

Schedule of condition

**The Furze, Hillingdon
Hospital, Pield Heath
Road, Hillingdon UB8 3NN**



Prepared for: Northmores
Prepared by: Chris Baker BSc (Hons) MRICS
Date: 18 September 2023
Reference: 120937-100/MET/CBk

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Regulated by RICS

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1. Introduction

1.1. Brief/background

1.1.1. This Schedule of Condition has been prepared in relation to record the condition of external windows, doors and stucco render at The Furze.

1.2. Date of inspection/weather conditions

1.2.1. The property was inspected by Chris Baker BSc (Hons) MRICS; Phoebe Lowe BSc (Hons); Isobel Harrison BSc (Hons) on 12 April 2023.

1.2.2. A return visit was completed by Chris Baker on 02 August 2023 to record the external condition of the high level windows and the windows and doors in the ground floor courtyard.

1.2.3. Weather conditions at the time of this inspection were dry, overcast and windy.

1.3. Scope and limitations

1.3.1. This schedule of condition is based on a non-intrusive inspection and describes only the visual condition of the elements. We have inspected only those areas which were reasonably accessible.

1.3.2. The following general limitations apply to our inspection and this schedule:

- We have not tested the mechanical and electrical installations, although comments on their visual condition are provided;
- We have not inspected nor tested the below ground drainage;
- We have not provided any comments on contamination nor environmental issues;
- We have not assessed nor commented on any breaches of statutory compliance or other legal issues;
- We have not commented on the presence of any deleterious materials.

1.4. Definitions

1.4.1. The following definitions have been used to describe the condition of various elements of construction:

- *Excellent* – used to describe an element, finish, material or installation which shows no discernible signs of deterioration from new and is fully performing its intended function.
- *Good* – used to describe an element, finish, material or installation which shows minimal signs of deterioration from new and is still fully performing its intended function.
- *Fair* – used to describe an element, finish, material or installation which shows clear signs of wear and tear and deterioration from new but is still performing its intended function.
- *Poor* – used to describe an element, finish, material or installation which is appreciably damaged or has deteriorated significantly from new. Elements, finishes, materials or installations which are not performing their intended function are described as being in poor condition.

1.4.2. Cracks to plasterwork and masonry are classified in accordance with BRE Digest 251 where the width of the crack is recorded as best as possible as follows:

- *Category 0* – Hairline cracks, that is to say, cracks of less than 0.1mm in width and which are classified as negligible. Plaster-type surfaces only.
- *Category 1* – Fine cracks, again rarely visible to facing brickwork, typically up to 1mm in width.
- *Category 2* – Cracks of between 1 and 5mm and typically not necessarily visible in facing brickwork.
- *Category 3* – Cracks of between 5 and 15mm (or several cracks of say 3mm in width).
- *Category 4* – Cracks of between 15 and 25mm which generally denote extensive damage.
- *Category 5* – Cracks exceeding 25mm in width denoting structural damage (though this is dependent on the number of cracks).

1.4.3. This schedule of condition does not seek to determine the precise cause of the defects or damage recorded nor does it attempt to set out the rectification works required.

2. Schedule of condition

1.	<p>Location: Ground Floor – East elevation</p> <p>Description: Steel frame Crittall window with single glazing and paint finish.</p> <p>Condition: Fair. Operational. Poor paint finish</p>	<p>Element: Internal window 00-01</p> 
2.	<p>Location: Ground Floor – East elevation</p> <p>Description: Steel frame Crittall window with single glazing and paint finish.</p> <p>Condition: As above. As above.</p>	<p>Element: Internal window 00-01</p> 
3.	<p>Location: Ground Floor – East elevation</p> <p>Description: Steel frame Crittall window with single glazing and paint finish.</p> <p>Condition: Poor. Decay to the entire timber sill. Defective sealant. Poor paint finish.</p>	<p>Element: External window 00-01</p> 

4.	<p>Location: Ground Floor – East elevation</p> <p>Description: Steel frame Crittall window with single glazing and paint finish.</p> <p>Condition: As above.</p>	<p>Element: External window 00-01</p> 
5.	<p>Location: Ground Floor – East elevation</p> <p>Description: Steel frame Crittall window with single glazing and paint finish.</p> <p>Condition: Fair. Operational. Poor paint finish.</p>	<p>Element: Internal window 00-02</p> 
6.	<p>Location: Ground Floor – East elevation</p> <p>Description: Steel frame Crittall window with single glazing and paint finish.</p> <p>Condition: Fair. As above.</p>	<p>Element: Internal window 00-02</p> 

7.	Location: Ground Floor – East elevation Description: Steel frame Crittall window with single glazing and paint finish.	Element: External window 00-02
	Condition: Poor. Decay to the entire timber sill. Defective sealant. Poor paint finish.	
8.	Location: Ground Floor – East elevation	Element: External window 00-02
	Description: Steel frame Crittall window with single glazing and paint finish.	
9.	Location: Ground Floor – East elevation Description: Steel frame Crittall window with single glazing and paint finish.	Element: Internal window 00-03
	Condition: Fair. Operational. Poor paint finish.	

10.	<p>Location: Ground Floor – East elevation</p> <p>Description: Steel frame Crittall window with single glazing and paint finish.</p> <p>Condition: Fair. As above.</p>	<p>Element: Internal window 00-03</p> 
11.	<p>Location: Ground Floor – East elevation</p> <p>Description: Steel frame Crittall window with single glazing and paint finish.</p> <p>Condition: Poor. Decay to the entire timber sill. Defective sealant. Poor paint finish.</p>	<p>Element: External window 00-03</p> 
12.	<p>Location: Ground Floor – East elevation</p> <p>Description: Steel frame Crittall window with single glazing and paint finish.</p> <p>Condition: Poor. As above.</p>	<p>Element: External window 00-03</p> 

13.	<p>Location: Ground Floor – North elevation</p> <p>Description: Timber frame vertical sliding sash window with single glazing and paint finish.</p> <p>Condition: Fair. Operational.</p>	<p>Element: Internal window 00-04</p> 
14.	<p>Location: Ground Floor – North elevation</p> <p>Description: Timber frame vertical sliding sash window with single glazing and paint finish.</p> <p>Condition: Fair. As above.</p>	<p>Element: Internal window 00-04</p> 
15.	<p>Location: Ground Floor – North elevation</p> <p>Description: Timber frame vertical sliding sash window with single glazing and paint finish.</p> <p>Condition: Fair. Poor paint finish.</p>	<p>Element: External window 00-04</p> 

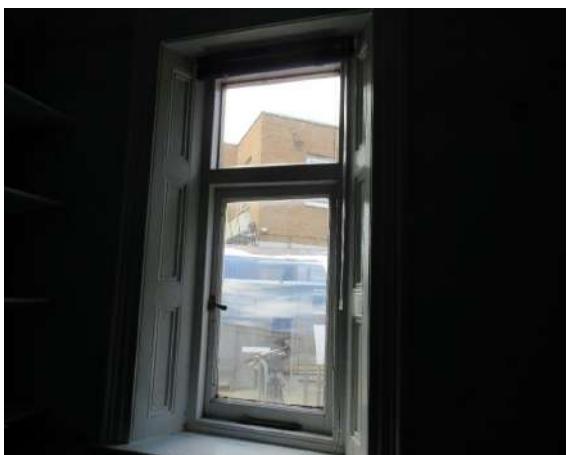
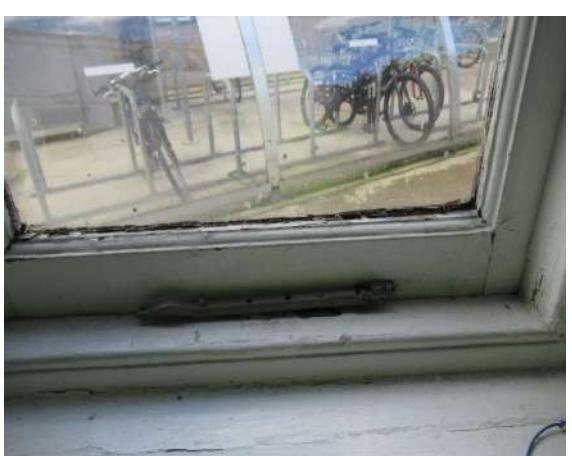
16.	Location: Ground Floor – North elevation	Element: Internal window 00-05
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Fair. Locked shut.	
17.	Location: Ground Floor – North elevation	Element: Internal window 00-05
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Fair. As above.	
18.	Location: Ground Floor – North elevation	Element: Internal window 00-05
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Fair. As above.	

19.	<p>Location: Ground Floor – North elevation</p> <p>Description: Timber frame vertical sliding sash window with single glazing and paint finish.</p> <p>Condition: Poor. Decay to the timber sill and bottom rail. Poor paint finish.</p>	<p>Element: External window 00-05</p> 
20.	<p>Location: Ground Floor – North elevation</p> <p>Description: Timber frame vertical sliding sash window with single glazing and paint finish.</p> <p>Condition: As above.</p>	<p>Element: External window 00-05</p> 
21.	<p>Location: Ground Floor – North elevation</p> <p>Description: Timber frame vertical sliding sash window with double glazing and paint finish.</p> <p>Condition: Fair. Unable to test window secured shut.</p>	<p>Element: Internal window 00-06</p> 

22.	Location: Ground Floor – North elevation	Element: Internal window 00-06
	Description: Timber frame vertical sliding sash window with double glazing and paint finish.	
	Condition: As above. As above.	
23.	Location: Ground Floor – North elevation	Element: External window 00-06
	Description: Timber frame vertical sliding sash window with double glazing and paint finish.	
	Condition: Poor. Decay to timber sill. Poor paint finish.	
24.	Location: Ground Floor – North elevation	Element: External window 00-06
	Description: Timber frame vertical sliding sash window with double glazing and paint finish.	
	Condition: Poor. As above.	

