elevation	Element: Internal window 00-27
	Description: Timber side hung casement window with double glazing and a paint finish. Condition: Poor. Operational. Loose handles and locks. Timber shrinkage causing splitting in the frame.	
117.	Location: Ground Floor – West elevation	Element: Internal window 00-27
	Description: Timber side hung casement window with double glazing and a paint finish. Condition: Poor. As above.	




118.	Location: Ground Floor – West elevation	Element: Internal window 00-27
	Description: Timber side hung casement window with double glazing and a paint finish.	
	Condition: Poor. As above.	
119.	Location: Ground Floor – West elevation	Element: External window 00-27
	Description: Timber side hung casement window with double glazing and a paint finish.	
	Condition: Poor. Missing timber on left side mid rail. Decay to the full timber bottom rail extending along the rail and up the stiles. Poor paint finish. Ivy growth.	
120.	Location: Ground Floor – West elevation	Element: External window 00-27
	Description: Timber side hung casement window with double glazing and a paint finish.	
	Condition: Poor. As above.	




121.	Location: Ground Floor – South elevation	Element: Internal window 00-28
	Description: Timber side hung casement window with double glazing and a paint finish	
	Condition: Poor. Operational. Missing handle and lock to the left side. Right side handle loose. Double glazing blown with condensation. Poor paint finish.	
122.	Location: Ground Floor – South elevation	Element: Internal window 00-28
	Description: Timber side hung casement window with double glazing and a paint finish	
	Condition: Poor. As above.	
123.	Location: Ground Floor – South elevation	Element: Internal window 00-28
	Description: Timber side hung casement window with double glazing and a paint finish	
	Condition: Poor. As above.	




124.	Location: Ground Floor – South elevation	Element: External window 00-28
	Description: Timber side hung casement window with double glazing and a paint finish Condition: Poor. Missing timber to the left side mid rail. Decay to cill and bottom rail extending upwards along the stiles. Poor paint finish.	
125.	Location: Ground Floor – South elevation	Element: External window 00-28
	Description: Timber side hung casement window with double glazing and a paint finish Condition: Poor. As above.	
126.	Location: Ground Floor – South elevation	Element: External window 00-28
	Description: Timber side hung casement window with double glazing and a paint finish Condition: Poor. As above.	




127.	Location: Ground Floor – South elevation	Element: Internal window 00-29
	Description: Timber side hung casement window with double glazing and a paint finish.	
	Condition: Poor. Operational. Left hand side latch loose. Shrinkage of the timber causing splitting in the frame. Poor paint finish.	
128.	Location: Ground Floor – South elevation	Element: Internal window 00-29
	Description: Timber side hung casement window with double glazing and a paint finish.	
	Condition: Poor. As above.	
129.	Location: Ground Floor – South elevation	Element: Internal window 00-29
	Description: Timber side hung casement window with double glazing and a paint finish.	
	Condition: Poor. As above.	




130.	Location: Ground Floor – South elevation	Element: External window 00-29
	Description: Timber side hung casement window with double glazing and a paint finish.	
	Condition: Poor. Decay to the timber bottom rail. Poor paint finish throughout.	
131.	Location: Ground Floor – South elevation	Element: External window 00-29
	Description: Timber side hung casement window with double glazing and a paint finish.	
	Condition: Poor. As above.	
132.	Location: Ground Floor – South elevation	Element: External window 00-29
	Description: Timber side hung casement window with double glazing and a paint finish.	
	Condition: Poor. As above.	




133.	Location: Ground Floor – South elevation	Element: Internal window 00-30
	Description: Timber side hung casement window with double glazing and a paint finish.	
	Condition: Fair. Operational. Poor paint finish throughout. Loose metal restrictor.	
134.	Location: Ground Floor – South elevation	Element: Internal window 00-30
	Description: Timber side hung casement window with double glazing and a paint finish.	
	Condition: As above.	
135.	Location: Ground Floor – South elevation	Element: Internal window 00-30
	Description: Timber side hung casement window with double glazing and a paint finish.	
	Condition: As above.	

136.	Location: Ground Floor – South elevation	Element: External window 00-30
	Description: Timber side hung casement window with double glazing and a paint finish.	
	Condition: Poor. Missing timber to the right-side mid rail. Decay to the timber bottom rail. Poor paint finish throughout.	
137.	Location: Ground Floor – South elevation	Element: External window 00-30
	Description: Timber side hung casement window with double glazing and a paint finish.	
	Condition: Poor. As above.	
138.	Location: Ground Floor – South elevation	Element: Internal window 00-31
	Description: Aluminium frame vertical sliding sash window with single glazing.	
	Condition: Fair. Operational. Unable to stay open. Defective catch. Paint finish to jambs and cill scratched. Defective and aged seal.	




139.	Location: Ground Floor – South elevation	Element: Internal window 00-31
	Description: Aluminium frame vertical sliding sash window with single glazing.	
	Condition: Fair. As above.	
140.	Location: Ground Floor – South elevation	Element: External window 00-31
	Description: Aluminium frame vertical sliding sash window with single glazing.	
	Condition: Fair. Defective sealant.	
141.	Location: Ground Floor – South elevation	Element: Internal window 00-32
	Description: Aluminium frame vertical sliding sash window with single glazing.	
	Condition: Fair. Operational. Unable to stay open. Poor paint finish to jambs and cill.	




142.	Location: Ground Floor – South elevation	Element: External window 00-32
	Description: Aluminium frame vertical sliding sash window with single glazing.	
	Condition: Fair. Defective sealant.	
143.	Location: Ground Floor – South elevation	Element: Internal window 00-33
	Description: Aluminium frame vertical sliding sash window with single glazing.	
	Condition: Fair. Operational. Paint finish to jambs and cill scratched. Seals beginning to age.	
144.	Location: Ground Floor – South elevation	Element: External window 00-33
	Description: Aluminium frame vertical sliding sash window with single glazing.	
	Condition: Fair. Defective and cracked sealant. Poor paint finish to security bars.	




145.	Location: Ground Floor – South elevation	Element: Internal window 00-34
	Description: Aluminium frame vertical sliding sash window with single glazing.	
	Condition: Fair. Operational. Catch defective. Poor paint finish to jambs, cill and window board. Seals aged and defective.	
146.	Location: Ground Floor – South elevation	Element: Internal window 00-34
	Description: Aluminium frame vertical sliding sash window with single glazing.	
	Condition: Fair. As above	
147.	Location: Ground Floor – South elevation	Element: Internal window 00-34
	Description: Aluminium frame vertical sliding sash window with single glazing.	
	Condition: Fair. As above.	




148.	Location: Ground Floor – South elevation	Element: External window 00-34
	Description: Aluminium frame vertical sliding sash window with single glazing.	
	Condition: Fair. Defective and cracked sealant. Poor paint finish to security bars.	
149.	Location: Ground Floor – South elevation	Element: External window 00-34
	Description: Aluminium frame vertical sliding sash window with single glazing.	
	Condition: Fair. As above.	
150.	Location: Ground Floor – South elevation	Element: Internal window 00-35
	Description: Aluminium frame vertical sliding sash window with single glazing.	
	Condition: Good. Operational. Poor paint finish to jambs and cill.	

151.	Location: Ground Floor – South elevation	Element: External window 00-35
	Description: Aluminium frame vertical sliding sash window with single glazing.	
	Condition: Good. Defective and cracking sealant.	
152.	Location: Ground Floor – South elevation	Element: Internal window 00-36
	Description: Aluminium frame vertical sliding sash window with single glazing.	
	Condition: Good. Operational. Paint finish to jambs and cill scratched. Seals beginning to age.	
153.	Location: Ground Floor – South elevation	Element: Internal window 00-36
	Description: Aluminium frame vertical sliding sash window with single glazing.	
	Condition: Good. As above.	



154.	Location: Ground Floor – South elevation	Element: External window 00-36
	Description: Aluminium frame vertical sliding sash window with single glazing.	
	Condition: Good. Crazing to the sealant.	
155.	Location: Ground Floor – East elevation	Element: Internal window 00-37
	Description: Aluminium frame vertical sliding sash window with single glazing.	
	Condition: Fair. Operates okay with some stiffness. Missing lock. Scratching to the frame finish.	
156.	Location: Ground Floor – East elevation	Element: Internal window 00-37
	Description: Aluminium frame vertical sliding sash window with single glazing.	
	Condition: Fair. As above.	




157.	Location: Ground Floor – East elevation	Element: External window 00-37
	Description: Aluminium frame vertical sliding sash window with single glazing.	
	Condition: Fair. Begrimed and soiled.	
158.	Location: Ground Floor – East elevation	Element: Internal window 00-38
	Description: Aluminium frame vertical sliding sash window with single glazing.	
	Condition: Fair. Operational. Scratches to the frame finish.	
159.	Location: Ground Floor – East elevation	Element: External window 00-38
	Description: Aluminium frame vertical sliding sash window with single glazing.	
	Condition: Fair. Poor mastic. Dirt soiled.	




160.	Location: Ground Floor – East elevation	Element: External window 00-38
	Description: Aluminium frame vertical sliding sash window with single glazing.	
	Condition: Fair. As above.	
161.	Location: Ground Floor – East elevation	Element: Internal window 00-39
	Description: Aluminium frame vertical sliding sash window with single glazing.	
	Condition: Fair. Operational. Scratches to the frame finish.	
162.	Location: Ground Floor – East elevation	Element: External window 00-39
	Description: Aluminium frame vertical sliding sash window with single glazing.	
	Condition: Fair. Poor mastic. Dirt soiled.	




163.	Location: Ground Floor – East elevation	Element: External window 00-39
	Description: Aluminium frame vertical sliding sash window with single glazing.	
	Condition: Fair. As above.	
164.	Location: Ground Floor – East elevation	Element: Internal window 00-40
	Description: Aluminium frame vertical sliding sash window with single glazing.	
	Condition: Fair. Operational. Scratches to the frame finish.	
165.	Location: Ground Floor – East elevation	Element: External window 00-40
	Description: Aluminium frame vertical sliding sash window with single glazing.	
	Condition: Fair. Poor mastic. Dirt soiled	




166.	Location: Ground Floor – East elevation	Element: External window 00-40
	Description: Aluminium frame vertical sliding sash window with single glazing.	
	Condition: Fair. As above.	
167.	Location: Ground Floor – East elevation	Element: Internal window 00-41
	Description: PVCu window with double glazing.	
	Condition: Good. Operational.	
168.	Location: Ground Floor – East elevation	Element: External window 00-41
	Description: PVCu window with double glazing.	
	Condition: Good. Dirt soiled only.	




169.	Location: Ground Floor – East elevation	Element: Internal window 00-42
	Description: PVCu window with double glazing. Condition: Fair.	
170.	Location: Ground Floor – East elevation	Element: External window 00-42
	Description: PVCu window with double glazing. Condition: Fair. Dirt soiled.	
171.	Location: Ground Floor – North elevation	Element: Internal window 00-43
	Description: PVCu window with double glazing. Condition: Fair. Operational.	




172.	Location: Ground Floor – North elevation	Element: Internal window 00-43
	Description: PVCu window with double glazing.	
	Condition: Fair. As above.	
173.	Location: Ground Floor – North elevation	Element: External window 00-43
	Description: PVCu window with double glazing	
	Condition: Good. Dirt soiled.	
174.	Location: Ground Floor – North elevation	Element: Internal window 00-44
	Description: Side hung timber casement window with double glazing and paint finish.	
	Condition: Good. Operational.	




175.	Location: Ground Floor – North elevation	Element: Internal window 00-44
	Description: Side hung timber casement window with double glazing and paint finish.	
	Condition: Good. As above.	
176.	Location: Ground Floor – North elevation	Element: External window 00-44
	Description: Side hung timber casement window with double glazing and paint finish.	
	Condition: Poor. Decay to the entire timber cill and bottom rail. Poor paint finish.	
177.	Location: Ground Floor – North elevation	Element: External window 00-44
	Description: Side hung timber casement window with double glazing and paint finish.	
	Condition: Poor. As above.	

178.	Location: Ground floor - courtyard	Element: External window 00-45
	Description: PVCu framed double glazed windows with side hung and top hung casements.	
	Condition: Fair. Missing handle to one casement.	
179.	Location: Ground floor - courtyard	Element: External window 00-46
	Description: PVCu framed double glazed windows with side hung and top hung casements.	
	Condition: Fair. Poor pointing to perimeter of window frame	
180.	Location: Ground floor - courtyard	Element: External window 00-46
	Description: As above.	
	Condition: As above.	




181.	Location: First Floor – West elevation	Element: Internal window 01-01
	Description: Timber frame side hung casement window with single glazing and paint finish.	
	Condition: Poor. RHS inoperable. Loose window lock. Decay to entire bottom rails and to mid rails extending up the stiles. Poor paint finish.	
182.	Location: First Floor – West elevation	Element: Internal window 01-01
	Description: Timber frame side hung casement window with single glazing and paint finish.	
	Condition: Poor. Right side non – operational. Locks loose. Decay to entire bottom rails and to mid rails extending up the stiles. Poor paint finish.	
183.	Location: First Floor – West elevation	Element: External window 01-01
	Description: Timber frame side hung casement window with single glazing and paint finish.	
	Condition: Poor. Decay to all timber casement windows and lower sections of frame. Poor paint finish.	




184.	Location: First Floor – West elevation	Element: External window 01-01
	Description: Timber frame side hung casement window with single glazing and paint finish.	
	Condition: As above. As above	
185.	Location: First Floor – West elevation	Element: External window 01-01
	Description: Timber frame side hung casement window with single glazing and paint finish.	
	Condition: As above. As above.	
186.	Location: First Floor – West elevation	Element: Internal window 01-02
	Description: Timber frame side hung casement window with single glazing and paint finish.	
	Condition: Poor. Decay to entire bottom rail and cill. Poor paint finish.	




187.	Location: First Floor – West elevation	Element: Internal window 01-02
	<p>Description: Timber frame side hung casement window with single glazing and paint finish.</p> <p>Condition: Poor. Decay to entire bottom rail and cill. Poor paint finish.</p>	
188.	Location: First Floor – West elevation	Element: External window 01-02
	<p>Description: Timber frame side hung casement window with single glazing and paint finish.</p> <p>Condition: Poor. Decay to timber casements and cill. Poor paint finish.</p>	
189.	Location: First Floor – South elevation	Element: Internal window 01-03
	<p>Description: Timber frame side hung casement window with double glazing and paint finish.</p> <p>Condition: Poor. Does not operate correctly. Right side stiff. Left side has missing latch.</p>	




190.	Location: First Floor – South elevation	Element: Internal window 01-03
	Description: Timber frame side hung casement window with double glazing and paint finish.	
	Condition: Poor. As above.	
191.	Location: First Floor – South elevation	Element: External window 01-03
	Description: Timber frame side hung casement window with double glazing and paint finish.	
	Condition: As above. Poor paint finish externally.	
192.	Location: First Floor – South elevation	Element: External window 01-04
	Description: Timber frame side hung casement window with double glazing and paint finish.	
	Condition: Poor. Poor paint finish externally.	




193.	Location: First Floor – South elevation	Element: External window 01-04
	Description: Timber frame side hung casement window with double glazing and paint finish. Condition: Poor. Poor paint finish externally.	
194.	Location: First Floor – South elevation	Element: Internal window 01-05
	Description: Timber frame side hung casement window with double glazing and paint finish. Condition: Fair. Operational. Poor paint finish.	
195.	Location: First Floor – West elevation	Element: Internal window 01-06
	Description: Timber frame side hung casement window with double glazing and paint finish. Condition: Fair. Operational. Poor paint finish.	




196.	Location: First Floor – West elevation	Element: Internal window 01-06
	Description: Timber frame side hung casement window with double glazing and paint finish.	
	Condition: Fair. As above.	
197.	Location: First Floor – West elevation	Element: External window 01-06
	Description: Timber frame side hung casement window with double glazing and paint finish.	
	Condition: Fair. Missing timber beading to mid rail. Poor paint finish.	
198.	Location: First Floor – West elevation	Element: Internal window 01-07
	Description: Timber frame casement with double glazing and paint finish.	
	Condition: Fair.	




199.	Location: First Floor – West elevation	Element: External window 01-07
	<p>Description: Timber frame casement with double glazing and paint finish.</p> <p>Condition: Poor. Decay to timber cill. Splitting to timber frame. Poor paint finish.</p>	
200.	Location: First Floor – West elevation	Element: External window 01-07
	<p>Description: Timber frame casement with double glazing and paint finish.</p> <p>Condition: Poor. As above.</p>	
201.	Location: First Floor – West elevation	Element: External window 01-08
	<p>Description: Timber frame side hung casement window with double glazing and paint finish.</p> <p>Condition: Fair. Poor paint finish. Unable to access room to assess internal condition.</p>	

202.	Location: First Floor – West elevation	Element: External window 01-09
	<p>Description: Timber frame side hung casement window with double glazing and paint finish.</p> <p>Condition: Fair. Poor paint finish. Unable to access room to assess internal condition.</p>	
203.	Location: First Floor – West elevation	Element: Internal window 01-10
	<p>Description: Timber frame side hung casement window with double glazing and paint finish.</p> <p>Condition: Fair. Operational.</p>	
204.	Location: First Floor – West elevation	Element: External window 01-10
	<p>Description: Timber frame side hung casement window with double glazing and paint finish.</p> <p>Condition: Fair. Poor paint finish. Missing vent cover.</p>	




205.	Location: First Floor – West elevation	Element: Internal window 01-11
	Description: Timber frame side hung casement window with double glazing and paint finish.	
	Condition: Fair. Handles lose. Gaps in the window frame.	
206.	Location: First Floor – West elevation	Element: Internal window 01-11
	Description: Timber frame side hung casement window with double glazing and paint finish.	
	Condition: Fair.	
	Location: First Floor – West elevation	Element: External window 01-11
	Description: Timber frame side hung casement window with double glazing and paint finish.	
	Condition: Poor. Decay to the bottom rail and window bars. Poor paint finish.	




207.	Location: First Floor – West elevation	Element: External window 01-11
	Description: Timber frame side hung casement window with double glazing and paint finish.	
	Condition: Poor. As above.	
208.	Location: First Floor – West elevation	Element: Internal window 01-12
	Description: Timber frame side hung casement window with double glazing and paint finish.	
	Condition: Poor. Handles loose. One loose blown DGU with condensation.	
209.	Location: First Floor – West elevation	Element: Internal window 01-12
	Description: Timber frame side hung casement window with double glazing and paint finish.	
	Condition: Poor. Blown double glazed unit.	




210.	Location: First Floor – West elevation	Element: External window 01-12
	<p>Description: Timber frame side hung casement window with double glazing and paint finish.</p> <p>Condition: Poor. Vent cover to top rail loose. Decay to bottom rail. Poor paint finish.</p>	
211.	Location: First Floor – West elevation	Element: External window 01-12
	<p>Description: Timber frame side hung casement window with double glazing and paint finish.</p> <p>Condition: Poor. As above.</p>	
212.	Location: First Floor – West elevation	Element: Internal window 01-13
	<p>Description: Timber frame side hung casement window with double glazing and paint finish.</p> <p>Condition: Fair. Handles loose.</p>	




213.	Location: First Floor – West elevation	Element: External window 01-13
	Description: Timber frame side hung casement window with double glazing and paint finish. Condition: Fair. Poor paint finish.	
214.	Location: First Floor – West elevation	Element: Internal window 01-14
	Description: Timber frame side hung casement window with double glazing and paint finish. Condition: Fair. Missing latch to left side. Timber shrinkage causing splitting in the frame.	
215.	Location: First Floor – West elevation	Element: Internal window 01-14
	Description: Timber frame side hung casement window with double glazing and paint finish. Condition: As above.	




216.	Location: First Floor – West elevation	Element: Internal window 01-14
	Description: Timber frame side hung casement window with double glazing and paint finish.	
	Condition: As above.	
217.	Location: First Floor – West elevation	Element: External window 01-14
	Description: Timber frame side hung casement window with double glazing and paint finish.	
	Condition: Fair. Poor paint finish.	
218.	Location: First Floor – West elevation	Element: Internal window 01-15
	Description: Timber frame casement window with double glazing and paint finish.	
	Condition: Good. Operational.	




219.	Location: First Floor – West elevation	Element: External window 01-15
	Description: Timber frame casement window with double glazing and paint finish.	
	Condition: Poor. Decay to glazing bars and timber cill. Poor paint finish.	
220.	Location: First Floor – West elevation	Element: External window 01-15
	Description: Timber frame casement window with double glazing and paint finish.	
	Condition: As above.	
221.	Location: First Floor – West elevation	Element: Internal window 01-16
	Description: Timber frame vertical sliding sash window with double glazing and paint finish.	
	Condition: Poor. Defective latch. Stiffness in opening. Poor paint finish.	




222.	Location: First Floor – West elevation	Element: Internal window 01-16
	Description: Timber frame vertical sliding sash window with double glazing and paint finish.	
	Condition: Poor. Defective latch. Stiffness in opening. Poor paint finish.	
223.	Location: First Floor – West elevation	Element: External window 01-16
	Description: Timber frame vertical sliding sash window with double glazing and paint finish.	
	Condition: Poor. Decay to timber mid rail and cill. Poor paint finish.	
224.	Location: First Floor – West elevation	Element: External window 01-16
	Description: Timber frame vertical sliding sash window with double glazing and paint finish.	
	Condition: As above.	




225.	Location: First Floor – West elevation	Element: Internal window 01-17
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Poor. Sash cords cut. One cracked pane. Poor paint finish.	
226.	Location: First Floor – West elevation	Element: Internal window 01-17
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: As above.	
227.	Location: First Floor – West elevation	Element: External window 01-17
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Poor. Decay to timber mid rail and cill. Poor paint finish.	




228.	Location: First Floor – West elevation	Element: Internal window 01-18
	Description: Timber frame vertical sliding sash window with single glazing and paint finish. Condition: Poor. Non – operational window propped open.	
229.	Location: First Floor – West elevation	Element: Internal window 01-18
	Description: Timber frame vertical sliding sash window with single glazing and paint finish. Condition: Poor. Non – operational window propped open.	
230.	Location: First Floor – West elevation	Element: External window 01-18
	Description: Timber frame vertical sliding sash window with single glazing and paint finish. Condition: Poor. Decay to timber mid rail and cill. Poor paint finish.	




231.	Location: First Floor – West elevation	Element: Internal window 01-19
	<p>Description: Timber frame vertical sliding sash window with single glazing and paint finish.</p> <p>Condition: Poor. Stiffness when opening. Locks loose. Poor paint finish. Two cracked panes.</p>	
232.	Location: First Floor – West elevation	Element: Internal window 01-19
	<p>Description: Timber frame vertical sliding sash window with single glazing and paint finish.</p> <p>Condition: Poor. Stiffness when opening. Locks loose. Poor paint finish. Two cracked panes.</p>	
233.	Location: First Floor – West elevation	Element: External window 01-19
	<p>Description: Timber frame vertical sliding sash window with single glazing and paint finish.</p> <p>Condition: Poor. Poor paint finish.</p>	




234.	Location: First Floor – West elevation	Element: Internal window 01-20
	Description: Timber frame vertical sliding sash window with single glazing and paint finish. Condition: Fair. Poor paint finish.	
235.	Location: First Floor – West elevation	Element: Internal window 01-20
	Description: Timber frame vertical sliding sash window with single glazing and paint finish. Condition: Fair. Poor paint finish.	
236.	Location: First Floor – West elevation	Element: External window 01-20
	Description: Timber frame vertical sliding sash window with single glazing and paint finish. Condition: Poor. Poor paint finish.	




237.	Location: First Floor – West elevation	Element: External window 01-20
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Poor. Poor paint finish.	
238.	Location: First Floor – West elevation	Element: Internal window 01-21
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Poor. Unable to open. Poor paint finish.	
239.	Location: First Floor – West elevation	Element: Internal window 01-21
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Poor. Unable to open. Poor paint finish.	




240.	Location: First Floor – West elevation	Element: External window 01-21
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Poor. Decay to mid rail and cill. Poor paint finish.	
241.	Location: First Floor – West elevation	Element: External window 01-21
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: As above.	
242.	Location: First Floor – North elevation	Element: Internal window 01-22
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Poor. Operates poorly. Does not stay open. Poor paint finish.	




243.	Location: First Floor – North elevation	Element: Internal window 01-22
	<p>Description: Timber frame vertical sliding sash window with single glazing and paint finish.</p> <p>Condition: Poor. Operates poorly. Does not stay open. Poor paint finish.</p>	
244.	Location: First Floor – North elevation	Element: External window 01-22
	<p>Description: Timber frame vertical sliding sash window with single glazing and paint finish.</p> <p>Condition: Poor. Poor paint finish. Decay to the timber.</p>	
245.	Location: First Floor – North elevation	Element: Internal window 01-23
	<p>Description: Timber frame vertical sliding sash window with single glazing and paint finish.</p> <p>Condition: Poor. Non – operational. Stuck shut and out of frame. Poor paint finish.</p>	




246.	Location: First Floor – North elevation	Element: Internal window 01-23
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Poor. Inoperable. Stuck shut and out of alignment with frame. Poor paint finish.	
247.	Location: First Floor – North elevation	Element: Internal window 01-23
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Poor. Inoperable. Stuck shut and out of frame. Poor paint finish.	
248.	Location: First Floor – North elevation	Element: External window 01-23
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Poor. Decay to bottom rail. Poor paint finish.	




249.	Location: First Floor – North elevation	Element: Internal window 01-24
	Description: Timber frame vertical sliding sash window with double glazing and paint finish.	
	Condition: Poor. Operates poorly. Does not hold open. Poor paint finish.	
250.	Location: First Floor – North elevation	Element: Internal window 01-24
	Description: Timber frame vertical sliding sash window with double glazing and paint finish.	
	Condition: Poor. Operates poorly. Does not hold open. Poor paint finish.	
251.	Location: First Floor – North elevation	Element: External window 01-24
	Description: Timber frame vertical sliding sash window with double glazing and paint finish.	
	Condition: Fair. Poor paint finish.	




252.	Location: First Floor – North elevation	Element: Internal window 01-25
	<p>Description: Timber frame vertical sliding sash window with double glazing and paint finish.</p> <p>Condition: Poor. Screwed shut at the top. Mould on the frame. Poor paint finish.</p>	
253.	Location: First Floor – North elevation	Element: Internal window 01-25
	<p>Description: Timber frame vertical sliding sash window with double glazing and paint finish.</p> <p>Condition: Poor. Screwed shut at the top. Mould on the frame. Poor paint finish.</p>	
254.	Location: First Floor – North elevation	Element: External window 01-25
	<p>Description: Timber frame vertical sliding sash window with double glazing and paint finish.</p> <p>Condition: Poor. Decay to entire timber cill and bottom rail extending up the jambs. Poor paint finish.</p>	




255.	Location: First Floor – East elevation	Element: Internal window 01-26
	<p>Description: Timber frame vertical sliding sash window with double glazing and paint finish.</p> <p>Condition: Poor. Sash cords cut. Screwed shut. Poor paint finish and mould to the timber.</p>	
256.	Location: First Floor – East elevation	Element: Internal window 01-26
	<p>Description: Timber frame vertical sliding sash window with single glazing and paint finish.</p> <p>Condition: Fair. Sash cords cut. Screwed shut. Poor paint finish and mould to the timber.</p>	
257.	Location: First Floor – East elevation	Element: External window 01-26
	<p>Description: Timber frame vertical sliding sash window with single glazing and paint finish.</p> <p>Condition: Poor. Decay to timber cill and mid rail. Poor paint finish.</p>	




258.	Location: First Floor – East elevation	Element: Internal window 01-27
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Poor. Sash cords cut. One cracked pane. Poor paint finish.	
259.	Location: First Floor – East elevation	Element: Internal window 01-27
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Poor. Sash cords cut. One cracked pane. Poor paint finish.	
260.	Location: First Floor – East elevation	Element: Internal window 01-27
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Poor. Sash cords cut. One cracked pane. Poor paint finish.	




261.	Location: First Floor – East elevation	Element: External window 01-27
	Description: Timber frame vertical sliding sash window with single glazing and paint finish. Condition: Poor. Poor paint finish.	
262.	Location: First Floor – East elevation	Element: Internal window 01-28
	Description: Timber frame vertical sliding sash window with single glazing and paint finish. Condition: Poor. Screwed shut. Poor paint finish.	
263.	Location: First Floor – East elevation	Element: Internal window 01-28
	Description: Timber frame vertical sliding sash window with single glazing and paint finish. Condition: Poor. Screwed shut. Poor paint finish.	




264.	Location: First Floor – East elevation	Element: External window 01-28
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: As above. Poor paint finish.	
265.	Location: First Floor – East elevation	Element: Internal window 01-29
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Poor. Poor paint finish. Window inoperable.	
266.	Location: First Floor – East elevation	Element: Internal window 01-29
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Poor. Poor paint finish. Window inoperable.	




267.	Location: First Floor – East elevation	Element: External window 01-29
	Description: Timber frame vertical sliding sash window with single glazing and paint finish. Condition: Poor. Poor paint finish externally	
268.	Location: First floor – east elevation.	Element: External window 01-30
	Description: Steel frame crittall window with single glazing and top hung casements. Condition: Poor. Poor paint finish externally.	
269.	Location: First Floor – East elevation	Element: Internal window 01-30
	Description: Steel frame top hung Crittall window with single glazing and paint finish. Condition: Poor. Unable to test opening. Poor paint finish.	




270.	Location: First Floor – East elevation	Element: Internal window 01-30
	Description: Steel frame top hung Crittall window with single glazing and paint finish.	
	Condition: Poor. Unable to test opening. Poor paint finish.	
271.	Location: First Floor – East elevation	Element: Internal window 01-31
	Description: Steel frame Crittall window with single glazing and paint finish.	
	Condition: Poor. Poor paint finish.	
272.	Location: First Floor – East elevation	Element: Internal window 01-31
	Description: As above.	
	Condition: Poor. Missing handle.	




273.	Location: First Floor – East elevation	Element: External window 01-31
	Description: As above.	
	Condition: Poor. Poor paint finish externally.	
274.	Location: First Floor – East elevation	Element: Internal window 01-32
	Description: Steel frame top hung Crittall window with single glazing and paint finish	
	Condition: Poor. Poor paint finish.	
275.	Location: First Floor – East elevation	Element: Internal window 01-32
	Description: As above.	
	Condition: Poor. Poor paint finish to timber cill.	




276.	Location: First Floor – East elevation	Element: External window 01-32
	Description: As above.	
	Condition: Poor. Poor paint finish externally.	
277.	Location: First Floor – East elevation	Element: Internal window 01-33
	Description: Steel frame Crittall window with single glazing and paint finish.	
	Condition: Poor. Poor paint finish internally.	
278.	Location: First Floor – East elevation	Element: Internal window 01-33
	Description: As above.	
	Condition: Poor. Water damage and poor paint finish to timber cill.	