25.	<p>Location: Ground Floor – North elevation</p> <p>Description: Timber frame vertical sliding sash window with double glazing and paint finish.</p> <p>Condition: Poor. As above.</p>	<p>Element: External window 00-06</p> 
26.	<p>Location: Ground Floor – West elevation</p> <p>Description: Timber frame side hung casement window with single glazing and paint finish.</p> <p>Condition: Poor. Does not operate correctly. Difficult to open and close. Missing catch on lock. Timber shrinkage causing splitting to frame. Poor paint finish.</p>	<p>Element: Internal window 00-07</p> 
27.	<p>Location: Ground Floor – West elevation</p> <p>Description: Timber frame side hung casement window with single glazing and paint finish.</p> <p>Condition: Poor. As above.</p>	<p>Element: Internal window 00-07</p> 

28.	Location: Ground Floor – West elevation	Element: Internal window 00-07
	Description: Timber frame side hung casement window with single glazing and paint finish.	
	Condition: Poor. As above.	
29.	Location: Ground Floor – West elevation	Element: External window 00-07
	Description: Timber frame side hung casement window with single glazing and paint finish.	
	Condition: Poor. Poor paint finish.	
30.	Location: Ground Floor – West elevation	Element: External window 00-07
	Description: Timber frame side hung casement window with single glazing and paint finish.	
	Condition: Poor. As above.	

31.	Location: Ground Floor – West elevation	Element: External window 00-07
	Description: Timber frame side hung casement window with single glazing and paint finish.	
	Condition: As above.	
32.	Location: Ground Floor – West elevation	Element: Internal window 00-08
	Description: Timber frame side hung casement window with single glazing and paint finish.	
	Condition: Fair. Operates poorly. Window sticks. Handle loose. Poor paint finish.	
33.	Location: Ground Floor – West elevation	Element: Internal window 00-08
	Description: Timber frame side hung casement window with single glazing and paint finish.	
	Condition: Fair. As above.	

34.	Location: Ground Floor – West elevation	Element: External window 00-08
	Description: Timber frame side hung casement window with single glazing and paint finish.	
	Condition: Poor. Decay to the entire timber sill, bottom rail and mid rail. Defective sealant. Poor paint finish.	
35.	Location: Ground Floor – West elevation	Element: External window 00-08
	Description: Timber frame side hung casement window with single glazing and paint finish.	
	Condition: Poor. As above.	
36.	Location: Ground Floor – West elevation	Element: External window 00-08
	Description: Timber frame side hung casement window with single glazing and paint finish.	
	Condition: Poor. As above.	

37.	Location: Ground Floor – West elevation	Element: Internal window 00-09
	Description: Timber frame side hung casement window with single glazing and paint finish.	
	Condition: Poor. Operational. Fixings to top level restrictor missing. Decay to entire timber bottom rail. Poor paint finish	
38.	Location: Ground Floor – West elevation	Element: Internal window 00-09
	Description: Timber frame side hung casement window with single glazing and paint finish.	
	Condition: Poor. As above.	
39.	Location: Ground Floor – West elevation	Element: Internal window 00-09
	Description: Timber frame side hung casement window with single glazing and paint finish.	
	Condition: Poor. As above.	

40.	Location: Ground Floor – West elevation	Element: External window 00-09
	Description: Timber frame side hung casement window with single glazing and paint finish.	
	Condition: Poor. Missing and defective timber sill. Decay to sill. Defective and missing sealant. Poor paint finish.	
41.	Location: Ground Floor – West elevation	Element: External window 00-09
	Description: Timber frame side hung casement window with single glazing and paint finish.	
	Condition: Poor. As above.	
42.	Location: Ground Floor – West elevation	Element: External window 00-09
	Description: Timber frame side hung casement window with single glazing and paint finish.	
	Condition: Poor. As above.	

43.	Location: Ground Floor – West elevation	Element: Internal window 00-10
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Poor. Does not operate correctly. Screwed shut. Two glazing panels cracked. Decay to timber bottom rail. Poor paint finish.	
44.	Location: Ground Floor – West elevation	Element: Internal window 00-10
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Poor. As above.	
45.	Location: Ground Floor – West elevation	Element: Internal window 00-10
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Poor. As above.	

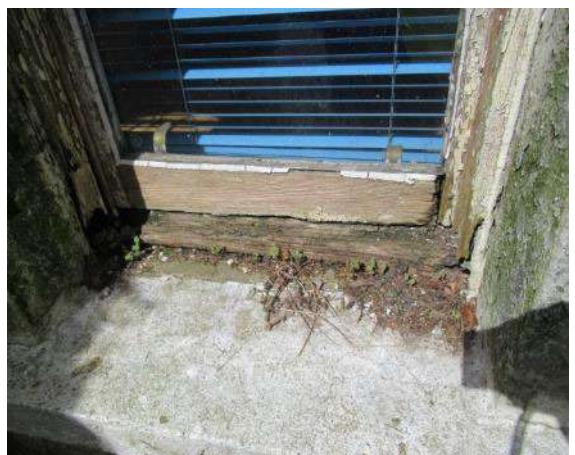
46.	Location: Ground Floor – West elevation	Element: External window 00-10
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
47.	Location: Ground Floor – West elevation	Element: External window 00-10
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
48.	Location: Ground Floor – West elevation	Element: Internal window 00-11
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Poor. Does not operate correctly. Screwed shut. One loose glazing panel. Decay to timber bottom rail extending up the sash bars. Poor paint finish.	

49.	Location: Ground Floor – West elevation	Element: Internal window 00-11
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Poor. As above.	
50.	Location: Ground Floor – West elevation	Element: Internal window 00-11
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Poor. As above.	
51.	Location: Ground Floor – West elevation	Element: External window 00-11
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Poor. Decay to entire timber sill and bottom rail. One loose glazing panel. Poor paint finish.	

52.	Location: Ground Floor – West elevation	Element: External window 00-11
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Poor. As above	
53.	Location: Ground Floor – West elevation	Element: External window 00-11
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Poor. As above.	
54.	Location: Ground Floor – West elevation	Element: Internal window 00-12
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Poor. Does not operate correctly. Screwed shut. Sash cords snapped. Decay to bottom rail. Poor paint finish.	

55.	Location: Ground Floor – West elevation Description: Timber frame vertical sliding sash window with single glazing and paint finish.	Element: Internal window 00-12 
56.	Location: Ground Floor – West elevation Description: Timber frame vertical sliding sash window with single glazing and paint finish.	Element: Internal window 00-12 
57.	Location: Ground Floor – West elevation Description: Timber frame vertical sliding sash window with single glazing and paint finish.	Element: External window 00-12 

58.	Location: Ground Floor – West elevation Description: Timber frame vertical sliding sash window with single glazing and paint finish.	Element: External window 00-12 
59.	Location: Ground Floor – West elevation Description: Timber frame vertical sliding sash window with single glazing and paint finish.	Element: Internal window 00-13 
60.	Location: Ground Floor – West elevation Description: Timber frame vertical sliding sash window with single glazing and paint finish.	Element: Internal window 00-13 

61.	Location: Ground Floor – West elevation	Element: Internal window 00-13
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Poor. As above.	
62.	Location: Ground Floor – West elevation	Element: External window 00-13
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Poor. As above.	
63.	Location: Ground Floor – West elevation	Element: Internal window 00-14
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Poor. Operates poorly. Does not stay open. Decay to entire timber bottom rail. Poor paint finish.	

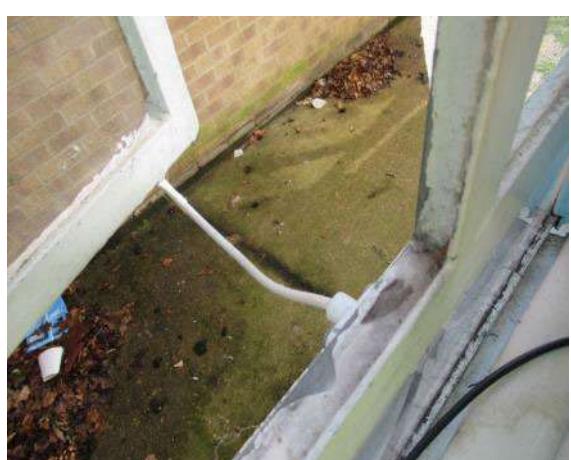
64.	Location: Ground Floor – West elevation	Element: Internal window 00-14
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Fair. As above.	
65.	Location: Ground Floor – West elevation	Element: Internal window 00-14
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Poor. As above.	
66.	Location: Ground Floor – West elevation	Element: External window 00-14
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Poor. Decay to the entire timber sill. Poor sealant. Poor paint finish.	

67.	Location: Ground Floor – West elevation	Element: External window 00-14
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Poor. As above.	
68.	Location: Ground Floor – West elevation	Element: Internal window 00-15
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Poor. Does not operate. Screwed shut. Lock broken. Poor paint finish.	
69.	Location: Ground Floor – West elevation	Element: Internal window 00-15
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Poor. As above.	

70.	Location: Ground Floor – West elevation	Element: External window 00-15
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Poor. Decay to the entire timber jambs, rails and bars. Loose sealant. Poor paint finish	
71.	Location: Ground Floor – West elevation	Element: External window 00-15
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Poor. As above.	
72.	Location: Ground Floor – West elevation	Element: Internal window 00-16
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Poor. Does not operate. Sash cords snapped. Poor paint finish. Two cracked glazing panel.	

73.	Location: Ground Floor – West elevation	Element: Internal window 00-16
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Poor. As above.	
74.	Location: Ground Floor – West elevation	Element: Internal window 00-16
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Poor. As above.	
75.	Location: Ground Floor – West elevation	Element: External window 00-16
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Poor. Missing and defective sealant. Poor paint finish.	

76.	Location: Ground Floor – West elevation	Element: External window 00-16
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Poor. As above.	
77.	Location: Ground Floor – West elevation	Element: External window 00-16
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Poor. As above.	
78.	Location: Ground Floor – South elevation	Element: Internal window 00-17
	Description: Steel frame side hung Crittall window with single glazing and paint finish.	
	Condition: Fair. Operational. Opening restricted by window restrictor. Poor paint finish throughout.	