279.	Location: First Floor – East elevation	Element: Internal window 01-33
	Description: As above.	
	Condition: Poor. Window does not close fully.	
280.	Location: First Floor – East elevation	Element: Internal window 01-33
	Description: As above.	
	Condition: Poor. As above	
281.	Location: First Floor – East elevation	Element: Internal window 01-33
	Description: As above.	
	Condition: Poor. As above	




282.	Location: First Floor – East elevation	Element: External window 01-33
	Description: As above.	
	Condition: Poor. Poor paint finish externally.	
283.	Location: Second floor – north elevation	Element: Internal window 02-01
	Description: Steel frame tilt and turn Crittall window with single glazing, external metal cill and paint finish.	
	Condition: Poor. Poor paint finish internally and externally. Window operation.	
284.	Location: Second floor – north elevation	Element: External window 02-01
	Description: As above.	
	Condition: As above. Poor finish externally	




285.	Location: Second floor – north elevation	Element: Internal window 02-02
	<p>Description: Steel frame tilt and turn Crittall window with single glazing, external metal cill and paint finish.</p> <p>Condition: Poor. Poor paint finish internally and externally. Window operation.</p>	
286.	Location: Second floor – north elevation	Element: External window 02-02
	<p>Description: As above.</p> <p>Condition: As above. Poor paint finish externally.</p>	
287.	Location: Second floor – west elevation	Element: External window 02-03
	<p>Description: PVCu frame double glazed external window with two opening sashes.</p> <p>Condition: Good.</p>	




288.	Location: Second floor – west elevation	Element: Internal window 02-03
	Description: PVCu frame double glazed external window with two opening sashes.	
	Condition: As above.	
289.	Location: Second floor – west elevation	Element: Internal window 02-04
	Description: PVCu frame double glazed external window with two opening sashes.	
	Condition: Good.	
290.	Location: Second floor – west elevation	Element: External window 02-04
	Description: PVCu frame double glazed external window with two opening sashes.	
	Condition: As above.	




291.	Location: Second floor – west elevation	Element: External window 02-05
	Description: PVCu frame double glazed external window with two opening sashes.	
	Condition: Good.	
292.	Location: Second floor – west elevation	Element: Internal window 02-05
	Description: As above.	
	Condition: As above.	
293.	Location: Second floor – west elevation	Element: Internal window 02-06
	Description: PVCu frame double glazed external window with two opening sashes.	
	Condition: Good. LHS jamb has been cut to facilitate communication cables.	




294.	Location: Second floor – west elevation	Element: External window 02-06
	Description: As above.	
	Condition: As above.	
295.	Location: Second floor – west elevation	Element: External window 02-06
	Description: As above.	
	Condition: As above. Hole cut in window frame.	
296.	Location: Second floor – east elevation	Element: Internal window 02-07
	Description: Steel frame tilt and turn Crittall window with single glazing, external timber cill and paint finish.	
	Condition: Poor. Poor paint finish internally and externally. Timber decay to timber frame to both jambs and to cill. Window operation.	




297.	Location: Second floor – east elevation	Element: Internal window 02-07
	Description: As above.	
	Condition: Poor. Timber decay to window jamb.	
298.	Location: Second floor – east elevation	Element: External window 02-07
	Description: As above.	
	Condition: Poor. Poor quality paint finish and decay to cill and jamb cover panels.	
299.	Location: Second floor – east elevation	Element: Internal window 02-08
	Description: Steel frame tilt and turn Crittall window with single glazing, external timber cill and paint finish.	
	Condition: Poor. Poor paint finish internally and externally. Timber decay to timber frame to both jambs, to external cill and to internal window board. Window operation.	




300.	Location: Second floor – east elevation	Element: Internal window 02-08
	Description: As above.	
	Condition: As above. Timber decay to window board and jamb	
301.	Location: Second floor – east elevation	Element: External window 02-08
	Description: As above.	
	Condition: As above. Poor quality paint finish and decay to cill and jamb cover panels.	
302.	Location: Second floor – east elevation	Element: Internal window 02-09
	Description: Steel frame tilt and turn Crittall window with single glazing, external timber cill and paint finish.	
	Condition: Poor. Poor paint finish internally and externally. Timber decay to timber frame to both jambs, to external cill and to internal window board. Window operation.	




303.	Location: Second floor – east elevation	Element: Internal window 02-09
	Description: As above.	
	Condition: Poor. Decay to internal window board and frame	
304.	Location: Second floor – east elevation	Element: External window 02-09
	Description: As above.	
	Condition: As above. Poor paint finish and timber decay to cill and frame	
305.	Location: Second floor – east elevation	Element: External window 02-09
	Description: As above.	
	Condition: As above. Timber decay to cill and frame	




306.	Location: Second floor – east elevation	Element: Internal window 02-10
	<p>Description: Steel frame tilt and turn Crittall window with single glazing, external timber cill and paint finish.</p> <p>Condition: Poor. Poor paint finish internally and externally. Timber decay to timber frame to both jambs and external cill. Window operation.</p>	
307.	Location: Second floor – east elevation	Element: External window 02-10
	<p>Description: As above.</p> <p>Condition: As above. Missing section of external timber cill.</p>	
308.	Location: Second floor – east elevation	Element: External window 02-10
	<p>Description: As above.</p> <p>Condition: As above. Decay to window frame.</p>	

309.	Location: Ground floor – north elevation	Element: External door CIR 00-01
	Description: Timber panel double door with single glazed panels. Timber frame single glazed fan light above. Bronze pull handle on each leaf. Overhead door closer internally. Paint finish external, laminate internally.	
	Condition: Poor. Decay to RHS frame to lower 600mm. Decay to LHS frame to lower 150mm. Missing sections of mouldings to lower panels. Poor paint finish.	
310.	Location: Ground floor – north elevation	Element: External door CIR 00-01
	Description: As above.	
	Condition: As above. Decay to LHS frame to lower 150mm	
311.	Location: Ground floor – north elevation	Element: External door CIR 00-01
	Description: As above.	
	Condition: As above. Decay to RHS to lower 600mm	




312.	Location: Ground floor – north elevation	Element: External door CIR 00-01
	Description: As above.	
	Condition: As above. Poor pointing to perimeter of fan light frame.	
313.	Location: Ground floor – north elevation	Element: Internal door CIR 00-01
	Description: Timber panel double door with single glazed panels. Timber frame single glazed fan light above. Bronze pull handle on each leaf. Overhead door closer internally. Paint finish external, laminate internally.	
	Condition: Poor. Poor internal finish. Missing mouldings to lower panels	
314.	Location: Ground floor – north elevation	Element: Internal door CIR 00-01
	Description: As above.	
	Condition: As above. Missing mouldings to lower panels	




315.	Location: Ground floor – north elevation	Element: Internal door CIR 00-01
	Description: As above.	
	Condition: As above. Impact damage to internal frame.	
316.	Location: Ground floor – north elevation	Element: External door CA 00-01
	Description: Timber frame single glazed double doors with one openable sash. Paint finish internally and externally. Paint timber surround externally.	
	Condition: Poor. Timber decay to bottom rails on both doors and threshold. Poor paint finish. Poor quality previous repairs and decay evident to low level to the external surrounds to both sides.	
317.	Location: Ground floor – north elevation	Element: External door CA 00-01
	Description: As above.	
	Condition: As above. Decay to bottom rails and threshold.	




318.	Location: Ground floor – north elevation	Element: External door CA 00-01
	Description: As above.	
	Condition: As above. Poor quality previous repairs and decay evident to low level to the external surrounds to both sides.	
319.	Location: Ground floor – north elevation	Element: External door CA 00-01
	Description: As above.	
	Condition: As above. Poor quality previous repairs and decay evident to low level to the external surrounds to both sides.	
320.	Location: Ground floor – north elevation	Element: External door CA 00-02
	Description: Timber panel double door with one single glazed vision panel. Timber frame single glazed fan light above. Bronze pull handle to one leaf. Overhead door closer internally. Paint finish external, laminate internally.	
	Condition: Poor. Decay to LHS frame to lower 150mm. Missing and decayed sections of mouldings to lower panels. Poor paint finish. One missing pull handle. Missing cover plate to door lock. Corrosion staining to hinges.	




321.	Location: Ground floor – north elevation	Element: External door CA 00-02
	Description: As above.	
	Condition: Poor. Missing cover plate to lock.	
322.	Location: Ground floor – north elevation	Element: External door CA 00-02
	Description: As above.	
	Condition: Poor. Missing and decayed sections of mouldings to lower panels	
323.	Location: Ground floor – north elevation	Element: External door CA 00-02
	Description: As above.	
	Condition: Poor. Corrosion staining to hinges.	




324.	Location: Ground floor – north elevation	Element: Internal door CA 00-02
	Description: Timber panel double door with one single glazed vision panel. Timber frame single glazed fan light above. Bronze pull handles. Overhead door closer internally. Paint finish external, laminate internally.	
	Condition: Poor. Poor quality internal finish and missing sections of moulding to low level.	
325.	Location: Ground floor – north elevation	Element: Internal door CA 00-02
	Description: As above.	
	Condition: As above. Poor quality internal finish and missing sections of moulding to low level.	
326.	Location: Ground floor – north elevation	Element: Internal door CA 00-02
	Description: As above.	
	Condition: As above. One missing pull handle	




327.	Location: Ground floor – north elevation	Element: External door CA 00-03
	<p>Description: Timber frame single glazed double doors with one openable sash. Paint finish internally and externally. Paint timber surround externally.</p> <p>Condition: Poor.</p> <p>Timber decay to bottom rails to RHS leaf and frame to 150mm. Poor paint finish. Poor quality previous repairs and decay evident to low level to the external surrounds to both sides. Poor quality putty to 2no glass panels.</p>	
328.	Location: Ground floor – north elevation	Element: External door CA 00-03
	<p>Description: As above.</p> <p>Condition: As above.</p> <p>Missing putty to glazing.</p>	
329.	Location: Ground floor – north elevation	Element: External door CA 00-03
	<p>Description: As above.</p> <p>Condition: As above.</p> <p>Poor quality previous repairs and decay evident to low level to the external surrounds to both sides.</p>	




330.	Location: Ground floor – north elevation	Element: External door CA 00-03
	Description: As above.	
	Condition: As above. Poor quality previous repairs and decay evident to low level to the external surrounds to both sides.	
331.	Location: Ground floor – west elevation	Element: External door CA 00-04
	Description: Timber frame single glazed double doors with fixed fan light above. Paint finish internally and externally. Paint timber surround externally.	
	Condition: Poor. Timber decay to threshold. Poor quality previous repair to lower 400mm of LHS side rail. Poor paint finish. Poor quality previous repairs to side mouldings.	
332.	Location: Ground floor – west elevation	Element: External door CA 00-04
	Description: As above.	
	Condition: As above. Previous repair to side rail.	




333.	Location: Ground floor – west elevation	Element: External door CA 00-04
	Description: As above.	
	Condition: As above. Poor quality previous repairs to side mouldings.	
334.	Location: Ground floor – west elevation	Element: External door CA 00-04
	Description: As above.	
	Condition: As above. Cable penetration through door frame.	
335.	Location: Ground floor – south elevation	Element: External door CA 00-05
	Description: Timber frame single glazed double doors. Paint finish internally and externally. Paint timber surround externally.	
	Condition: Poor. Poor quality putty to glazing. 2no missing glazing panels (70x70mm). Timber decay to lower 150mm RHS frame. Decay to architrave to the head of the door. Poor quality decorations internally and externally. Missing cover plate to lock.	




336.	Location: Ground floor – south elevation	Element: External door CA 00-05
	Description: As above.	
	Condition: As above. 2no missing glazing panels (70x70mm). Poor quality paint finish.	
337.	Location: Ground floor – south elevation	Element: External door CA 00-05
	Description: As above.	
	Condition: As above. Poor quality putty to glazing.	
338.	Location: Ground floor – south elevation	Element: External door CA 00-05
	Description: As above.	
	Condition: As above. Missing cover plate to lock.	




339.	Location: Ground floor – south elevation	Element: External door CA 00-05
	Description: As above.	
	Condition: As above. Decay to architrave to the head of the door.	
340.	Location: Ground floor – south elevation	Element: External door CA 00-05
	Description: As above.	
	Condition: As above. Poor quality paint finish internally.	
341.	Location: Ground floor – west elevation	Element: External door CIR 00-02
	Description: Timber frame double glazed double doors. Paint finish internally and externally.	
	Condition: Poor. Decay to bottom rail, weather bar and door frame to low level. Poor quality paint finish.	




342.	Location: Ground floor – west elevation	Element: External door CIR 00-02
	Description: As above.	
	Condition: As above. Decay to bottom rail, weather bar and door frame to low level	
343.	Location: Ground floor – west elevation	Element: External door H 00-04
	Description: Description: Timber frame double glazed double doors. Paint finish internally and externally.	
	Condition: Fair. Missing cover plate to redundant door lock. Tired paint finish.	
344.	Location: Ground floor – west elevation	Element: External door H 00-04
	Description: As above.	
	Condition: Fair. Missing cover plate to redundant door lock.	




345.	Location: Ground floor – west elevation	Element: External door CA 00-06
	Description: Timber frame double glazed door set within double glazed side cheeks. Paint finish internally and externally.	
Condition: Poor. Timber decay to bottom rail. Poor paint finish.		
346.	Location: Ground floor – west elevation	Element: External door CA 00-06
	Description: As above.	
Condition: As above. Timber decay to bottom rail. Poor paint finish.		
347.	Location: Ground floor – east elevation	Element: External door H 00-01
	Description: Flush timber double doors with Georgian wired glass vision panels and fan light above.	
Condition: Poor. Localised decay to lower 100mm of door frame to both sides. Split timber weather bar. Poor paint finish.		




348.	Location: Ground floor – east elevation	Element: External door H 00-01
	Description: As above.	
	Condition: As above. Localised decay to lower 100mm of door frame to both sides.	
349.	Location: Ground floor – east elevation	Element: External door H 00-01
	Description: As above.	
	Condition: As above. Split timber weather bar	
350.	Location: Ground floor – south elevation	Element: External door H 00-03
	Description: Factory finished metal frame single glazed door with matching side cheek.	
	Condition: Fair. The glass panel has been overclad with timber.	




351.	Location: Ground floor –south elevation	Element: External door ET 00-01
	Description: Timber panelled door with Georgian wired glass vision panel and ventilation grille to low level. Paint finish internally and externally.	
	Condition: Fair. Tired paint finish.	
352.	Location: Ground floor – south elevation	Element: External door ET 00-02
	Description: Flush timber door with Georgian wired glass vision panel and a paint finish.	
	Condition: Poor. Door leaf and finish in a very poor condition.	
353.	Location: Ground floor – south elevation	Element: External door ET 00-02
	Description: As above.	
	Condition: As above.	




354.	Location: Ground floor - courtyard	Element: External door – CY00-01
	Description: Factory finished metal frame single glazed door.	
	Condition: Fair. No issues noted.	
355.	Location: Ground floor - courtyard	Element: External door – CY00-01
	Description: As above.	
	Condition: As above.	
356.	Location: Ground floor - courtyard	Element: External door – CY00-02
	Description: Factory finished metal frame single glazed door.	
	Condition: Fair.	




357.	Location: Ground floor – courtyard	Element: External door – CY00-03
	Description: Factory finished metal frame single glazed door.	
	Condition: Fair.	
358.	Location: First floor – south elevation	Element: External door CA 01-01
	Description: Flush timber door with a paint finish and a Georgian wired glass fan light.	
	Condition: Poor. Poor paint finish and 1no missing hinge.	
359.	Location: First floor – south elevation	Element: External door CA 01-01
	Description: As above.	
	Condition: As above.	




360.	Location: First floor – north elevation	Element: External door CA 01-02
	Description: Timber frame single glazed double doors. With fan light with two openable sashes. Paint finish internally and externally.	
	Condition: Poor. Fan light sashes do not close. Poor paint finish. Cover strip fitted to threshold.	
361.	Location: First floor – north elevation	Element: External door CA 01-02
	Description: As above.	
	Condition: As above.	
362.	Location: First floor – north elevation	Element: External door CA 01-02
	Description: As above.	
	Condition: As above.	




363.	Location: First floor – north elevation	Element: External door CA 01-03
	Description: Timber frame single glazed double doors. With fan light with two openable sashes. Paint finish internally and externally.	
	Condition: Poor. Fan light sashes do not close. Poor paint finish.	
364.	Location: First floor – north elevation	Element: External door CA 01-03
	Description: As above.	
	Condition: As above.	
365.	Location: First floor – north elevation	Element: External door CA 01-03
	Description: As above.	
	Condition: As above.	




366.	Location: First floor – north elevation	Element: External door CA 01-03
	Description: As above.	
	Condition: As above.	
367.	Location: West elevation	Element: Render panel 01
	Description: Stucco render with a white paint finish.	
	Condition: Poor. Detached section of render to adjoining pitched roof junction.	
368.	Location: West elevation	Element: Render panel 01
	Description: Stucco render with a white paint finish.	
	Condition: Poor. Detached section of render to window cill.	




369.	Location: West elevation	Element: Render panel 01
	Description: Stucco render with a white paint finish.	
	Condition: Poor. Category 1 fine vertical crack extending from lower window to ground level.	
370.	Location: West elevation	Element: Render panel 01
	Description: Stucco render with a white paint finish.	
	Condition: Poor. Numerous vertical and horizontal cracking, Category 2, from 2-3mm wide above the ground floor window.	
371.	Location: West elevation	Element: Render panel 01
	Description: Stucco render with a white paint finish.	
	Condition: Poor. Category 2 vertical crack, 2-3mm wide extending above external door to the oriel window cill above.	




372.	Location: West elevation	Element: Render panel 01
	Description: Stucco rendered oriel window projection with a white paint finish.	
	Condition: Poor. Category 2 vertical cracks 2-3mm wide to both edges and centrally to projection.	
373.	Location: West elevation	Element: Render panel 01
	Description: As above.	
	Condition: As above.	
374.	Location: West elevation	Element: Render panel 01
	Description: As above.	
	Condition: As above.	




375.	Location: West elevation	Element: Render panel 01
	Description: Stucco render with a white paint finish.	
	Condition: Poor. Blown render to low level, approximately 2.0x0.8m.	
376.	Location: West elevation	Element: Render panel 01
	Description: Stucco render with a white paint finish.	
	Condition: Poor. Poor paint finish to entire elevation.	
377.	Location: West elevation	Element: Render panel 01
	Description: Stucco render with a white paint finish.	
	Condition: Poor. Category 2 vertical cracking, 1-2mm wide, to wall projections. Pattern cracking to render above the external light approximately 1.5x3.0m.	




378.	Location: West elevation	Element: Render panel 01
	Description: Stucco render with a white paint finish.	
	Condition: Poor. Detached section of render above the oriel window roof projection.	
379.	Location: West elevation	Element: Render panel 01
	Description: Stucco render with a white paint finish.	
	Condition: Poor. Numerous fine horizontal and vertical cracks to the parapet wall.	
380.	Location: West elevation	Element: Render panel 01
	Description: As above.	
	Condition: As above.	




381.	Location: West elevation	Element: Render panel 02
	Description: Stucco render with a white paint finish.	
	Condition: Poor. Numerous cracks and poor paint finish to entire panel.	
382.	Location: West elevation	Element: Render panel 02
	Description: Stucco render with a white paint finish.	
	Condition: Poor. Category 3 vertical crack to base of chimney approximately 5-10mm wide.	
383.	Location: West elevation	Element: Render panel 02
	Description: Stucco render with a white paint finish.	
	Condition: Poor. Category 2 vertical crack, approximately 2-3mm wide, extending from rainwater outlet to parapet coping.	




384.	Location: West elevation	Element: Render panel 02
	Description: Stucco render with a white paint finish.	
	Condition: Poor. Poor paint finish to full height.	
385.	Location: West elevation	Element: Render panel 02
	Description: Stucco render with a white paint finish.	
	Condition: Poor. Category 2 vertical and horizontal cracking to the full height of the panel.	
386.	Location: West elevation	Element: Render panel 02
	Description: Stucco render with a white paint finish.	
	Condition: Poor. Blown render to low level with category 2 vertical crack to render.	




387.	Location: West elevation	Element: Render panel 02
	Description: Stucco render with a white paint finish.	
	Condition: Poor. Blown render to low level approximately 0.75x1.5m.	
388.	Location: West elevation	Element: Render panel 02
	Description: Stucco render with a white paint finish.	
	Condition: Poor. Blown render to low level to entire bay.	
389.	Location: West elevation	Element: Render panel 02
	Description: Stucco render with a white paint finish.	
	Condition: Poor. Poor paint finish.	

390.	Location: West elevation	Element: Render panel 02
	Description: Stucco render with a white paint finish.	
	Condition: Poor. Category 2 vertical crack, 2-3mm wide between ground and first floor windows.	
391.	Location: West elevation	Element: Render panel 02
	Description: Stucco render with a white paint finish.	
	Condition: Poor. Detached section of render beneath lead flat roof.	
392.	Location: West elevation	Element: Render panel 03
	Description: Stucco render with a white paint finish.	
	Condition: Poor. Staining from previous ivy growth. Poor paint finish.	

393.	Location: West elevation	Element: Render panel 03
	Description: Stucco render with a white paint finish.	
	Condition: As above.	
394.	Location: West elevation	Element: Render panel 03
	Description: Stucco render with a white paint finish.	
	Condition: As above.	
395.	Location: West elevation	Element: Render panel 03
	Description: Stucco render with a white paint finish.	
	Condition: Poor. Blown render to low level.	

396.	Location: West elevation	Element: Render panel 03
	Description: Stucco render with a white paint finish.	
	Condition: Poor. Category 2 vertical and horizontal cracking, 2-3mm wide, above ground floor window.	
397.	Location: South elevation	Element: Render panel 04
	Description: Stucco render with a white paint finish.	
	Condition: Poor. Staining from previous ivy growth. Poor paint finish.	
398.	Location: South elevation	Element: Render panel 04
	Description: Stucco render with a white paint finish.	
	Condition: Poor. Pattern cracking, cracked cill, and poor quality paint finish to low level.	

399.	Location: South elevation	Element: Render panel 04
	Description: Stucco render with a white paint finish.	
	Condition: Poor. Category 2 crack, 2-3mm, to the low level rendered vent.	
400.	Location: South elevation	Element: Render panel 04
	Description: Stucco render with a white paint finish.	
	Condition: Poor. Numerous fine cracks above ground floor windows.	
401.	Location: South elevation	Element: Render panel 04
	Description: Stucco render with a white paint finish.	
	Condition: Poor. Render stained from leaking rainwater goods.	

402.	Location: South elevation	Element: Render panel 04
	Description: Stucco render with a white paint finish.	
	Condition: Poor. Numerous fine cracks above ground floor windows.	
403.	Location: South elevation	Element: Render panel 04
	Description: Stucco render with a white paint finish.	
	Condition: Poor. Previously repaired section of render behind SVP pipework.	
404.	Location: South elevation	Element: Render panel 04
	Description: Stucco render with a white paint finish.	
	Condition: Poor. Category 1 fine cracking above first floor window.	

Appendix A

Window locations



GENERAL STRIP OUT NOTES
Strip Out Package to be submitted to Planners to satisfy all their conditions. Follow Hillingdon Conservation officer's requirements as instructions.
Submit review H&S risk assessment, control and prevention measures and Method Statement (RAMS). Contractor to provide Method Statement for the safe removal of redundant medical gas pipes and existing generators if present.
The extent of proposed demolition/ Strip-Out is shown on Consultant's drawings. These works (all new openings in walls, floors and staircases as well as other works that might jeopardise the structural stability of the adjacent structure at any time during the works) will require the sequence of Strip out to be carefully considered by the demolition contractor to ensure that stability of the remaining portions is maintained at all times. Contractor must follow all BREEM requirements list provided by MEP consultant .
This drawing is to be read in conjunction with MEP and SE's consultants demolition drawings, specifications and Architects proposed drawings, details and specification.

External walls:
Retention: Demolition contractor to provide a method statement for works required on the retained walls.
Removal: Demolition contractor to provide a method statement for all openings to be carefully made in the external walls.

Internal walls:
Retention: All internal walls to be retained unless stated otherwise.
Removal: Demolition Contractor to provide a method statement for all openings to be made, where any load bearing walls are to be removed suitable temporary and/or permanent works must be carried out as instructed by Structural Engineer.

Windows
Removal: Demolition contractor to provide a method statement for the removal of all windows where replacement windows are proposed. (Refer to window schedule for list and details).
Retained: Demolition contractor to provide RAMS and adequate protection to retained windows in the listed building. (Refer to schedule for list and details).

Window sills:
Retention: All window sills to be investigated to assess their condition and should be retained where possible; submit proposal for review and seek further instruction before proceeding. Demolition contractor to provide adequate protection to retained sills.

Doors External and Internal
Retention: Demolition contractor to provide a method statement for works required to doors to be retained.
Removal: Demolition contractor to provide a method statement for the proposed careful removal of external & internal doors. (Refer to door schedule for list and details).

Stairs
Retention: Demolition contractor to protect retained staircases during the demolition works.

Chimney Stack
Retention: Existing chimney stack conditions to be surveyed fully and a method statement for making good to be submitted.
Contractor to provide any temporary works needed to maintain the stability of the building fabric during the works; submit proposal for review and seek further instructions to proceed.

Floor and Ceiling
Floor finishes to be carefully removed by contractor where instructed, SE to assess the structural integrity and report on the findings.
Floor finishes be removed and replaced with new finishes following

Suspended Ceiling
All suspended ceilings within the Ground floor Original building are to be carefully removed following review on site.

SOFT STRIP OUT NOTES:
Once a full Asbestos survey and report has been carried out and submitted to all the relevant parties the selected licensed contractor is to carry out the required asbestos removal and issue clear site clearance certification for reoccupation when work has been completed having made sure the areas requiring clearance assessment have been thoroughly cleaned and allowed to dry following the guidance in HSE publication Managing and working with asbestos in regard to:
- checking site condition
- job completeness and carrying out a thorough visual inspection.

Demolition Contractor to provide a method statement for isolation of incoming mains where necessary. Civil Engineer's + M&E Consultants to be consulted in advance of any isolation or removal of services.
Removal of all carpets, loose furnishings, doors, panelling etc. (anything that is not structural or integral to the building) to be checked.

All boxing out of existing structures and services to be removed for inspection. Existing services to be evaluated by M&E consultants before carefully removing. Once all existing structures have been opened Structural Engineer to assess the structures integrity and document / report the findings to the design team.

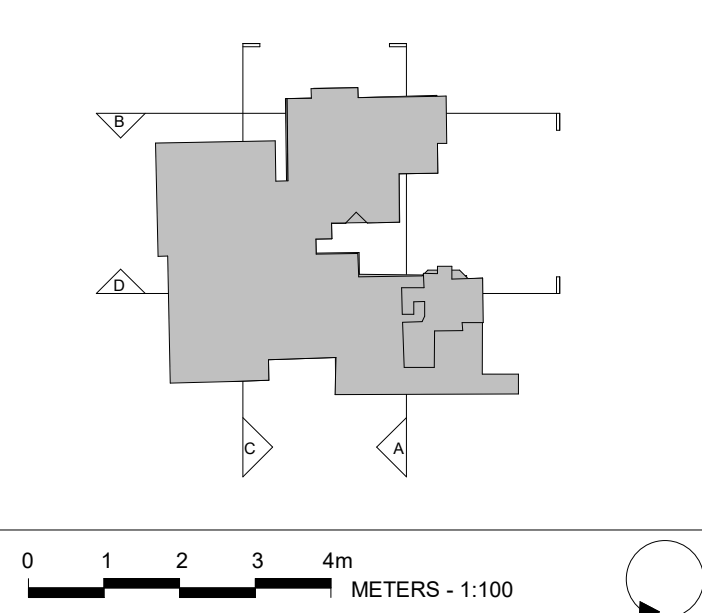
Demolition contractor to provide a method statement for all elements of the building to be removed, carefully along with supporting details prior to any strip out or demolition work being carried out on site. All documentation to be sent to the design team, Hillingdon planning officer and conservation officer for review. Seek further instructions prior to proceeding.

Sanitarywear
Sanitarywear to be repaired if damaged, removed and replaced like for like when repair is not applicable.

Notes

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- If in doubt ask
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Key Plan



- TO BE DEMOLISHED
- EXISTING BUILDING TO BE RETAINED
- SUSPENDED CEILING TO BE DEMOLISHED

FOR ALL MEP INFORMATION REFER TO CPW DRAWINGS
ALL ORIGINAL FEATURES WITHIN THE ORIGINAL BUILDING ARE TO BE PROTECTED; SUBMIT PROPOSAL FOR REVIEW

Project Status				
REV	DESCRIPTION	DATE	BY	CHK
P01	For Tender	03/09/21	FM	LD
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Structural Consultant
CAMPBELL REITH
Cost Consultant
RIDGE AND PARTNERS
Project Title
HILLINGDON HOSPITAL - THE FURZE

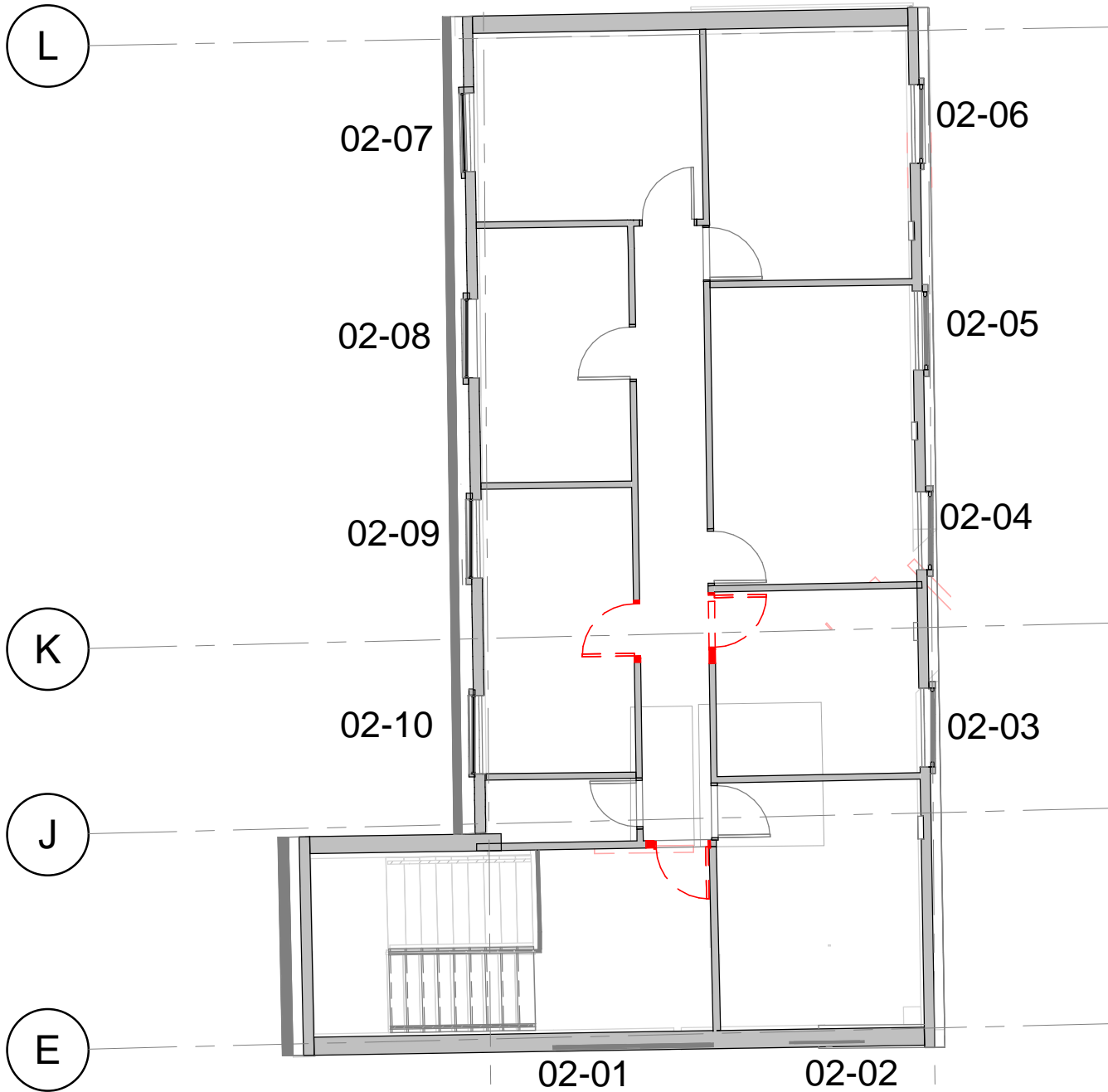
Client
THE HILLINGDON HOSPITAL NHS FOUNDATION TRUST
Drawing Title