79.	Location: Ground Floor – South elevation	Element: External window 00-17
	Description: Steel frame side hung Crittall window with single glazing and paint finish.	
	Condition: Fair. As above.	
80.	Location: Ground Floor – South elevation	Element: Internal window 00-18
	Description: Steel frame side hung Crittall window with single glazing and paint finish.	
	Condition: Fair. Operational. Opening restricted by window restrictor. Poor paint finish throughout.	
81.	Location: Ground Floor – South elevation	Element: Internal window 00-18
	Description: Steel frame side hung Crittall window with single glazing and paint finish.	
	Condition: Fair. As above.	

82.	Location: Ground Floor – South elevation	Element: External window 00-18
	Description: Steel frame side hung Crittall window with single glazing and paint finish.	
	Condition: Poor. Poor paint finish throughout.	
83.	Location: Ground Floor –North elevation	Element: Internal window 00-19
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Poor. Operational. Decay to mid rail and bottom rail. Poor paint finish.	
84.	Location: Ground Floor –North elevation	Element: Internal window 00-19
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: As above.	

85.	Location: Ground Floor –North elevation	Element: Internal window 00-19
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Poor. As above.	
86.	Location: Ground Floor –North elevation	Element: External window 00-19
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Poor. Decay to timber sill and bottom rail. Cracked stone sill.	
87.	Location: Ground Floor –North elevation	Element: Internal window 00-20
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Poor. Does not operate correctly. Locked shut. One cracked panel. Mould to timber throughout. Poor paint finish.	

88.	Location: Ground Floor –North elevation	Element: Internal window 00-20
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Poor. As above.	
89.	Location: Ground Floor –North elevation	Element: Internal window 00-20
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Poor. As above.	
90.	Location: Ground Floor –North elevation	Element: External window 00-20
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Poor. Decay to entire timber sill. Poor paint finish	

91.	Location: Ground Floor –North elevation	Element: External window 00-20
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Poor. As above.	
92.	Location: Ground Floor – West elevation	Element: Internal window 00-21
	Description: Timber side hung casement window with double glazing and a paint finish	
	Condition: Fair. Operational. Timber shrinkage causing splitting in the frame. Poor paint finish.	
93.	Location: Ground Floor – West elevation	Element: Internal window 00-21
	Description: Timber side hung casement window with double glazing and a paint finish	
	Condition: Fair. As above.	

94.	Location: Ground Floor – West elevation	Element: Internal window 00-21
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Fair. As above.	
95.	Location: Ground Floor – West elevation	Element: External window 00-21
	Description: Timber side hung casement window with double glazing and a paint finish.	
	Condition: Poor. Broken vent cover to top rail. Poor paint finish.	
96.	Location: Ground Floor – West elevation	Element: External window 00-21
	Description: Timber side hung casement window with double glazing and a paint finish.	
	Condition: Poor. As above.	

97.	Location: Ground Floor – West elevation	Element: Internal window 00-22
	Description: Side hung timber casement window with double glazing and a paint finish.	
	Condition: Fair. Operational. 2no. screws missing to the restrictor. Slight splitting in the timber frame due to shrinkage. Poor paint finish.	
98.	Location: Ground Floor – West elevation	Element: External window 00-22
	Description: Side hung timber casement window with double glazing and a paint finish.	
	Condition: Poor. Missing timber to the bottom rail. Decay to the timber bars throughout. Poor paint finish.	
99.	Location: Ground Floor – West elevation	Element: External window 00-22
	Description: Side hung timber casement window with double glazing and a paint finish.	
	Condition: Poor. As above.	

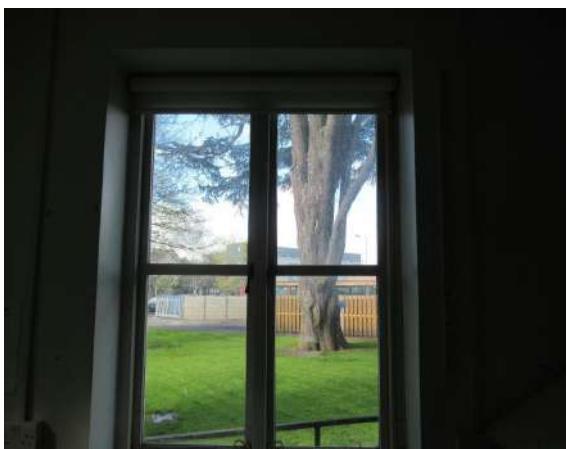
100.	<p>Location: Ground Floor – West elevation</p> <p>Description: Side hung timber casement window with double glazing and a paint finish..</p> <p>Condition: Poor. As above.</p>	<p>Element: External window 00-22</p> 
101.	<p>Location: Ground Floor – West elevation</p> <p>Description: Side hung timber casement window with double glazing and a paint finish..</p> <p>Condition: Fair. Operational. 2no. screws missing to the restrictor. Slight splitting of the timber frame due to shrinkage.</p>	<p>Element: Internal window 00-23</p> 
102.	<p>Location: Ground Floor – West elevation</p> <p>Description: Side hung timber casement window with double glazing and a paint finish..</p> <p>Condition: Fair. As above.</p>	<p>Element: Internal window 00-23</p> 

103.	Location: Ground Floor – West elevation	Element: External window 00-23
	Description: Side hung timber casement window with double glazing and a paint finish.	
	Condition: Poor. Missing timber to the sash bar. Decay to the timber bars throughout. Poor paint finish.	
104.	Location: Ground Floor – West elevation	Element: External window 00-23
	Description: Side hung timber casement window with double glazing and a paint finish.	
	Condition: Poor. As above.	
105.	Location: Ground Floor – West elevation	Element: Internal window 00-24
	Description: Timber side hung casement window with double glazing and a paint finish.	
	Condition: Fair. Operational. Missing lock fixing to bottom rail. Timber shrinkage causing splitting in the frame. Poor paint finish.	

106.	<p>Location: Ground Floor – West elevation</p> <p>Description: Timber side hung casement window with double glazing and a paint finish.</p> <p>Condition: Fair. As above.</p>	<p>Element: Internal window 00-24</p> 
107.	<p>Location: Ground Floor – West elevation</p> <p>Description: Timber side hung casement window with double glazing and a paint finish.</p> <p>Condition: Fair. As above.</p>	<p>Element: Internal window 00-24</p> 
108.	<p>Location: Ground Floor – West elevation</p> <p>Description: Timber side hung casement window with double glazing and a paint finish.</p> <p>Condition: Fair. Poor paint finish.</p>	<p>Element: External window 00-24</p> 

109.	<p>Location: Ground Floor – West elevation</p> <p>Description: Timber side hung casement window with double glazing and a paint finish</p> <p>Condition: Poor. Operational. Timber shrinkage causing splitting in the frame. Poor paint finish.</p>	<p>Element: Internal window 00-25</p> 
110.	<p>Location: Ground Floor – West elevation</p> <p>Description: Timber side hung casement window with double glazing and a paint finish</p> <p>Condition: Poor. As above.</p>	<p>Element: Internal window 00-25</p> 
111.	<p>Location: Ground Floor – West elevation</p> <p>Description: Timber side hung casement window with double glazing and a paint finish</p> <p>Condition: Fair. Poor paint finish.</p>	<p>Element: External window 00-25</p> 

112.	Location: Ground Floor – West elevation	Element: External window 00-25
	Description: Timber side hung casement window with double glazing and a paint finish	
	Condition: Fair. As above.	
113.	Location: Ground Floor – West elevation	Element: Internal window 00-26
	Description: Timber side hung casement window with double glazing and a paint finish.	
	Condition: Fair. Operates moderately. Sticking of the windows. Poor paint finish.	
114.	Location: Ground Floor – West elevation	Element: External window 00-26
	Description: Timber side hung casement window with double glazing and a paint finish.	
	Condition: Fair. Loose timber to mid rail. Decay to entire timber bottom rail extending along the rail and up the stiles. Poor paint finish	

115.	Location: Ground Floor – West elevation	Element: External window 00-26
	Description: Timber side hung casement window with double glazing and a paint finish.	
	Condition: Good. As above.	
116.	Location: Ground Floor – West elevation	Element: Internal window 00-27
	Description: Timber side hung casement window with double glazing and a paint finish.	
	Condition: Poor. Operational. Loose handles and locks. Timber shrinkage causing splitting in the frame.	
117.	Location: Ground Floor – West elevation	Element: Internal window 00-27
	Description: Timber side hung casement window with double glazing and a paint finish.	
	Condition: Poor. As above.	

118.	<p>Location: Ground Floor – West elevation</p> <p>Description: Timber side hung casement window with double glazing and a paint finish.</p> <p>Condition: Poor. As above.</p>	<p>Element: Internal window 00-27</p> 
119.	<p>Location: Ground Floor – West elevation</p> <p>Description: Timber side hung casement window with double glazing and a paint finish.</p> <p>Condition: Poor. Missing timber on left side mid rail. Decay to the full timber bottom rail extending along the rail and up the stiles. Poor paint finish. Ivy growth.</p>	<p>Element: External window 00-27</p> 
120.	<p>Location: Ground Floor – West elevation</p> <p>Description: Timber side hung casement window with double glazing and a paint finish.</p> <p>Condition: Poor. As above.</p>	<p>Element: External window 00-27</p> 

121.	<p>Location: Ground Floor – South elevation</p> <p>Description: Timber side hung casement window with double glazing and a paint finish</p> <p>Condition: Poor. Operational. Missing handle and lock to the left side. Right side handle loose. Double glazing blown with condensation. Poor paint finish.</p>	<p>Element: Internal window 00-28</p> 
122.	<p>Location: Ground Floor – South elevation</p> <p>Description: Timber side hung casement window with double glazing and a paint finish</p> <p>Condition: Poor. As above.</p>	<p>Element: Internal window 00-28</p> 
123.	<p>Location: Ground Floor – South elevation</p> <p>Description: Timber side hung casement window with double glazing and a paint finish</p> <p>Condition: Poor. As above.</p>	<p>Element: Internal window 00-28</p> 

124.	Location: Ground Floor – South elevation	Element: External window 00-28
	Description: Timber side hung casement window with double glazing and a paint finish	
	Condition: Poor. Missing timber to the left side mid rail. Decay to sill and bottom rail extending upwards along the stiles. Poor paint finish.	
125.	Location: Ground Floor – South elevation	Element: External window 00-28
	Description: Timber side hung casement window with double glazing and a paint finish	
	Condition: Poor. As above.	
126.	Location: Ground Floor – South elevation	Element: External window 00-28
	Description: Timber side hung casement window with double glazing and a paint finish	
	Condition: Poor. As above.	