DEMOLITION GROUND FLOOR LEVEL
Project Number
LD20 192.00
Drawing Number
THHFP1-LDW-ZZ-00-DR-A-000130
Scale @ A1
1 : 100
Revision
- P06
Date
29/04/22
Architects

LLEWELYN DAVIES
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T +44(0)20 7907 7900 | E london@ldavies.com
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Demolition First Floor Level



Demolition Second Floor Level

GENERAL STRIP OUT NOTES
Strip Out Package to be submitted to Planners to satisfy all their conditions. Follow Hillingdon Conservation officer's requirements as instructions.
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Floor finishes be removed and replaced with new finishes following

Suspended Ceiling
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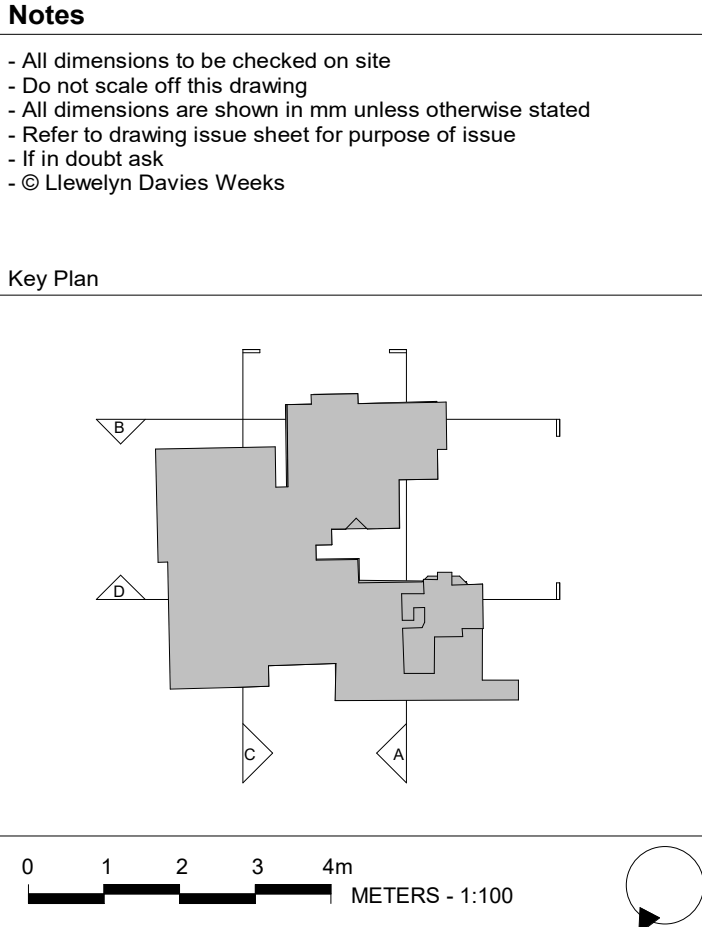
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- TO BE DEMOLISHED
- EXISTING BUILDING TO BE RETAINED
- SUSPENDED CEILING TO BE DEMOLISHED

FOR ALL MEP INFORMATION REFER TO CPW DRAWINGS
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P06	For Tender	28/04/22	ZAK	LD

Structural Consultant Services Consultant
CAMPBELL REITH **CPW**
Cost Consultant
RIDGE AND PARTNERS
Project Title
HILLINGDON HOSPITAL - THE FURZE

Client
THE HILLINGDON HOSPITAL NHS FOUNDATION TRUST

Drawing Title
DEMOLITION FIRST & SECOND FLOOR LEVEL

Project Number
LD20 192.00

Drawing Number Revision
THHFP1-LDW-ZZ-ZZ-DR-A-000131 - P06

Scale @ A1 Date
1 : 100 29/04/22

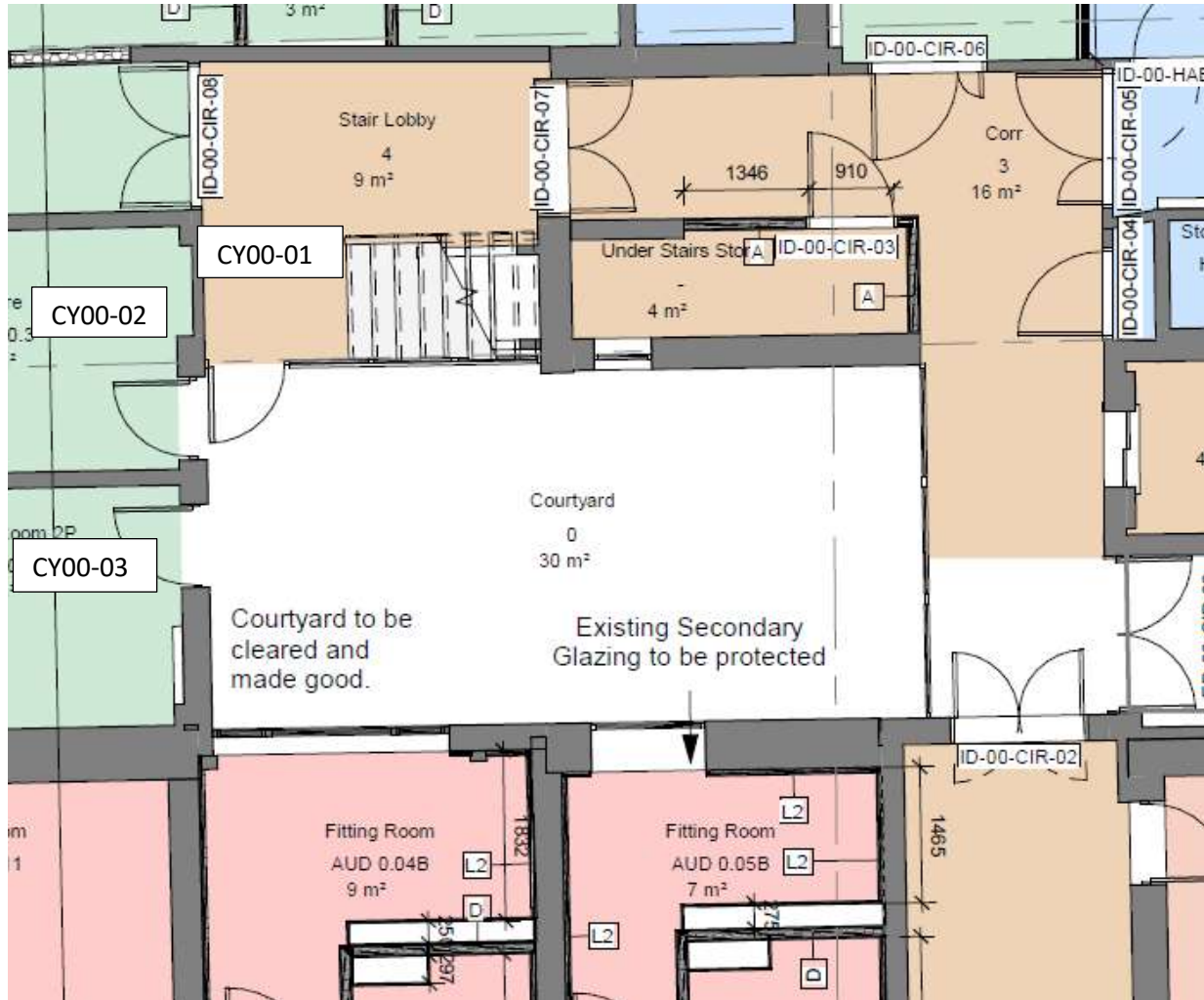
Architects

LLEWELYN DAVIES
Architects | Planners | Designers
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Appendix B

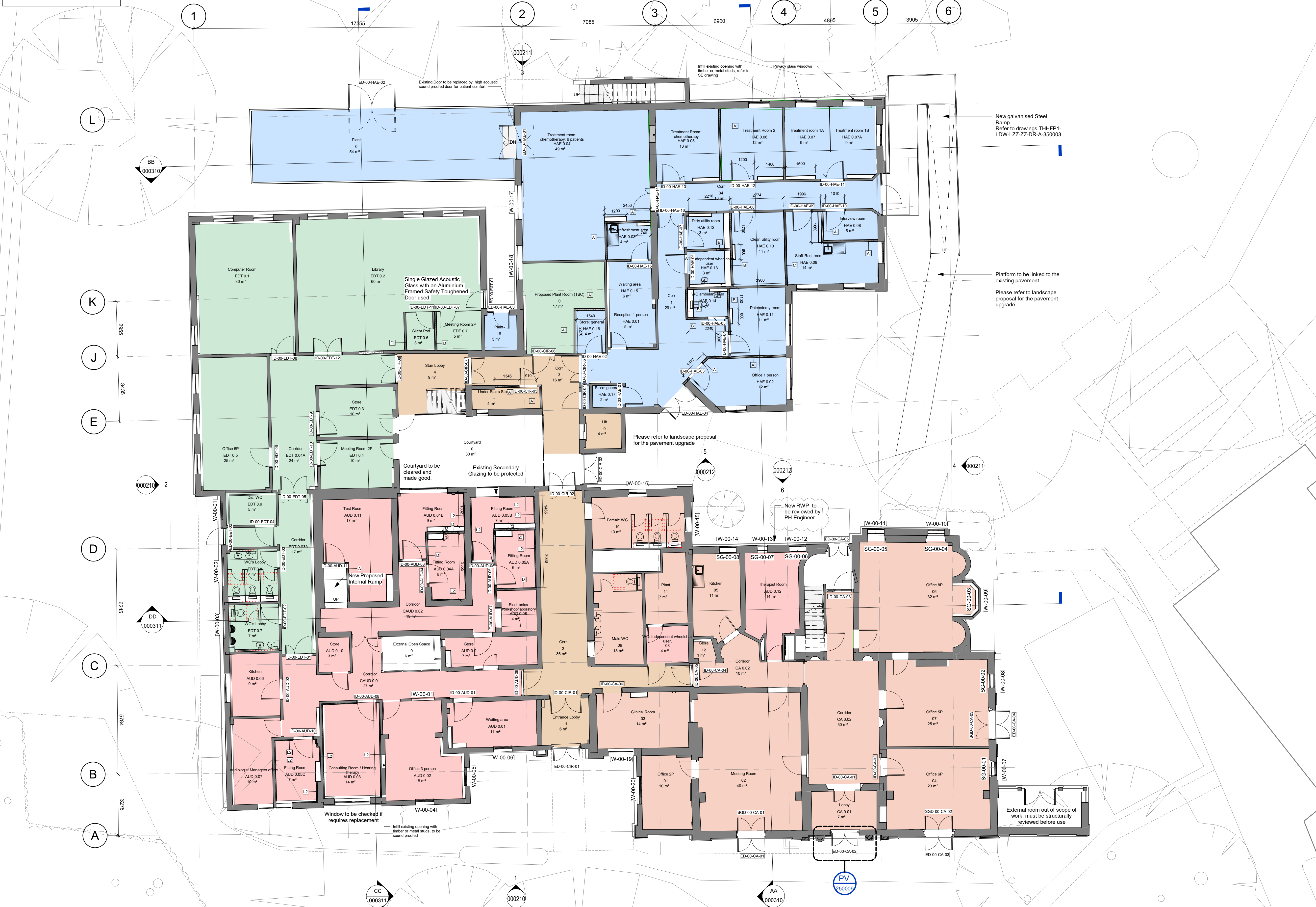
Door locations

Courtyard Door Locations



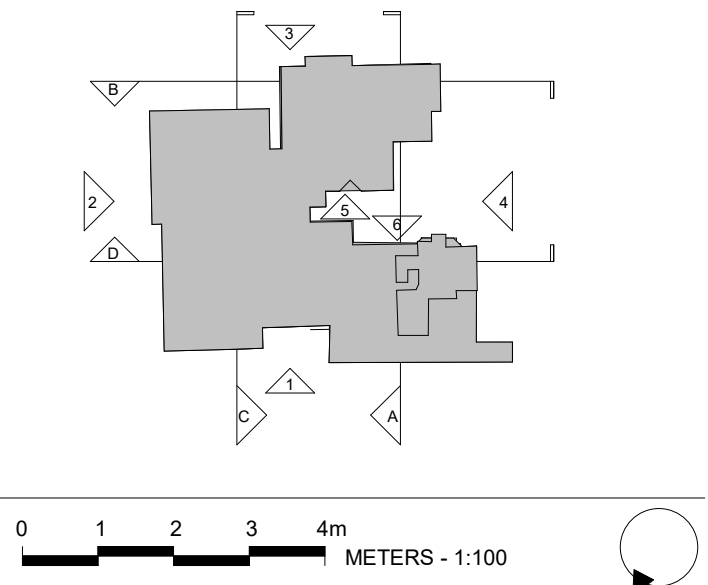
Department Legend

- Audiology
- Circulation
- Clinical Admin
- Education and Training
- Haematology



- Notes
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 - Refer to drawing issue sheet for purpose of issue
 - If in doubt ask
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Key Plan



- GENERAL NOTES:
- ROOM NAME
ROOM NUMBER
AREA IN m2
- ROOM TAG
- DRY LINING TYPE
REFER TO K10K30 SPECIFICATION/ WALL
TYPE REFER TO SERIES 210000
- EXISTING FABRIC
- NEW FABRIC

DRAWINGS TO BE READ IN CONJUNCTION WITH SPECIFICATION & FINISHES SCHEDULE/ SCHEDULE OF WORKS/ MEP & STRUCTURAL ENGINEER'S DRAWINGS

REFER TO 000300 SERIES DWGS FOR SECTIONS REFERRED TO ON THIS DRAWING

TO BE READ IN CONJUNCTION WITH STAGE 4 FIRE STRATEGY REPORT

DIMENSIONS ROUNDED UP OR DOWN TO THE NEAREST WHOLE NUMBER. ALL DIMENSIONS TO BE CONFIRMED ON SITE

LEVELS AND EXISTING BUILDING FABRIC ARE BASED ON MURPHY GEOSPATIAL SURVEY MGS40730 REVISION A DATED 24/02/2021

PROPOSAL PENDING FIRE ENGINEER'S REVIEW AND RECOMMENDATIONS.

ALL ORIGINAL ELEMENTS OF THE BUILDING TO BE RETAINED AND PROTECTED BEFORE COEMMING WORK ON SITE

FOR ALL MEP INFORMATION REFER TO CPW DRAWINGS

ALL DIMENSIONS TO BE CHECKED ON SITE.

ALL EXISTING FEATURES ARE TO BE RETAINED UNLESS THEY ARE SPECIFICALLY MARKED FOR AMENDMENT/REMOVAL/DEMOLITION OR REFURBISHMENT.

- TYPICAL WINDOW CODE EXAMPLE:
- W - 00 - 08
- Window Floor Window No.
- W - WINDOW
- SG - SECONDARY GLAZING
- TYPICAL DOOR CODE EXAMPLE:
- ID - 00 - HAE - 08
- Internal Door Floor Department Door No.
- ID - INTERNAL DOOR
- ED - EXTERNAL DOOR

Project Status

REV	DESCRIPTION	DATE	BY	CHK
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P06	For Tender	28/04/22	ZAK	LD

Structural Consultant
CAMPBELL REITH

Services Consultant
CPW

Cost Consultant
RIDGE AND PARTNERS

Project Title
HILLINGDON HOSPITAL - THE FURZE

Client
THE HILLINGDON HOSPITAL NHS FOUNDATION TRUST

Drawing Title
PROPOSED GROUND FLOOR LEVEL

Project Number
LD20 192.00

Drawing Number
THHFP1-LDW-ZZ-00-DR-A-000120

Revision
- P06

Scale @ A1
1 : 100

Date
29/04/22

Architects
LLEWELYN DAVIES

Architects | Planners | Designers

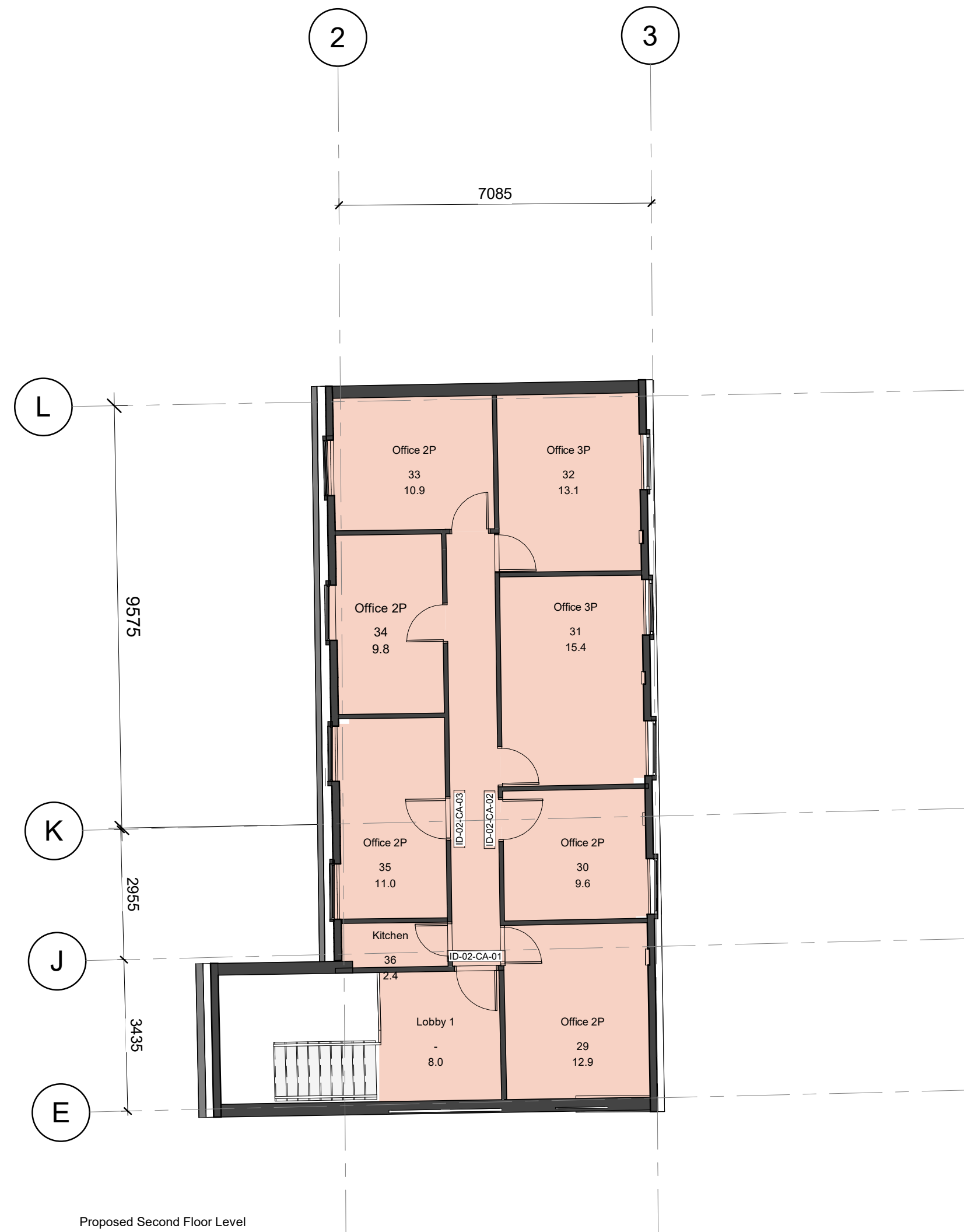
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Department Legend

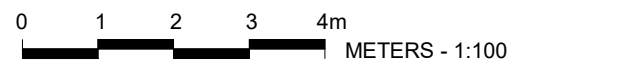
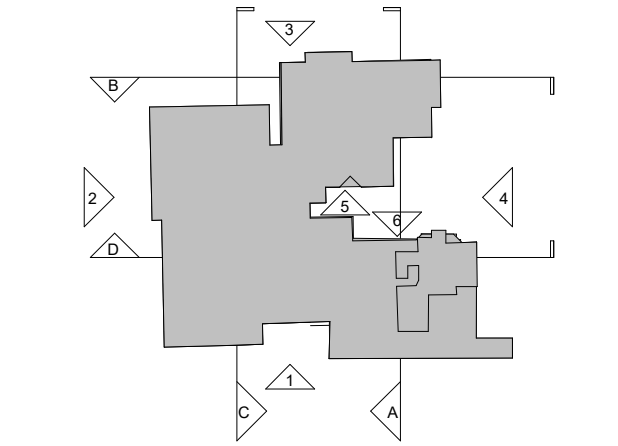
 Clinical Admin



Notes

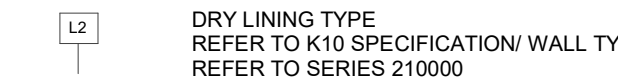
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Key Plan



GENERAL NOTES:

ROOM NAME
ROOM NUMBER ROOM TAG
AREA IN m²



 EXISTING FABRIC

 NEW FABRIC

DRAWINGS TO BE READ IN CONJUNCTION WITH SPECIFICATION
& FINISHES SCHEDULE/ SCHEDULE OF WORKS/ MEP &
STRUCTURAL ENGINEER'S DRAWINGS

REFER TO 000300 SERIES DWGS FOR SECTIONS REFERRED
TO ON THIS DRAWING

TO BE READ IN CONJUNCTION WITH STAGE 4 FIRE STRATEGY
REPORT

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TYPICAL WINDOW CODE EXAMPLE:

W - 00 - 08
Window Floor Window No.

W - WINDOW
SG - SECONDARY GLAZING

TYPICAL DOOR CODE EXAMPLE:

ID - 00 - HAE - 08
Internal Door Floor Department Door No.

ID - INTERNAL DOOR
ED - EXTERNAL DOOR

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Structural Consultant

CAMPBELL REITH

Cost Consultant

RIDGE AND PARTNERS

Project Title

HILLINGDON HOSPITAL - THE FURZE

Client

**THE HILLINGDON HOSPITAL NHS
FOUNDATION TRUST**

Drawing Title

PROPOSED FIRST & SECOND FLOOR LEVEL

Project Number

LD20 192.00

Drawing Number
THHFP1-LDW-ZZ-ZZ-DR-A-000121

Scale @ A1 Date

1 : 100 29/04/22

Architects

LEWELYN
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Appendix C

Repair schedule

WINDOW/ DOOR REPAIR SCHEDULE

RAG key:

	Minor or no works required.
	Repairs recommended.
	Replacement window/ door recommended.

Window/ Door Reference	Age	Defects	Recommendations	RAG
00-01	Original	Poor paint finish. Crazing to the external sealant. Decay to timber cill.	Replace cill, renew paint finish and renew external sealant. Consider window replacement to help improve thermal performance.	
00-02	Original	Poor paint finish. Crazing to the external sealant. Decay to timber cill.	Replace cill, renew paint finish and renew external sealant. Consider window replacement to help improve thermal performance.	
00-03	Original	Poor paint finish. Crazing and defective sealant. Decay to timber cill. Defective catch.	Replace cill, renew paint finish, renew external sealant and replace defective catch. Consider window replacement to help improve thermal performance.	
00-04	Modern replacement	Defective and cracked external sealant. Poor paint finish.	Renew paint finish, renew external sealant and renew paint finish to the window bars.	
00-05	Modern replacement	Window does not stay open. Poor paint finish. Decay to the timber cill and bottom rail.	Repair decay, ease and adjust window and renew paint finish.	
00-06	Modern replacement	Poor paint finish. Defective and aged external seals. Decay to timber cill.	Repair decay, ease and adjust window and renew paint finish.	
00-07	Modern replacement	Difficult to operate. Missing catch on the lock. Timber shrinkage causing splitting in the frame. Poor paint finish.	Renew window.	
00-08	Modern replacement	Operates poorly. Window sticks. Handle loose. Poor paint finish.	Renew window.	
00-09	Modern replacement	Poor paint finish. Loose metal restrictor. Missing timber to the right-side mid rail. Decay to the timber bottom rail. Missing and defective timber cill and decay to some areas.	Renew paint finish, secure metal restrictor and repair decay and missing sections of timber.	
00-10	Original	Poor paint finish. Loose latch to the left-hand side window. Splitting timber to the base of the window frame. Decay to bottom rail externally and to both jambs of window frame. Cracked glazing panels.	Renew paint finish, secure loose latch, repair timber decay and replace cracked glazing.	
00-11	Original	Missing handle and lock to left side window. Loose handle to right side window. Loose glass panel. Poor paint finish. Missing timber to the left side mid rail. Decay to the sill and bottom rail externally.	Renew bottom sash, replace loose glazing, renew paint finish, repair timber decay and renew missing timber sections.	
00-12	Original	Loose handles and locks. Shrinkage to the timber internally. Missing timber to the left side mid rail. Decay to the timber to the bottom rail. Decay to cill. Poor paint finish. Sash cords missing Ivy growth surrounding the window	Renew the bottom sash, renew cill, refix the loose handles and locks, renew paint finish and remove ivy growth.	
00-13	Original	Poor paint finish. Poor quality window. Loose timber to the mid rail. Decay to the timber to the bottom rail.	Renew window.	
00-14	Original	Shrinkage to internal timbers. Poor paint finish internally and externally. Decay to the entire timber cill. Decay to bottom rail. Splitting to the frame internally.	Replace bottom sash, renew paint finish and repair split timber.	
00-15	Original	Missing ironmongery to the base of the window. Splitting to the base of the window and internally bottom rail. Poor paint finish. Poor quality bottom sash	Replace bottom sash, replace missing ironmongery, repair splitting, renew putty and renew paint finish.	
00-16	Original	2no cracked glazed panels. Areas of splitting to the timber frame. Missing timber to mid rail. Decay throughout externally. Poor paint finish internally and externally. Sash cords missing.	Replace cracked glass, repair areas of splitting, replace missing timber rail, repair decay, renew sash cords and renew paint finish.	
00-17	Original	Poor paint finish.	Renew paint finish. Consider window replacement to help improve thermal performance.	
00-18	Original	Poor paint finish.	Renew paint finish. Consider window replacement to help improve thermal performance.	
00-19	Original	Poor paint finish. Localised areas of decay.	Renew paint finish and repair decay.	
00-20	Modern replacement	Window is screwed shut. The lock is broken. Poor paint finish. Extensive decay to the timber. Loose putty.	Reinstate operation, ease and adjust window, replace broken lock, renew paint finish, repair decayed timber and renew putty.	

WINDOW/ DOOR REPAIR SCHEDULE

RAG key:

	Minor or no works required.
	Repairs recommended.
	Replacement window/ door recommended.

Window/ Door Reference	Age	Defects	Recommendations	RAG
00-21	Modern original	Decay to timber bottom rail internally. Poor paint finish. Damaged external ventilator cover. Damage to cill and localised decay to frame.	Renew paint finish, renew putty, repair ventilator and repair decay.	
00-22	Modern original	Decay to timber bottom rail and cill. Poor paint finish. Localised decay to cill, jambs and mid rail externally. Missing sealant and putty.	Repair decayed timber, renew paint finish, renew sealant and putty.	
00-23	Modern original	Decay to timber bottom rail and cill. Poor paint finish. Localised decay to cill, jambs and mid rail externally. Missing sealant and putty.	Repair decayed timber, renew paint finish, renew sealant and putty.	
00-24	Modern original	No loose glazing panel. Decay to timber bottom rail internally and the cill and bottom rail externally. Poor paint finish internally and externally. Missing locator.	Replace areas of timber decay, renew paint finish, and refix locator.	
00-25	Modern original	Poor paint finish internally and externally. Timber frame splitting.	Renew paint finish and repair splitting.	
00-26	Modern original	Loose timber to mid rail. Decay to entire timber bottom rail extending along the rail and up the stiles. Poor paint finish.	Repair timber decay and renew paint finish.	
00-27	Modern original	Loose handle. Poor paint finish. Splitting timber frame. Missing timber on left side mid rail. Decay to the full timber bottom rail extending along the rail and up the stiles. Poor paint finish. Ivy growth.	Refix loose handle, renew paint finish, repair timber decay and remove ivy.	
00-28	Modern original	Missing handle and lock. Right side handle loose. Double glazing blown. Poor paint finish. Missing catch to lock.	Repair handles, renew poor paint finish, and replace blown DGU.	
00-29	Modern original	Loose latch. No cracked glazing panel. Poor paint finish. Decay to timber cill externally.	Repair window, renew paint finish and repair decay.	
00-30	Modern original	Decay to mid rail and bottom rail internally and to timber cill and bottom rail externally. Poor paint finish.	Repair areas of decay and renew paint finish	
00-31	Modern replacement	Window does not stay open. Defect window lock. Seals beginning to perish.	Ease and adjust, repair lock and renew seals.	
00-32	Modern replacement	Window does not stay open.	Ease and adjust.	
00-33	Modern replacement	Seals beginning to perish.	Renew seals.	
00-34	Modern replacement	Defective window lock Sealant beginning to perish.	Repair lock and renew seals.	
00-35	Modern replacement	Soiled externally.	Renew sealant and clean window.	
00-36	Modern replacement	Sealant beginning to perish.	Renew sealant.	
00-37	Modern replacement	Dirty and begrimed. Missing lock.	Replace lock.	
00-38	Modern replacement	Poor quality mastic sealant.	Renew sealant.	
00-39	Modern replacement	Poor quality mastic sealant.	Renew sealant.	
00-40	Modern replacement	Poor quality mastic sealant.	Renew sealant.	
00-41	Modern replacement	No defects.	None	
00-42	Modern replacement	No defects.	None	
00-43	Modern replacement	No defects.	None	
00-44	Modern replacement	Decay to the entire timber cill and bottom rail. Poor paint finish. Missing lock.	Repair decay, renew paint finish and replace lock.	
00-45	Modern original	Missing handle to casement.	Replace handle.	
00-46	Modern original	No issues noted.	No works recommended.	
01-01	Original	Decay to timber throughout to frame and casements Poor paint finish inside and outside.	Renew casements and repair decay to window frame. Renew paint finish.	
01-02	Original	Locks loose. Decay to entire bottom rails and to mid rails extending up the stiles. Poor paint finish.	Renew casements and repair decay to window frame. Renew paint finish.	
01-03	Modern original	Timber decay to frame. Poor paint finish.	Repair decay, ease and adjust and renew paint finish.	
01-04	Modern original	Poor paint finish externally. (No access internally).	Renew paint finish.	
01-05	Modern original	Poor paint finish.	Renew paint finish.	
01-06	Modern original	Poor paint finish. Missing section of timber to mid rail.	Renew paint finish and repair window.	