127.	Location: Ground Floor – South elevation	Element: Internal window 00-29
	Description: Timber side hung casement window with double glazing and a paint finish.	
	Condition: Poor. Operational. Left hand side latch loose. Shrinkage of the timber causing splitting in the frame. Poor paint finish.	
128.	Location: Ground Floor – South elevation	Element: Internal window 00-29
	Description: Timber side hung casement window with double glazing and a paint finish.	
	Condition: Poor. As above.	
129.	Location: Ground Floor – South elevation	Element: Internal window 00-29
	Description: Timber side hung casement window with double glazing and a paint finish.	
	Condition: Poor. As above.	

130.	Location: Ground Floor – South elevation	Element: External window 00-29
	Description: Timber side hung casement window with double glazing and a paint finish.	
	Condition: Poor. Decay to the timber bottom rail. Poor paint finish throughout.	
131.	Location: Ground Floor – South elevation	Element: External window 00-29
	Description: Timber side hung casement window with double glazing and a paint finish.	
	Condition: Poor. As above.	
132.	Location: Ground Floor – South elevation	Element: External window 00-29
	Description: Timber side hung casement window with double glazing and a paint finish.	
	Condition: Poor. As above.	

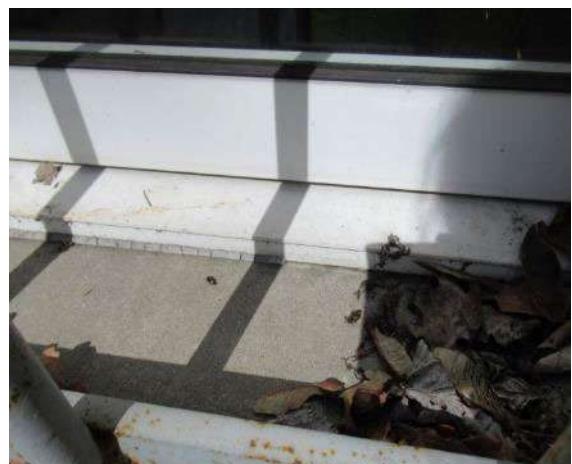
133.	Location: Ground Floor – South elevation	Element: Internal window 00-30
	Description: Timber side hung casement window with double glazing and a paint finish.	
	Condition: Fair. Operational. Poor paint finish throughout. Loose metal restrictor.	
134.	Location: Ground Floor – South elevation	Element: Internal window 00-30
	Description: Timber side hung casement window with double glazing and a paint finish.	
	Condition: As above.	
135.	Location: Ground Floor – South elevation	Element: Internal window 00-30
	Description: Timber side hung casement window with double glazing and a paint finish.	
	Condition: As above.	

136.	Location: Ground Floor – South elevation	Element: External window 00-30
	Description: Timber side hung casement window with double glazing and a paint finish.	
137.	Condition: Poor. Missing timber to the right-side mid rail. Decay to the timber bottom rail. Poor paint finish throughout.	
	Description: Timber side hung casement window with double glazing and a paint finish.	Element: External window 00-30
137.	Condition: Poor. As above.	
138.	Location: Ground Floor – South elevation	Element: Internal window 00-31
	Description: Aluminium frame vertical sliding sash window with single glazing.	
	Condition: Fair. Operational. Unable to stay open. Defective catch. Paint finish to jambs and sill scratched. Defective and aged seal.	

139.	Location: Ground Floor – South elevation	Element: Internal window 00-31
	Description: Aluminium frame vertical sliding sash window with single glazing.	
	Condition: Fair. As above.	
140.	Location: Ground Floor – South elevation	Element: External window 00-31
	Description: Aluminium frame vertical sliding sash window with single glazing.	
	Condition: Fair. Defective sealant.	
141.	Location: Ground Floor – South elevation	Element: Internal window 00-32
	Description: Aluminium frame vertical sliding sash window with single glazing.	
	Condition: Fair. Operational. Unable to stay open. Poor paint finish to jambs and sill.	

142.	<p>Location: Ground Floor – South elevation</p> <p>Description: Aluminium frame vertical sliding sash window with single glazing.</p> <p>Condition: Fair. Defective sealant.</p>	<p>Element: External window 00-32</p> 
143.	<p>Location: Ground Floor – South elevation</p> <p>Description: Aluminium frame vertical sliding sash window with single glazing.</p> <p>Condition: Fair. Operational. Paint finish to jambs and sill scratched. Seals beginning to age.</p>	<p>Element: Internal window 00-33</p> 
144.	<p>Location: Ground Floor – South elevation</p> <p>Description: Aluminium frame vertical sliding sash window with single glazing.</p> <p>Condition: Fair. Defective and cracked sealant. Poor paint finish to security bars.</p>	<p>Element: External window 00-33</p> 

145.	Location: Ground Floor – South elevation	Element: Internal window 00-34
	Description: Aluminium frame vertical sliding sash window with single glazing.	
	Condition: Fair. Operational. Catch defective. Poor paint finish to jambs, sill and window board. Seals aged and defective.	
146.	Location: Ground Floor – South elevation	Element: Internal window 00-34
	Description: Aluminium frame vertical sliding sash window with single glazing.	
	Condition: Fair. As above	
147.	Location: Ground Floor – South elevation	Element: Internal window 00-34
	Description: Aluminium frame vertical sliding sash window with single glazing.	
	Condition: Fair. As above.	

148.	Location: Ground Floor – South elevation	Element: External window 00-34
	Description: Aluminium frame vertical sliding sash window with single glazing.	
	Condition: Fair. Defective and cracked sealant. Poor paint finish to security bars.	
149.	Location: Ground Floor – South elevation	Element: External window 00-34
	Description: Aluminium frame vertical sliding sash window with single glazing.	
	Condition: Fair. As above.	
150.	Location: Ground Floor – South elevation	Element: Internal window 00-35
	Description: Aluminium frame vertical sliding sash window with single glazing.	
	Condition: Good. Operational. Poor paint finish to jambs and sill.	

151.	Location: Ground Floor – South elevation	Element: External window 00-35
	Description: Aluminium frame vertical sliding sash window with single glazing.	
	Condition: Good. Defective and cracking sealant.	
152.	Location: Ground Floor – South elevation	Element: Internal window 00-36
	Description: Aluminium frame vertical sliding sash window with single glazing.	
	Condition: Good. Operational. Paint finish to jambs and sill scratched. Seals beginning to age.	
153.	Location: Ground Floor – South elevation	Element: Internal window 00-36
	Description: Aluminium frame vertical sliding sash window with single glazing.	
	Condition: Good. As above.	

154.	<p>Location: Ground Floor – South elevation</p> <p>Description: Aluminium frame vertical sliding sash window with single glazing.</p> <p>Condition: Good. Crazing to the sealant.</p>	<p>Element: External window 00-36</p> 
155.	<p>Location: Ground Floor – East elevation</p> <p>Description: Aluminium frame vertical sliding sash window with single glazing.</p> <p>Condition: Fair. Operates okay with some stiffness. Missing lock. Scratching to the frame finish.</p>	<p>Element: Internal window 00-37</p> 
156.	<p>Location: Ground Floor – East elevation</p> <p>Description: Aluminium frame vertical sliding sash window with single glazing.</p> <p>Condition: Fair. As above.</p>	<p>Element: Internal window 00-37</p> 

157.	<p>Location: Ground Floor – East elevation</p> <p>Description: Aluminium frame vertical sliding sash window with single glazing.</p> <p>Condition: Fair. Begrimed and soiled.</p>	<p>Element: External window 00-37</p> 
158.	<p>Location: Ground Floor – East elevation</p> <p>Description: Aluminium frame vertical sliding sash window with single glazing.</p> <p>Condition: Fair. Operational. Scratches to the frame finish.</p>	<p>Element: Internal window 00-38</p> 
159.	<p>Location: Ground Floor – East elevation</p> <p>Description: Aluminium frame vertical sliding sash window with single glazing.</p> <p>Condition: Fair. Poor mastic. Dirt soiled.</p>	<p>Element: External window 00-38</p> 

160.	<p>Location: Ground Floor – East elevation</p> <p>Description: Aluminium frame vertical sliding sash window with single glazing.</p> <p>Condition: Fair. As above.</p>	<p>Element: External window 00-38</p> 
161.	<p>Location: Ground Floor – East elevation</p> <p>Description: Aluminium frame vertical sliding sash window with single glazing.</p> <p>Condition: Fair. Operational. Scratches to the frame finish.</p>	<p>Element: Internal window 00-39</p> 
162.	<p>Location: Ground Floor – East elevation</p> <p>Description: Aluminium frame vertical sliding sash window with single glazing.</p> <p>Condition: Fair. Poor mastic. Dirt soiled.</p>	<p>Element: External window 00-39</p> 

163.	<p>Location: Ground Floor – East elevation</p> <p>Description: Aluminium frame vertical sliding sash window with single glazing.</p> <p>Condition: Fair. As above.</p>	<p>Element: External window 00-39</p> 
164.	<p>Location: Ground Floor – East elevation</p> <p>Description: Aluminium frame vertical sliding sash window with single glazing.</p> <p>Condition: Fair. Operational. Scratches to the frame finish.</p>	<p>Element: Internal window 00-40</p> 
165.	<p>Location: Ground Floor – East elevation</p> <p>Description: Aluminium frame vertical sliding sash window with single glazing.</p> <p>Condition: Fair. Poor mastic. Dirt soiled</p>	<p>Element: External window 00-40</p> 

166.	<p>Location: Ground Floor – East elevation</p> <p>Description: Aluminium frame vertical sliding sash window with single glazing.</p> <p>Condition: Fair. As above.</p>	<p>Element: External window 00-40</p> 
167.	<p>Location: Ground Floor – East elevation</p> <p>Description: PVCu window with double glazing.</p> <p>Condition: Good. Operational.</p>	<p>Element: Internal window 00-41</p> 
168.	<p>Location: Ground Floor – East elevation</p> <p>Description: PVCu window with double glazing.</p> <p>Condition: Good. Dirt soiled only.</p>	<p>Element: External window 00-41</p> 

169.	Location: Ground Floor – East elevation	Element: Internal window 00-42
	Description: PVCu window with double glazing.	
	Condition: Fair.	
170.	Location: Ground Floor – East elevation	Element: External window 00-42
	Description: PVCu window with double glazing.	
	Condition: Fair. Dirt soiled.	
171.	Location: Ground Floor – North elevation	Element: Internal window 00-43
	Description: PVCu window with double glazing.	
	Condition: Fair. Operational.	

172.	<p>Location: Ground Floor – North elevation</p> <p>Description: PVCu window with double glazing.</p> <p>Condition: Fair. As above.</p>	<p>Element: Internal window 00-43</p> 
173.	<p>Location: Ground Floor – North elevation</p> <p>Description: PVCu window with double glazing</p> <p>Condition: Good. Dirt soiled.</p>	<p>Element: External window 00-43</p> 
174.	<p>Location: Ground Floor – North elevation</p> <p>Description: Side hung timber casement window with double glazing and paint finish.</p> <p>Condition: Good. Operational.</p>	<p>Element: Internal window 00-44</p> 

175.	<p>Location: Ground Floor – North elevation</p> <p>Description: Side hung timber casement window with double glazing and paint finish.</p> <p>Condition: Good. As above.</p>	<p>Element: Internal window 00-44</p> 
176.	<p>Location: Ground Floor – North elevation</p> <p>Description: Side hung timber casement window with double glazing and paint finish.</p> <p>Condition: Poor. Decay to the entire timber sill and bottom rail. Poor paint finish.</p>	<p>Element: External window 00-44</p> 
177.	<p>Location: Ground Floor – North elevation</p> <p>Description: Side hung timber casement window with double glazing and paint finish.</p> <p>Condition: Poor. As above.</p>	<p>Element: External window 00-44</p> 

178.	<p>Location: Ground floor – courtyard</p> <p>Description: PVCu framed double glazed windows with side hung and top hung casements.</p> <p>Condition: Fair. Missing handle to one casement.</p>	<p>Element: External window 00-45</p> 
179.	<p>Location: Ground floor – courtyard</p> <p>Description: PVCu framed double glazed windows with side hung and top hung casements.</p> <p>Condition: Fair. Poor pointing to perimeter of window frame</p>	<p>Element: External window 00-46</p> 
180.	<p>Location: Ground floor – courtyard</p> <p>Description: As above.</p> <p>Condition: As above.</p>	<p>Element: External window 00-46</p> 

181.	Location: First Floor – West elevation Description: Timber frame side hung casement window with single glazing and paint finish.	Element: Internal window 01-01 
182.	Location: First Floor – West elevation Description: Timber frame side hung casement window with single glazing and paint finish.	Element: Internal window 01-01 
183.	Location: First Floor – West elevation Description: Timber frame side hung casement window with single glazing and paint finish.	Element: External window 01-01 

184.	<p>Location: First Floor – West elevation</p> <p>Description: Timber frame side hung casement window with single glazing and paint finish.</p> <p>Condition: As above. As above</p>	<p>Element: External window 01-01</p> 
185.	<p>Location: First Floor – West elevation</p> <p>Description: Timber frame side hung casement window with single glazing and paint finish.</p> <p>Condition: As above. As above.</p>	<p>Element: External window 01-01</p> 
186.	<p>Location: First Floor – West elevation</p> <p>Description: Timber frame side hung casement window with single glazing and paint finish.</p> <p>Condition: Poor. Decay to entire bottom rail and sill. Poor paint finish.</p>	<p>Element: Internal window 01-02</p> 

187.	Location: First Floor – West elevation Description: Timber frame side hung casement window with single glazing and paint finish.	Element: Internal window 01-02 
188.	Location: First Floor – West elevation Description: Timber frame side hung casement window with single glazing and paint finish.	Element: External window 01-02 
189.	Location: First Floor – South elevation Description: Timber frame side hung casement window with double glazing and paint finish.	Element: Internal window 01-03 
	Condition: Poor. Decay to entire bottom rail and sill. Poor paint finish.	
	Condition: Poor. Decay to timber casements and sill. Poor paint finish.	
	Condition: Poor. Does not operate correctly. Right side stiff. Left side has missing latch.	

190.	<p>Location: First Floor – South elevation</p> <p>Description: Timber frame side hung casement window with double glazing and paint finish.</p> <p>Condition: Poor. As above.</p>	<p>Element: Internal window 01-03</p> 
191.	<p>Location: First Floor – South elevation</p> <p>Description: Timber frame side hung casement window with double glazing and paint finish.</p> <p>Condition: As above. Poor paint finish externally.</p>	<p>Element: External window 01-03</p> 
192.	<p>Location: First Floor – South elevation</p> <p>Description: Timber frame side hung casement window with double glazing and paint finish.</p> <p>Condition: Poor. Poor paint finish externally.</p>	<p>Element: External window 01-04</p> 

193.	<p>Location: First Floor – South elevation</p> <p>Description: Timber frame side hung casement window with double glazing and paint finish.</p> <p>Condition: Poor. Poor paint finish externally.</p>	<p>Element: External window 01-04</p> 
194.	<p>Location: First Floor – South elevation</p> <p>Description: Timber frame side hung casement window with double glazing and paint finish.</p> <p>Condition: Fair. Operational. Poor paint finish.</p>	<p>Element: Internal window 01-05</p> 
195.	<p>Location: First Floor – West elevation</p> <p>Description: Timber frame side hung casement window with double glazing and paint finish.</p> <p>Condition: Fair. Operational. Poor paint finish.</p>	<p>Element: Internal window 01-06</p> 

196.	<p>Location: First Floor – West elevation</p> <p>Description: Timber frame side hung casement window with double glazing and paint finish.</p> <p>Condition: Fair. As above.</p>	<p>Element: Internal window 01-06</p> 
197.	<p>Location: First Floor – West elevation</p> <p>Description: Timber frame side hung casement window with double glazing and paint finish.</p> <p>Condition: Fair. Missing timber beading to mid rail. Poor paint finish.</p>	<p>Element: External window 01-06</p> 
198.	<p>Location: First Floor – West elevation</p> <p>Description: Timber frame casement with double glazing and paint finish.</p> <p>Condition: Fair.</p>	<p>Element: Internal window 01-07</p> 

199.	<p>Location: First Floor – West elevation</p> <p>Description: Timber frame casement with double glazing and paint finish.</p> <p>Condition: Poor. Decay to timber sill. Splitting to timber frame. Poor paint finish.</p>	<p>Element: External window 01-07</p> 
200.	<p>Location: First Floor – West elevation</p> <p>Description: Timber frame casement with double glazing and paint finish.</p> <p>Condition: Poor. As above.</p>	<p>Element: External window 01-07</p> 
201.	<p>Location: First Floor – West elevation</p> <p>Description: Timber frame side hung casement window with double glazing and paint finish.</p> <p>Condition: Fair. Poor paint finish. Unable to access room to assess internal condition.</p>	<p>Element: External window 01-08</p> 

202.	<p>Location: First Floor – West elevation</p> <p>Description: Timber frame side hung casement window with double glazing and paint finish.</p> <p>Condition: Fair. Poor paint finish. Unable to access room to assess internal condition.</p>	<p>Element: External window 01-09</p> 
203.	<p>Location: First Floor – West elevation</p> <p>Description: Timber frame side hung casement window with double glazing and paint finish.</p> <p>Condition: Fair. Operational.</p>	<p>Element: Internal window 01-10</p> 
204.	<p>Location: First Floor – West elevation</p> <p>Description: Timber frame side hung casement window with double glazing and paint finish.</p> <p>Condition: Fair. Poor paint finish. Missing vent cover.</p>	<p>Element: External window 01-10</p> 

205.	Location: First Floor – West elevation	Element: Internal window 01-11
	Description: Timber frame side hung casement window with double glazing and paint finish.	
	Condition: Fair. Handles lose. Gaps in the window frame.	
206.	Location: First Floor – West elevation	Element: Internal window 01-11
	Description: Timber frame side hung casement window with double glazing and paint finish.	
	Condition: Fair.	
	Location: First Floor – West elevation	Element: External window 01-11
	Description: Timber frame side hung casement window with double glazing and paint finish.	
	Condition: Poor. Decay to the bottom rail and window bars. Poor paint finish.	

207.	<p>Location: First Floor – West elevation</p> <p>Description: Timber frame side hung casement window with double glazing and paint finish.</p> <p>Condition: Poor. As above.</p>	<p>Element: External window 01-11</p> 
208.	<p>Location: First Floor – West elevation</p> <p>Description: Timber frame side hung casement window with double glazing and paint finish.</p> <p>Condition: Poor. Handles loose. One loose blown DGU with condensation.</p>	<p>Element: Internal window 01-12</p> 
209.	<p>Location: First Floor – West elevation</p> <p>Description: Timber frame side hung casement window with double glazing and paint finish.</p> <p>Condition: Poor. Blown double glazed unit.</p>	<p>Element: Internal window 01-12</p> 

210.	<p>Location: First Floor – West elevation</p> <p>Description: Timber frame side hung casement window with double glazing and paint finish.</p> <p>Condition: Poor. Vent cover to top rail loose. Decay to bottom rail. Poor paint finish.</p>	<p>Element: External window 01-12</p> 
211.	<p>Location: First Floor – West elevation</p> <p>Description: Timber frame side hung casement window with double glazing and paint finish.</p> <p>Condition: Poor. As above.</p>	<p>Element: External window 01-12</p> 
212.	<p>Location: First Floor – West elevation</p> <p>Description: Timber frame side hung casement window with double glazing and paint finish.</p> <p>Condition: Fair. Handles loose.</p>	<p>Element: Internal window 01-13</p> 

213.	<p>Location: First Floor – West elevation</p> <p>Description: Timber frame side hung casement window with double glazing and paint finish.</p> <p>Condition: Fair. Poor paint finish.</p>	<p>Element: External window 01-13</p> 
214.	<p>Location: First Floor – West elevation</p> <p>Description: Timber frame side hung casement window with double glazing and paint finish.</p> <p>Condition: Fair. Missing latch to left side. Timber shrinkage causing splitting in the frame.</p>	<p>Element: Internal window 01-14</p> 
215.	<p>Location: First Floor – West elevation</p> <p>Description: Timber frame side hung casement window with double glazing and paint finish.</p> <p>Condition: As above.</p>	<p>Element: Internal window 01-14</p> 

216.	Location: First Floor – West elevation	Element: Internal window 01-14
	Description: Timber frame side hung casement window with double glazing and paint finish.	
	Condition: As above.	
217.	Location: First Floor – West elevation	Element: External window 01-14
	Description: Timber frame side hung casement window with double glazing and paint finish.	
	Condition: Fair. Poor paint finish.	
218.	Location: First Floor – West elevation	Element: Internal window 01-15
	Description: Timber frame casement window with double glazing and paint finish.	
	Condition: Good. Operational.	