WINDOW/ DOOR REPAIR SCHEDULE

RAG key:

	Minor or no works required.
	Repairs recommended.
	Replacement window/ door recommended.

Window/ Door Reference	Age	Defects	Recommendations	RAG
01-07	Modern original	Decay to timber cill. Splitting to the timber. Poor paint finish.	Repair decay and splitting and renew paint finish.	
01-08	Modern original	Unable to access room. Poor paint finish externally.	Renew paint finish.	
01-09	Modern original	Unable to access room. Poor paint finish externally.	Renew paint finish.	
01-10	Modern original	Poor paint finish. Missing vent cover.	Refix vent cover and renew paint finish.	
01-11	Modern original	Decay to the bottom rail and bars. Loose handle. Poor paint finish.	Refix loose handle, replace decayed sections of casement and renew paint finish.	
01-12	Modern original	Handles loose. One blown double glazed unit. Splitting to frame. Poor paint finish externally. Vent to top rail loose. Decay to bottom rail.	Replace blown DGU, repair splitting, replace loose vent, refix handle and renew paint finish.	
01-13	Modern original	Loose handle. Poor paint finish externally.	Repair loose handle and renew paint finish.	
01-14	Modern original	Defective latch. Poor paint finish. Shrinkage to frame.	Replace latch and renew paint finish.	
01-15	Modern original	Decay to glazing bars and timber cill. Poor paint finish.	Repair decay and renew paint finish.	
01-16	Original	Decay to mid rail and cill externally. Poor quality putty. Poor paint finish externally. Defective latch. Difficult to operate.	Repair areas of decay, renew putty, repair latch, ease and adjust and renew paint finish.	
01-17	Original	Sash cords cut. One cracked glass panel. Poor paint finish. Timber decay to mid rail and cill.	Repair decay, repair sash cords, replace cracked glazing and renew paint finish.	
01-18	Original	Window inoperable due to partition. Poor paint finish internally and externally. Decay to mid rail and cill. Defective putty.	Renew window.	
01-19	Original	Stiffness when opening. Locks loose. Poor paint finish. Two cracked panes.	Ease and adjust, refix locks, replace cracked glazing and renew paint finish.	
01-20	Original	Poor paint finish.	Renew paint finish.	
01-21	Original	Decay to mid rail and cill. Poor paint finish. Loose locks. Window inoperable.	Ease and adjust window, refix locks, replace sections of timber decay and renew paint finish.	
01-22	Original	Window operates poorly and does not stay open. Poor paint finish internally and externally. Decay to timber externally.	Ease and adjust window, renew paint finish, repair area of decay.	
01-23	Original	Non-operational window. Window dislodged in frame. Poor paint finish internally and externally. Decay to bottom rail. Defective putty.	Ease and adjust window, renew paint finish, replace decayed bottom rail, renew putty.	
01-24	Modern replacement	Window operates poorly and fails to stay open. Poor paint finish internally and externally.	Ease and adjust window and renew paint finish.	
01-25	Modern replacement	Poor paint finish. Decay to timber cill, bottom rail and jambs.	Renew window.	
01-26	Original	Sash cords cut. Poor paint finish internally and externally. Decay to timber cill and mid rail. Defective putty.	Replace sash cords, renew paint finish, repair decayed timber and renew putty.	
01-27	Original	Sash cords cut. One cracked pane. Poor paint finish internally and externally. Defective putty.	Replace sash cords, replace cracked glazing panel, renew paint finish and renew putty.	
01-28	Original	Poor paint finish including external security bars. Poor putty. Window screwed shut.	Renew paint finish and putty. Ease and adjust window.	
01-29	Original	Poor paint finish. Poor putty.	Renew paint finish and putty.	
01-30	Original	Poor paint finish.	Renew paint finish. Consider window replacement to help improve thermal performance.	
01-31	Original	Poor paint finish. Missing handle.	Renew paint finish, replace handles. Consider window replacement to help improve thermal performance.	
01-32	Original	Poor paint finish.	Renew paint finish. Consider window replacement to help improve thermal performance.	
01-33	Original	Poor paint finish. Window does not close fully.	Renew paint finish. Consider window replacement to help improve thermal performance.	
02-01	Original	Poor quality window Window does not close fully.	Renew window.	

WINDOW/ DOOR REPAIR SCHEDULE

RAG key:

	Minor or no works required.
	Repairs recommended.
	Replacement window/ door recommended.

Window/ Door Reference	Age	Defects	Recommendations	RAG
02-02	Original	Poor quality window Window does not close fully.	Renew window.	
02-03	Modern replacement	Good condition	No works recommended.	
02-04	Modern replacement	Good condition	No works recommended.	
02-05	Modern replacement	Good condition	No works recommended.	
02-06	Modern replacement	Good condition	No works recommended.	
02-07	Original	Poor quality window Window does not close fully. Decay to timber externally.	Renew window.	
02-08	Original	Poor quality window Window does not close fully. Decay to timber externally.	Renew window.	
02-09	Original	Poor quality window Window does not close fully. Decay to timber externally.	Renew window.	
02-10	Original	Poor quality window Window does not close fully. Decay to timber externally.	Renew window.	
CIR 00-01	Modern replacement	Decay to RHS frame to lower 600mm. Decay to LHS frame to lower 150mm. Missing sections of mouldings to lower panel internally and externally. Poor finish internally and externally.	Renew door	
CA 00-01	Modern replacement	Timber decay to bottom rails on both doors and decay to threshold. Poor paint finish. Poor quality previous repairs and decay evident to low level to the external surrounds to both sides.	Repair defective areas of timber and redecorate.	
CA 00-02	Modern replacement	Decay to LHS frame to lower 150mm. Missing and decayed sections of mouldings to lower panels internally and externally. Poor finish internally and externally. One missing pull handle. Missing cover plate to door lock. Corrosion staining to hinges.	Renew door	
CA 00-03	Modern replacement	Timber decay to bottom rails to RHS leaf and frame to 150mm. Poor paint finish internally and externally. Poor quality previous repairs and decay evident to low level to the external surrounds to both sides. Poor quality putty to 2no glass panels.	Repair defective areas of timber and redecorate.	
CA 00-04	Modern replacement	Timber decay to threshold. Poor quality previous repair to lower 400mm of LHS side rail. Poor paint finish internally and externally. Poor quality previous repairs to side mouldings.	Repair defective areas of timber and redecorate.	
CA 00-05	Original	Poor quality putty to glazing. 2no missing glazing panels (70x70mm). Timber decay to lower 150mm RHS frame. Decay to architrave to the head of the door. Poor quality decorations internally and externally. Missing cover plate to lock. Decay to LHS frame to lower 150mm.	Repair defective areas of timber and redecorate.	
CIR 00-02	Modern original	Decay to bottom rail, weather bar and door frame to low level. Poor quality paint finish.	Renew door	
H 00-04	Modern original	Missing cover plate to redundant door lock. Tired paint finish internally and externally.	Repair and redecorate door.	
CA 00-06	Modern original	Timber decay to bottom rail. Poor paint finish	Repair and redecorate door.	
H 00-01	Modern original	Localised decay to lower 100mm of door frame to both sides. Split timber weather bar. Poor paint finish internally and externally	Repair and redecorate door.	
H 00-03	Modern replacement	The glass panel has been overclad with timber.	Reinstate glass panel.	
ET 00-01	Modern replacement	Tired paint finish.	Redecorate door.	
ET 00-02	Modern replacement	Door leaf and finish in a very poor condition.	Renew door	
CY00-01	Modern original	No issues noted.	No works recommended.	
CY00-02	Modern original	No issues noted.	No works recommended.	
CY00-03	Modern original	No issues noted.	No works recommended.	
CA 01-01	Modern original	Poor paint finish and 1no missing hinge.	Repair and redecorate door.	
CA 01-02	Original	Fan lights do not close. Poor paint finish. Cover strip fitted to threshold.	Repair and redecorate door.	
CA 01-03	Original	Fan lights do not close. Poor paint finish.	Repair and redecorate door.	

Appendix D

Stucco repair



Stucco Render Condition Summary

Render Panel 1

The panel is in poor condition with a blown section of render approximately 2.0m x 0.8m below the RHS ground floor window. Pattern cracking was noted to a section of render approximately 1.5m x 3m adjacent to the oriel window. Localised missing sections of render were evident to the ground floor window cill and to the lead flashing above the oriel window.

The render is cracked in numerous locations which include; 2-3mm wide horizontal and vertical crack above the LHS GF window; 1mm vertical crack below the LHS GF window; 3no 2-3mm wide vertical cracks to the oriel window projection; fine vertical cracks to the edges of external wall panel projections; and, numerous fine cracks to the parapet wall.

The applied finish to the entire panel is in poor condition.

Render Panel 2

The panel is in poor condition with stepped cracking to render to an area approximately 0.5m x 3m to ground floor on the LHS. The adjoining rendered panel on the LHS is blown to low level to an area approximately 0.75 x 1.5m.

A vertical crack, approximately 5mm is evident at high level to the south face of the chimney stack. A number of vertical cracks 1-2mm wide are evident between ground and first floor windows. A small number of fine horizontal cracks are evident to the LHS corner at first floor level.

Vertical cracks approximately 2-3mm wide are evident from the top of the parapet wall rainwater outlet on the LHS adjoining panel.

The applied finish to the entire panel is in poor condition.

Render Panel 3

The panel is in poor condition with evidence of ivy growth to the entire panel, the majority of the ivy has been cleared with some stems still adhered to the render.

A vertical crack, approximately 2-3mm wide extends from ground level to first floor level. Fine vertical and horizontal cracks are evident above the ground floor window.

The applied finish to the entire panel is in poor condition.

Render Panel 4

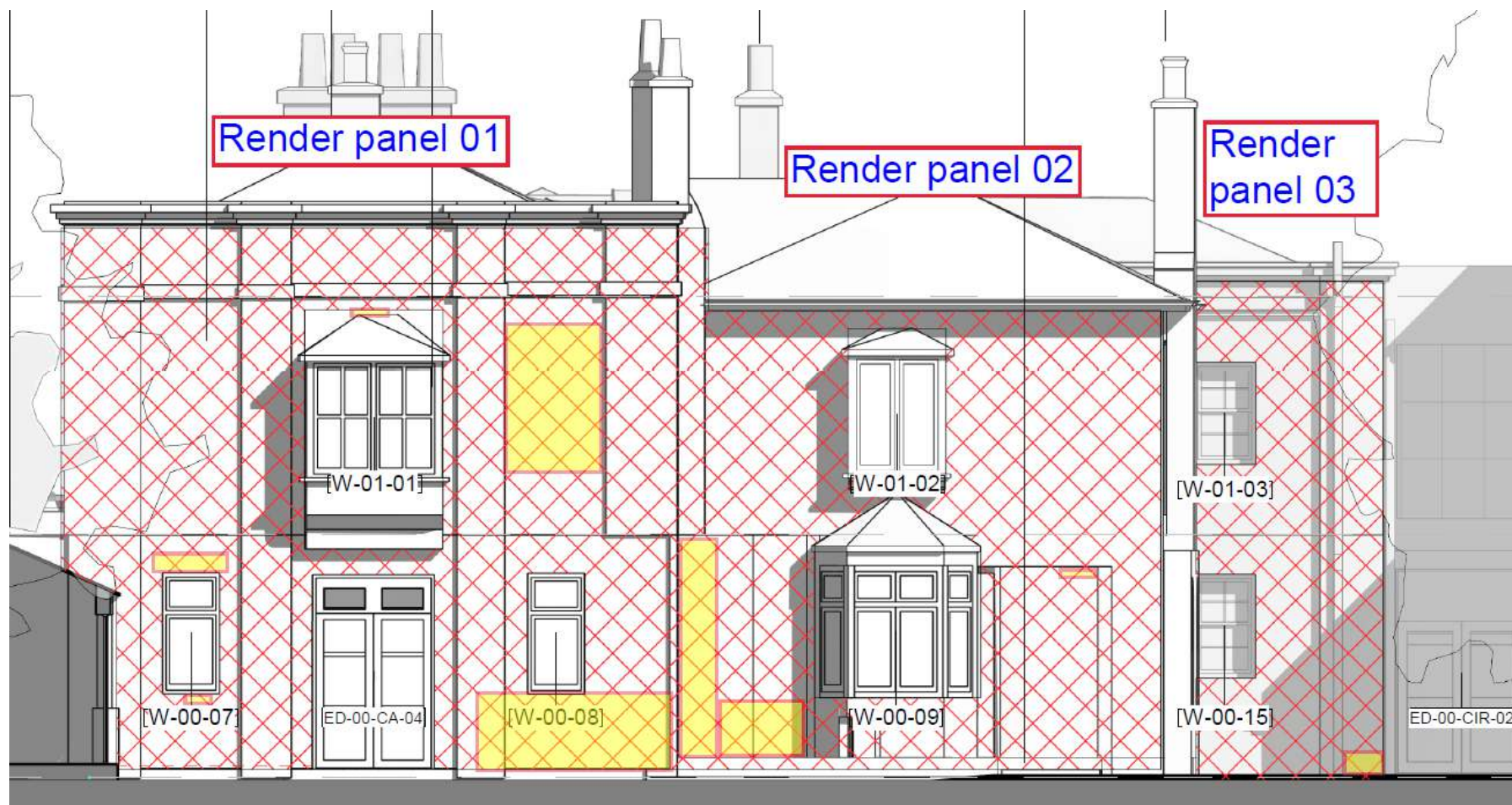
The panel is in poor condition with evidence of ivy growth to the entire panel, the majority of the ivy has been cleared with some stems still adhered to the render.

A small section of render has detached from a ground floor window cill, with vertical cracking evident to the render extending to ground level. The rendered top of the brickwork floor vent is also cracked.

Numerous fine vertical cracks were evident above ground floor and first floor windows.