219.	Location: First Floor – West elevation	Element: External window 01-15
	Description: Timber frame casement window with double glazing and paint finish.	
220.	Location: First Floor – West elevation	Element: External window 01-15
	Description: Timber frame casement window with double glazing and paint finish.	
221.	Location: First Floor – West elevation	Element: Internal window 01-16
	Description: Timber frame vertical sliding sash window with double glazing and paint finish.	
	Condition: Poor. Defective latch. Stiffness in opening. Poor paint finish.	

222.	<p>Location: First Floor – West elevation</p> <p>Description: Timber frame vertical sliding sash window with double glazing and paint finish.</p> <p>Condition: Poor. Defective latch. Stiffness in opening. Poor paint finish.</p>	<p>Element: Internal window 01-16</p> 
223.	<p>Location: First Floor – West elevation</p> <p>Description: Timber frame vertical sliding sash window with double glazing and paint finish.</p> <p>Condition: Poor. Decay to timber mid rail and sill. Poor paint finish.</p>	<p>Element: External window 01-16</p> 
224.	<p>Location: First Floor – West elevation</p> <p>Description: Timber frame vertical sliding sash window with double glazing and paint finish.</p> <p>Condition: As above.</p>	<p>Element: External window 01-16</p> 

225.	Location: First Floor – West elevation Description: Timber frame vertical sliding sash window with single glazing and paint finish.	Element: Internal window 01-17 
226.	Location: First Floor – West elevation Description: Timber frame vertical sliding sash window with single glazing and paint finish.	Element: Internal window 01-17 
227.	Location: First Floor – West elevation Description: Timber frame vertical sliding sash window with single glazing and paint finish.	Element: External window 01-17 

228.	Location: First Floor – West elevation Description: Timber frame vertical sliding sash window with single glazing and paint finish.	Element: Internal window 01-18 
229.	Location: First Floor – West elevation Description: Timber frame vertical sliding sash window with single glazing and paint finish.	Element: Internal window 01-18 
230.	Location: First Floor – West elevation Description: Timber frame vertical sliding sash window with single glazing and paint finish.	Element: External window 01-18 

231.	Location: First Floor – West elevation Description: Timber frame vertical sliding sash window with single glazing and paint finish.	Element: Internal window 01-19 
232.	Location: First Floor – West elevation Description: Timber frame vertical sliding sash window with single glazing and paint finish.	Element: Internal window 01-19 
233.	Location: First Floor – West elevation Description: Timber frame vertical sliding sash window with single glazing and paint finish.	Element: External window 01-19 

234.	Location: First Floor – West elevation	Element: Internal window 01-20
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Fair. Poor paint finish.	
235.	Location: First Floor – West elevation	Element: Internal window 01-20
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Fair. Poor paint finish.	
236.	Location: First Floor – West elevation	Element: External window 01-20
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Poor. Poor paint finish.	

237.	<p>Location: First Floor – West elevation</p> <p>Description: Timber frame vertical sliding sash window with single glazing and paint finish.</p> <p>Condition: Poor. Poor paint finish.</p>	<p>Element: External window 01-20</p> 
238.	<p>Location: First Floor – West elevation</p> <p>Description: Timber frame vertical sliding sash window with single glazing and paint finish.</p> <p>Condition: Poor. Unable to open. Poor paint finish.</p>	<p>Element: Internal window 01-21</p> 
239.	<p>Location: First Floor – West elevation</p> <p>Description: Timber frame vertical sliding sash window with single glazing and paint finish.</p> <p>Condition: Poor. Unable to open. Poor paint finish.</p>	<p>Element: Internal window 01-21</p> 

240.	<p>Location: First Floor – West elevation</p> <p>Description: Timber frame vertical sliding sash window with single glazing and paint finish.</p> <p>Condition: Poor. Decay to mid rail and sill. Poor paint finish.</p>	<p>Element: External window 01-21</p> 
241.	<p>Location: First Floor – West elevation</p> <p>Description: Timber frame vertical sliding sash window with single glazing and paint finish.</p> <p>Condition: As above.</p>	<p>Element: External window 01-21</p> 
242.	<p>Location: First Floor – North elevation</p> <p>Description: Timber frame vertical sliding sash window with single glazing and paint finish.</p> <p>Condition: Poor. Operates poorly. Does not stay open. Poor paint finish.</p>	<p>Element: Internal window 01-22</p> 

243.	Location: First Floor – North elevation	Element: Internal window 01-22
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Poor. Operates poorly. Does not stay open. Poor paint finish.	
244.	Location: First Floor – North elevation	Element: External window 01-22
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Poor. Poor paint finish. Decay to the timber.	
245.	Location: First Floor – North elevation	Element: Internal window 01-23
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Poor. Non – operational. Stuck shut and out of frame. Poor paint finish.	

246.	Location: First Floor – North elevation	Element: Internal window 01-23
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Poor. Inoperable. Stuck shut and out of alignment with frame. Poor paint finish.	
247.	Location: First Floor – North elevation	Element: Internal window 01-23
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Poor. Inoperable. Stuck shut and out of frame. Poor paint finish.	
248.	Location: First Floor – North elevation	Element: External window 01-23
	Description: Timber frame vertical sliding sash window with single glazing and paint finish.	
	Condition: Poor. Decay to bottom rail. Poor paint finish.	

249.	<p>Location: First Floor – North elevation</p> <p>Description: Timber frame vertical sliding sash window with double glazing and paint finish.</p> <p>Condition: Poor. Operates poorly. Does not hold open. Poor paint finish.</p>	<p>Element: Internal window 01-24</p> 
250.	<p>Location: First Floor – North elevation</p> <p>Description: Timber frame vertical sliding sash window with double glazing and paint finish.</p> <p>Condition: Poor. Operates poorly. Does not hold open. Poor paint finish.</p>	<p>Element: Internal window 01-24</p> 
251.	<p>Location: First Floor – North elevation</p> <p>Description: Timber frame vertical sliding sash window with double glazing and paint finish.</p> <p>Condition: Fair. Poor paint finish.</p>	<p>Element: External window 01-24</p> 

252.	Location: First Floor – North elevation Description: Timber frame vertical sliding sash window with double glazing and paint finish.	Element: Internal window 01-25 
253.	Location: First Floor – North elevation Description: Timber frame vertical sliding sash window with double glazing and paint finish.	Element: Internal window 01-25 
254.	Location: First Floor – North elevation Description: Timber frame vertical sliding sash window with double glazing and paint finish.	Element: External window 01-25 

255.	Location: First Floor – East elevation Description: Timber frame vertical sliding sash window with double glazing and paint finish.	Element: Internal window 01-26 
256.	Location: First Floor – East elevation Description: Timber frame vertical sliding sash window with single glazing and paint finish.	Element: Internal window 01-26 
257.	Location: First Floor – East elevation Description: Timber frame vertical sliding sash window with single glazing and paint finish.	Element: External window 01-26 

258.	Location: First Floor – East elevation Description: Timber frame vertical sliding sash window with single glazing and paint finish.	Element: Internal window 01-27 
259.	Location: First Floor – East elevation Description: Timber frame vertical sliding sash window with single glazing and paint finish.	Element: Internal window 01-27 
260.	Location: First Floor – East elevation Description: Timber frame vertical sliding sash window with single glazing and paint finish.	Element: Internal window 01-27 

261.	Location: First Floor – East elevation Description: Timber frame vertical sliding sash window with single glazing and paint finish.	Element: External window 01-27 
262.	Location: First Floor – East elevation Description: Timber frame vertical sliding sash window with single glazing and paint finish.	Element: Internal window 01-28 
263.	Location: First Floor – East elevation Description: Timber frame vertical sliding sash window with single glazing and paint finish.	Element: Internal window 01-28 

264.	Location: First Floor – East elevation Description: Timber frame vertical sliding sash window with single glazing and paint finish.	Element: External window 01-28 
265.	Location: First Floor – East elevation Description: Timber frame vertical sliding sash window with single glazing and paint finish.	Element: Internal window 01-29 
266.	Location: First Floor – East elevation Description: Timber frame vertical sliding sash window with single glazing and paint finish.	Element: Internal window 01-29 

267.	<p>Location: First Floor – East elevation</p> <p>Description: Timber frame vertical sliding sash window with single glazing and paint finish.</p> <p>Condition: Poor. Poor paint finish externally</p>	<p>Element: External window 01-29</p> 
268.	<p>Location: First floor – east elevation.</p> <p>Description: Steel frame crittal window with single glazing and top hung casements.</p> <p>Condition: Poor. Poor paint finish externally.</p>	<p>Element: External window 01-30</p> 
269.	<p>Location: First Floor – East elevation</p> <p>Description: Steel frame top hung Crittall window with single glazing and paint finish.</p> <p>Condition: Poor. Unable to test opening. Poor paint finish.</p>	<p>Element: Internal window 01-30</p> 

270.	<p>Location: First Floor – East elevation</p> <p>Description: Steel frame top hung Crittall window with single glazing and paint finish.</p> <p>Condition: Poor. Unable to test opening. Poor paint finish.</p>	<p>Element: Internal window 01-30</p> 
271.	<p>Location: First Floor – East elevation</p> <p>Description: Steel frame Crittall window with single glazing and paint finish.</p> <p>Condition: Poor. Poor paint finish.</p>	<p>Element: Internal window 01-31</p> 
272.	<p>Location: First Floor – East elevation</p> <p>Description: As above.</p> <p>Condition: Poor. Missing handle.</p>	<p>Element: Internal window 01-31</p> 

273.	<p>Location: First Floor – East elevation</p> <p>Description: As above.</p> <p>Condition: Poor. Poor paint finish externally.</p>	<p>Element: External window 01-31</p> 
274.	<p>Location: First Floor – East elevation</p> <p>Description: Steel frame top hung Crittall window with single glazing and paint finish</p> <p>Condition: Poor. Poor paint finish.</p>	<p>Element: Internal window 01-32</p> 
275.	<p>Location: First Floor – East elevation</p> <p>Description: As above.</p> <p>Condition: Poor. Poor paint finish to timber cill.</p>	<p>Element: Internal window 01-32</p> 

276.	<p>Location: First Floor – East elevation</p> <p>Description: As above.</p> <p>Condition: Poor. Poor paint finish externally.</p>	<p>Element: External window 01-32</p> 
277.	<p>Location: First Floor – East elevation</p> <p>Description: Steel frame Crittall window with single glazing and paint finish.</p> <p>Condition: Poor. Poor paint finish internally.</p>	<p>Element: Internal window 01-33</p> 
278.	<p>Location: First Floor – East elevation</p> <p>Description: As above.</p> <p>Condition: Poor. Water damage and poor paint finish to timber cill.</p>	<p>Element: Internal window 01-33</p> 

279.	Location: First Floor – East elevation	Element: Internal window 01-33
	Description: As above.	
	Condition: Poor. Window does not close fully.	
280.	Location: First Floor – East elevation	Element: Internal window 01-33
	Description: As above.	
	Condition: Poor. As above	
281.	Location: First Floor – East elevation	Element: Internal window 01-33
	Description: As above.	
	Condition: Poor. As above	

282.	Location: First Floor – East elevation	Element: External window 01-33
	Description: As above.	
	Condition: Poor. Poor paint finish externally.	
283.	Location: Second floor – north elevation	Element: Internal window 02-01
	Description: Steel frame tilt and turn Crittall window with single glazing, external metal cill and paint finish.	
	Condition: Poor. Poor paint finish internally and externally. Window operation.	
284.	Location: Second floor – north elevation	Element: External window 02-01
	Description: As above.	
	Condition: As above. Poor finish externally	

285.	Location: Second floor – north elevation	Element: Internal window 02-02
	Description: Steel frame tilt and turn Crittall window with single glazing, external metal cill and paint finish.	
	Condition: Poor. Poor paint finish internally and externally. Window operation.	
286.	Location: Second floor – north elevation	Element: External window 02-02
	Description: As above.	
	Condition: As above. Poor paint finish externally.	
287.	Location: Second floor – west elevation	Element: External window 02-03
	Description: PVCu frame double glazed external window with two opening sashes.	
	Condition: Good.	

288.	Location: Second floor – west elevation Description: PVCu frame double glazed external window with two opening sashes.	Element: Internal window 02-03
	Condition: As above.	
289.	Location: Second floor – west elevation Description: PVCu frame double glazed external window with two opening sashes.	Element: Internal window 02-04
	Condition: Good.	
290.	Location: Second floor – west elevation Description: PVCu frame double glazed external window with two opening sashes.	Element: External window 02-04
	Condition: As above.	

291.	<p>Location: Second floor – west elevation</p> <p>Description: PVCu frame double glazed external window with two opening sashes.</p> <p>Condition: Good.</p>	<p>Element: External window 02-05</p> 
292.	<p>Location: Second floor – west elevation</p> <p>Description: As above.</p> <p>Condition: As above.</p>	<p>Element: Internal window 02-05</p> 
293.	<p>Location: Second floor – west elevation</p> <p>Description: PVCu frame double glazed external window with two opening sashes.</p> <p>Condition: Good.</p> <p>LHS jamb has been cut to facilitate communication cables.</p>	<p>Element: Internal window 02-06</p> 

294.	<p>Location: Second floor – west elevation</p> <p>Description: As above.</p> <p>Condition: As above.</p>	<p>Element: External window 02-06</p> 
295.	<p>Location: Second floor – west elevation</p> <p>Description: As above.</p> <p>Condition: As above.</p> <p>Hole cut in window frame.</p>	<p>Element: External window 02-06</p> 
296.	<p>Location: Second floor – east elevation</p> <p>Description: Steel frame tilt and turn Crittall window with single glazing, external timber cill and paint finish.</p> <p>Condition: Poor.</p> <p>Poor paint finish internally and externally. Timber decay to timber frame to both jambs and to cill. Window operation.</p>	<p>Element: Internal window 02-07</p> 

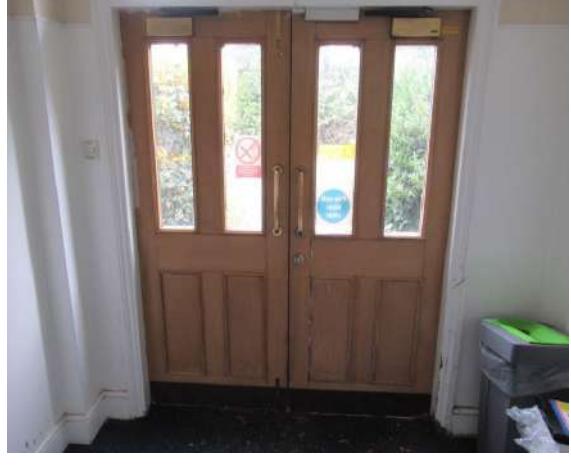
297.	Location: Second floor – east elevation	Element: Internal window 02-07
	Description: As above.	
	Condition: Poor. Timber decay to window jamb.	
298.	Location: Second floor – east elevation	Element: External window 02-07
	Description: As above.	
	Condition: Poor. Poor quality paint finish and decay to sill and jamb cover panels.	
299.	Location: Second floor – east elevation	Element: Internal window 02-08
	Description: Steel frame tilt and turn Crittall window with single glazing, external timber sill and paint finish.	
	Condition: Poor. Poor paint finish internally and externally. Timber decay to timber frame to both jambs, to external sill and to internal window board. Window operation.	

300.	<p>Location: Second floor – east elevation</p> <p>Description: As above.</p> <p>Condition: As above. Timber decay to window board and jamb</p>	<p>Element: Internal window 02-08</p> 
301.	<p>Location: Second floor – east elevation</p> <p>Description: As above.</p> <p>Condition: As above. Poor quality paint finish and decay to sill and jamb cover panels.</p>	<p>Element: External window 02-08</p> 
302.	<p>Location: Second floor – east elevation</p> <p>Description: Steel frame tilt and turn Crittall window with single glazing, external timber sill and paint finish.</p> <p>Condition: Poor. Poor paint finish internally and externally. Timber decay to timber frame to both jambs, to external sill and to internal window board. Window operation.</p>	<p>Element: Internal window 02-09</p> 

303.	<p>Location: Second floor – east elevation</p> <p>Description: As above.</p> <p>Condition: Poor. Decay to internal window board and frame</p>	<p>Element: Internal window 02-09</p> 
304.	<p>Location: Second floor – east elevation</p> <p>Description: As above.</p> <p>Condition: As above. Poor paint finish and timber decay to sill and frame</p>	<p>Element: External window 02-09</p> 
305.	<p>Location: Second floor – east elevation</p> <p>Description: As above.</p> <p>Condition: As above. Timber decay to sill and frame</p>	<p>Element: External window 02-09</p> 

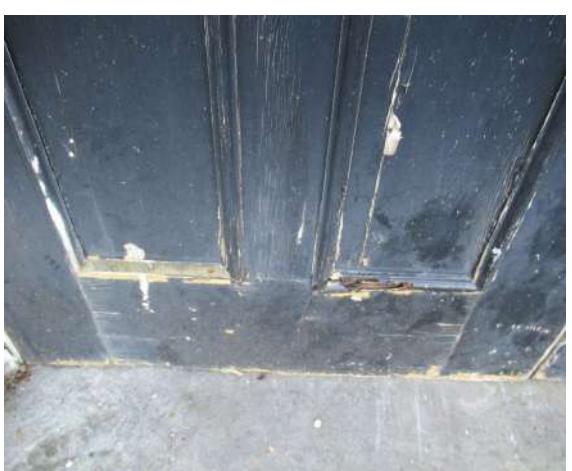
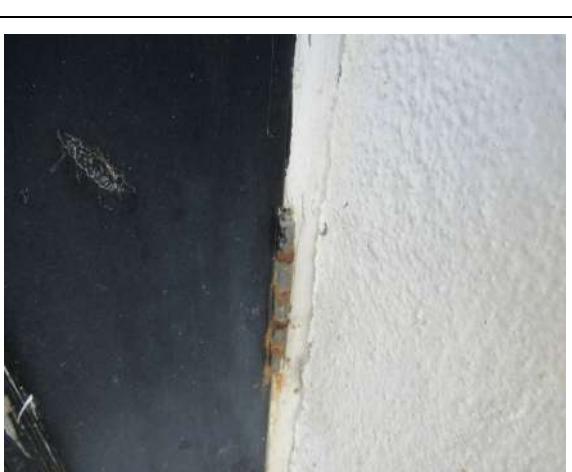
306.	Location: Second floor – east elevation	Element: Internal window 02-10
	Description: Steel frame tilt and turn Crittall window with single glazing, external timber cill and paint finish.	
	Condition: Poor. Poor paint finish internally and externally. Timber decay to timber frame to both jambs and external cill. Window operation.	
307.	Location: Second floor – east elevation	Element: External window 02-10
	Description: As above.	
	Condition: As above. Missing section of external timber cill.	
308.	Location: Second floor – east elevation	Element: External window 02-10
	Description: As above.	
	Condition: As above. Decay to window frame.	