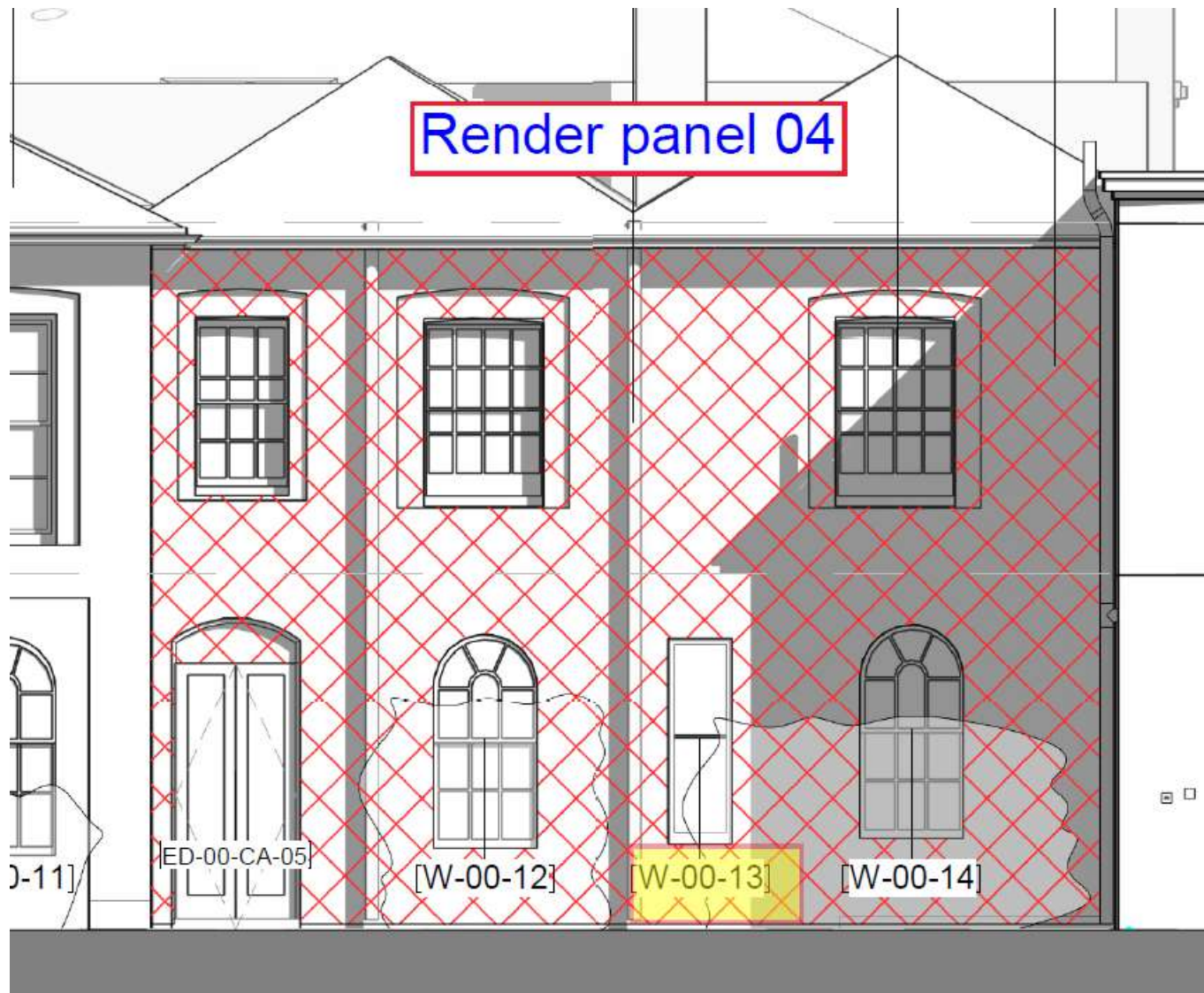
A section of render is stained from the leaking rainwater gutter.

The applied finish to the entire panel is in poor condition.



Denotes areas requiring renewal.

Render panel 04



STUCCO REPAIR SPECIFICATION

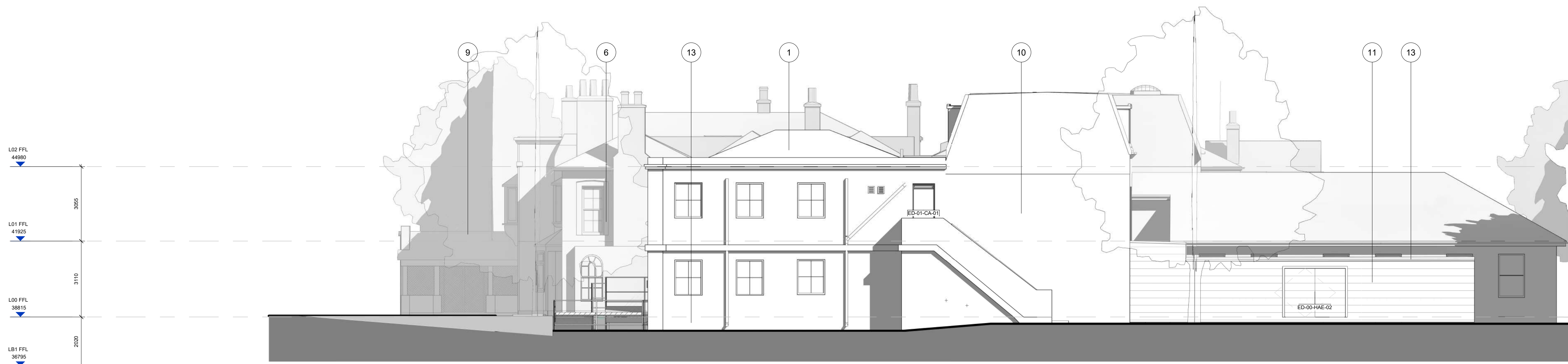
- 1) We recommend each area of stucco is analysed to confirm the original materials and the mix ratio, the results of the analysis should be used when repairing the render.
- 2) Cracks greater than 2mm in the stucco should be carefully cut out to form a slight undercut which will act as a key, and thoroughly flushed out with water to remove dust and loose debris before being filled with fresh mortar based on trial results.
- 3) We recommend a hammer test is completed to all cracked areas of stucco to confirm areas which have lost adhesion, these sections should be cut out and removed and reinstated.
- 4) Hollow areas and voids in the stucco should be flushed out likewise, it may be necessary to form a small hole at the base of the void to allow water to escape. Acetone may be used or added to the water to assist drying. A ten per cent solution of Primal WS24 may be injected into the void prior to grouting in order to increase the bond between grout and internal face, before injecting a fine grout based on lime putty or, in the case of a mastic, a similar mix based on analysis results. It is very important to observe the surface of the stucco while grouting to check for escape holes, surface bulging and consequent loss. Vulnerable areas should be supported until the grout has set. Finally the surface of the stucco is reinstated to its original profile, where possible without causing loss.
- 5) Salt efflorescence may be dry brushed and removed from all surfaces, as should all algal growth. A suitable biocide should be applied to affected areas only, to remove remaining algae and prevent re-growth.
- 6) Friable areas of a lime-based stucco may be consolidated with repeated applications of limewater. To avoid a white bloom it is most important not to let the limewater sit on the surface but to sponge it off with clean water.
- 7) Re-Render in a hot lime render (NOT NHL3.5 or 2) areas that are to be rendered in the lime render are to the old parts of the building (Solid wall construction) Other areas which are the later additions, with modern construction can be rendered in standard sand and cement.
- 8) Suitably prepare and redecorate the areas of stucco using a suitable paint product as recommended by heritage consultant.

Appendix E

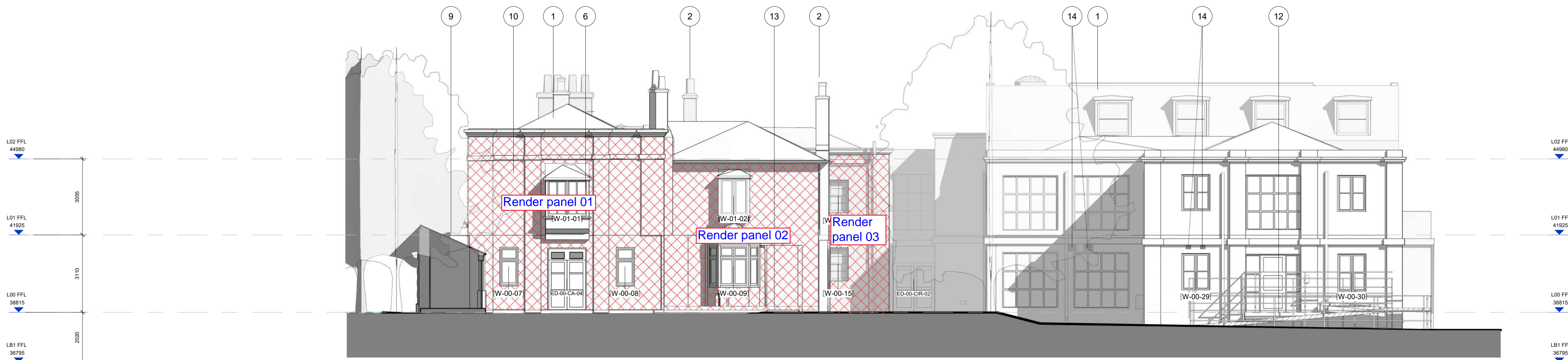
Stucco locations

- 1 Existing roof is to be retained and refurbished or replaced like for like where repair is not possible, including flashing and gutters. (refer to roof survey for additional information)
- 2 The chimney brick to be repointed to match existing and all flashing to be made good.
- 3 Existing round rooflight above 3 storey stairwell to be replaced like for like also provides compliant smoke control and natural light. Access to be via lightweight zip-up scaffold for annual or bi-annual inspection of roofing and flashings.
- 4 All existing guttering to be made good and replaced like for like where needed. Further discussions to be had with MEP Engineer.
- 5 New paint finish to replace existing decaying painted brick walls painted to match colour of Georgian stucco finish.
- 6 New timber fence enclosure to A/C Plant to be positioned in front of existing facade.
- 7 Existing windows & doors to be repaired or replaced like for like where needed.
- 8 Existing decaying timber spandrel panels to be carefully removed to allow fire stopping to be made good. New rendered rainscreen panels to be installed in lieu of the removed timber.

- 9 Following clients confirmation - Shed space to be retained and not repaired. Structural feasibility of future use as a storage facility to be reviewed by S.E.
- 10 Existing render and paint finish to be made good to match colour of stucco. (Extent of the work to be confirmed on site at construction stage, and future repairs to the render will be agreed with local authority following further assessment and secured by planning condition)
- 11 New timber fenced enclosure for A/C plant to be positioned in front of the existing facade.
- 12 New ramp to be installed for compliance with Building Regulation
- 13 Roof covering to be added to the plant area for compliance with HTM 03-01 document, (When refurbishing or changing the use of an existing building, plant space should be created to house the ventilation plant and other services. If located at ground level they should be secured within a plantroom to prevent unauthorised access.)
- 14 New Grille to be installed following MEP Design



Proposed Elevation 03

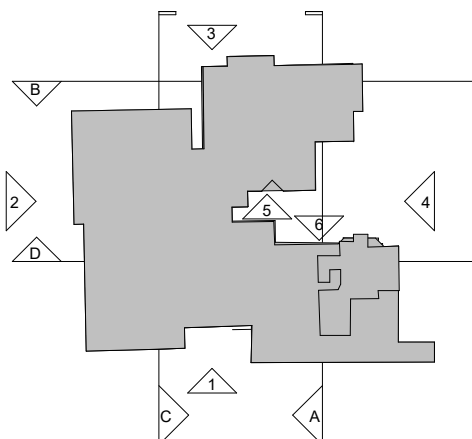


Proposed Elevation 04

Notes

- All dimensions to be checked on site
- Do not scale off this drawing
- All dimensions are shown in mm unless otherwise stated
- Refer to drawing issue sheet for purpose of issue
- If in doubt ask
- © Llewelyn Davies Weeks

Key Plan



GENERAL NOTES:

- EXISTING FABRIC
- NEW FABRIC
- EXTENT OF RENDER TO BE CONFIRMED ON SITE

DRAWINGS TO BE READ IN CONJUNCTION WITH SPECIFICATION & FINISHES SCHEDULE/ SCHEDULE OF WORKS/ MEP & STRUCTURAL ENGINEER'S DRAWINGS

REFER TO 000300 SERIES DWGS FOR SECTIONS REFERRED TO ON THIS DRAWING

TO BE READ IN CONJUNCTION WITH STAGE 4 FIRE STRATEGY REPORT

DIMENSIONS ROUNDED UP OR DOWN TO THE NEAREST WHOLE NUMBER. ALL DIMENSIONS TO BE CONFIRMED ON SITE

LEVELS AND EXISTING BUILDING FABRIC ARE BASED ON MURPHY GEOSPATIAL SURVEY MGS40730 REVISION A DATED 24/02/2021

FOR ALL MEP INFORMATION REFER TO CPW DRAWINGS

ALL DIMENSIONS TO BE CHECKED ON SITE.

FOR ALL ROOF REPAIRS, PLEASE REFER TO ROOF SURVEY QT-000-413 - HILLINGDON HOSPITAL BY HYSURV DATE 11-OCT-2021. SUBMIT PROPOSAL FOR ALLREPAIR METHODS INCLUDING MEANS OF SAFE ACCESS AND SEEK FURTHER INSTRUCTION BEFORE PROCEEDING.

SUBMIT PROPOSAL FOR ASSOCIATED WEATHERPROOFING, INCLUDING MEANS OF SAFE ACCESS AND SEEK FURTHER INSTRUCTION BEFORE PROCEEDING.

ALL EXISTING FEATURES ARE TO BE RETAINED UNLESS THEY ARE SPECIFICALLY MARKED FOR AMENDMENT/REMOVAL/DEMOLITION OR REFURBISHMENT.

ALL DAMPNES REPAIR REQUIREMENTS TO BE READ WITH THE DAMP AND CONDITION SURVEY REPORT PROVIDED BY THE HERITAGE HOUSE ON 1ST OF APRIL 2022.

PROPOSAL PENDING FIRE ENGINEER'S REVIEW AND RECOMMENDATIONS.

TYPICAL WINDOW CODE EXAMPLE:

W - 00 - 08
Window Floor Window No.

TYPICAL DOOR CODE EXAMPLE:

ED - 00 - HAE - 08
External Door Floor Department Door No.

Project Status

REV	DESCRIPTION	DATE	BY	CHK
P01	For Tender	03/09/21	FM	LD
P02	For Tender	28/09/21	FM	LD
P03	For Review and Approval	03/12/21	FM	LD
P04	For Planning Amendments	28/03/22	ZAK	LD
P05	For Tender	29/04/22	ZAK	LD

Structural Consultant
CAMPBELL REITH

Services Consultant
CPW

Cost Consultant

RIDGE AND PARTNERS

Project Title

HILLINGDON HOSPITAL - THE FURZE

Client

THE HILLINGDON HOSPITAL NHS FOUNDATION TRUST

Drawing Title

PROPOSED ELEVATIONS 03&04

Project Number

LD20 192.00

Drawing Number

THHFP1-LDW-ZZ-ZZ-DR-A-000211

Scale @ A1

1 : 100

Architects

Revision

- P05

Date

29/04/22

Architects

LLEWELYN DAVIES

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T +44(0)20 7907 7900 | E london@ldavies.com

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- 4 New render finish to replace existing decaying painted brick walls painted to match colour of Georgian stucco finish.
- 5 Existing windows & doors to be repaired or replaced like for like where required.
- 6 Missing RWP to be replaced by a new RWP.
- 7 Existing render and paint finish to be made good to match colour of stucco. (Extent of the work to be confirmed on site at construction stage, and future repairs to the render will be agreed with local authority following further assessment and secured by planning condition)



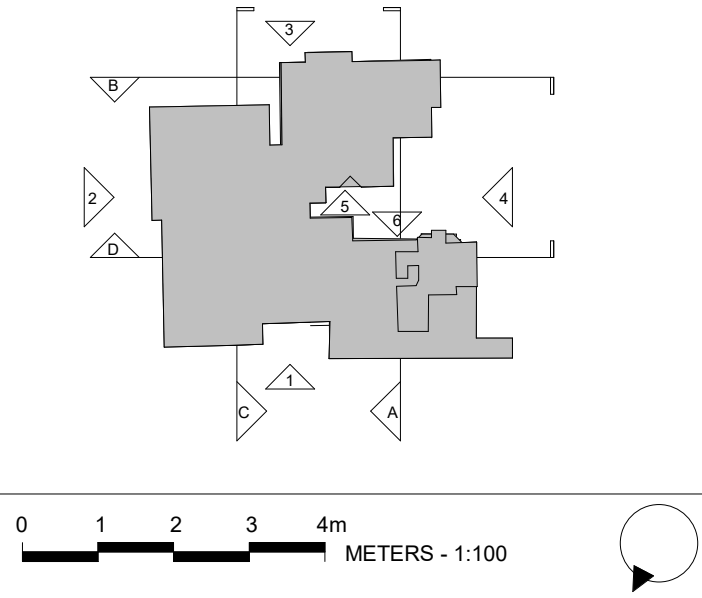
Proposed Elevation 05



Proposed Elevation 06

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Revision
- P05

Date
29/04/22