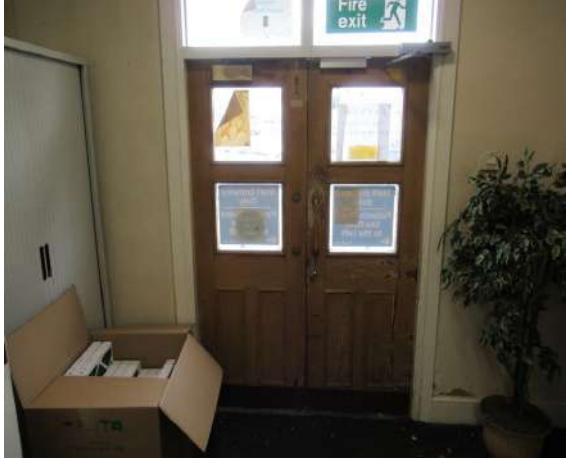
309.	Location: Ground floor – north elevation	Element: External door CIR 00-01
	Description: Timber panel double door with single glazed panels. Timber frame single glazed fan light above. Bronze pull handle on each leaf. Overhead door closer internally. Paint finish external, laminate internally.	
	Condition: Poor. Decay to RHS frame to lower 600mm. Decay to LHS frame to lower 150mm. Missing sections of mouldings to lower panels. Poor paint finish.	
310.	Location: Ground floor – north elevation	Element: External door CIR 00-01
	Description: As above.	
	Condition: As above. Decay to LHS frame to lower 150mm	
311.	Location: Ground floor – north elevation	Element: External door CIR 00-01
	Description: As above.	
	Condition: As above. Decay to RHS to lower 600mm	

312.	<p>Location: Ground floor – north elevation</p> <p>Description: As above.</p> <p>Condition: As above. Poor pointing to perimeter of fan light frame.</p>	<p>Element: External door CIR 00-01</p> 
313.	<p>Location: Ground floor – north elevation</p> <p>Description: Timber panel double door with single glazed panels. Timber frame single glazed fan light above. Bronze pull handle on each leaf. Overhead door closer internally. Paint finish external, laminate internally.</p> <p>Condition: Poor. Poor internal finish. Missing mouldings to lower panels</p>	<p>Element: Internal door CIR 00-01</p> 
314.	<p>Location: Ground floor – north elevation</p> <p>Description: As above.</p> <p>Condition: As above. Missing mouldings to lower panels</p>	<p>Element: Internal door CIR 00-01</p> 

315.	Location: Ground floor – north elevation	Element: Internal door CIR 00-01
	Description: As above.	
	Condition: As above. Impact damage to internal frame.	
316.	Location: Ground floor – north elevation	Element: External door CA 00-01
	Description: Timber frame single glazed double doors with one openable sash. Paint finish internally and externally. Paint timber surround externally.	
	Condition: Poor. Timber decay to bottom rails on both doors and threshold. Poor paint finish. Poor quality previous repairs and decay evident to low level to the external surrounds to both sides.	
317.	Location: Ground floor – north elevation	Element: External door CA 00-01
	Description: As above.	
	Condition: As above. Decay to bottom rails and threshold.	

318.	<p>Location: Ground floor – north elevation</p> <p>Description: As above.</p> <p>Condition: As above. Poor quality previous repairs and decay evident to low level to the external surrounds to both sides.</p>	<p>Element: External door CA 00-01</p> 
319.	<p>Location: Ground floor – north elevation</p> <p>Description: As above.</p> <p>Condition: As above. Poor quality previous repairs and decay evident to low level to the external surrounds to both sides.</p>	<p>Element: External door CA 00-01</p> 
320.	<p>Location: Ground floor – north elevation</p> <p>Description: Timber panel double door with one single glazed vision panel. Timber frame single glazed fan light above. Bronze pull handle to one leaf. Overhead door closer internally. Paint finish external, laminate internally.</p> <p>Condition: Poor. Decay to LHS frame to lower 150mm. Missing and decayed sections of mouldings to lower panels. Poor paint finish. One missing pull handle. Missing cover plate to door lock. Corrosion staining to hinges.</p>	<p>Element: External door CA 00-02</p> 

321.	Location: Ground floor – north elevation	Element: External door CA 00-02
	Description: As above.	
	Condition: Poor. Missing cover plate to lock.	
322.	Location: Ground floor – north elevation	Element: External door CA 00-02
	Description: As above.	
	Condition: Poor. Missing and decayed sections of mouldings to lower panels	
323.	Location: Ground floor – north elevation	Element: External door CA 00-02
	Description: As above.	
	Condition: Poor. Corrosion staining to hinges.	

324.	Location: Ground floor – north elevation	Element: Internal door CA 00-02
	Description: Timber panel double door with one single glazed vision panel. Timber frame single glazed fan light above. Bronze pull handles. Overhead door closer internally. Paint finish external, laminate internally.	
	Condition: Poor. Poor quality internal finish and missing sections of moulding to low level.	
325.	Location: Ground floor – north elevation	Element: Internal door CA 00-02
	Description: As above.	
	Condition: As above. Poor quality internal finish and missing sections of moulding to low level.	
326.	Location: Ground floor – north elevation	Element: Internal door CA 00-02
	Description: As above.	
	Condition: As above. One missing pull handle	

327.	Location: Ground floor – north elevation	Element: External door CA 00-03
	Description: Timber frame single glazed double doors with one openable sash. Paint finish internally and externally. Paint timber surround externally.	
	Condition: Poor. Timber decay to bottom rails to RHS leaf and frame to 150mm. Poor paint finish. Poor quality previous repairs and decay evident to low level to the external surrounds to both sides. Poor quality putty to 2no glass panels.	
328.	Location: Ground floor – north elevation	Element: External door CA 00-03
	Description: As above.	
	Condition: As above. Missing putty to glazing.	
329.	Location: Ground floor – north elevation	Element: External door CA 00-03
	Description: As above.	
	Condition: As above. Poor quality previous repairs and decay evident to low level to the external surrounds to both sides.	

330.	Location: Ground floor – north elevation	Element: External door CA 00-03
	Description: As above.	
	Condition: As above. Poor quality previous repairs and decay evident to low level to the external surrounds to both sides.	
331.	Location: Ground floor – west elevation	Element: External door CA 00-04
	Description: Timber frame single glazed double doors with fixed fan light above. Paint finish internally and externally. Paint timber surround externally.	
	Condition: Poor. Timber decay to threshold. Poor quality previous repair to lower 400mm of LHS side rail. Poor paint finish. Poor quality previous repairs to side mouldings.	
332.	Location: Ground floor – west elevation	Element: External door CA 00-04
	Description: As above.	
	Condition: As above. Previous repair to side rail.	

333.	<p>Location: Ground floor – west elevation</p> <p>Description: As above.</p> <p>Condition: As above. Poor quality previous repairs to side mouldings.</p>	<p>Element: External door CA 00-04</p> 
334.	<p>Location: Ground floor – west elevation</p> <p>Description: As above.</p> <p>Condition: As above. Cable penetration through door frame.</p>	<p>Element: External door CA 00-04</p> 
335.	<p>Location: Ground floor – south elevation</p> <p>Description: Timber frame single glazed double doors. Paint finish internally and externally. Paint timber surround externally.</p> <p>Condition: Poor. Poor quality putty to glazing. 2no missing glazing panels (70x70mm). Timber decay to lower 150mm RHS frame. Decay to architrave to the head of the door. Poor quality decorations internally and externally. Missing cover plate to lock.</p>	<p>Element: External door CA 00-05</p> 

336.	Location: Ground floor – south elevation	Element: External door CA 00-05
	Description: As above.	
	Condition: As above. 2no missing glazing panels (70x70mm). Poor quality paint finish.	
337.	Location: Ground floor – south elevation	Element: External door CA 00-05
	Description: As above.	
	Condition: As above. Poor quality putty to glazing.	
338.	Location: Ground floor – south elevation	Element: External door CA 00-05
	Description: As above.	
	Condition: As above. Missing cover plate to lock.	

339.	<p>Location: Ground floor – south elevation</p> <p>Description: As above.</p> <p>Condition: As above. Decay to architrave to the head of the door.</p>	<p>Element: External door CA 00-05</p> 
340.	<p>Location: Ground floor – south elevation</p> <p>Description: As above.</p> <p>Condition: As above. Poor quality paint finish internally.</p>	<p>Element: External door CA 00-05</p> 
341.	<p>Location: Ground floor – west elevation</p> <p>Description: Timber frame double glazed double doors. Paint finish internally and externally.</p> <p>Condition: Poor. Decay to bottom rail, weather bar and door frame to low level. Poor quality paint finish.</p>	<p>Element: External door CIR 00-02</p> 

342.	Location: Ground floor – west elevation	Element: External door CIR 00-02
	Description: As above.	
	Condition: As above. Decay to bottom rail, weather bar and door frame to low level	
343.	Location: Ground floor – west elevation	Element: External door H 00-04
	Description: Timber frame double glazed double doors. Paint finish internally and externally.	
	Condition: Fair. Missing cover plate to redundant door lock. Tired paint finish.	
344.	Location: Ground floor – west elevation	Element: External door H 00-04
	Description: As above.	
	Condition: Fair. Missing cover plate to redundant door lock.	

345.	Location: Ground floor – west elevation	Element: External door CA 00-06
	Description: Timber frame double glazed door set within double glazed side cheeks. Paint finish internally and externally.	
	Condition: Poor. Timber decay to bottom rail. Poor paint finish.	
346.	Location: Ground floor – west elevation	Element: External door CA 00-06
	Description: As above.	
	Condition: As above. Timber decay to bottom rail. Poor paint finish.	
347.	Location: Ground floor – east elevation	Element: External door H 00-01
	Description: Flush timber double doors with Georgian wired glass vision panels and fan light above.	
	Condition: Poor. Localised decay to lower 100mm of door frame to both sides. Split timber weather bar. Poor paint finish.	

348.	Location: Ground floor – east elevation	Element: External door H 00-01
	Description: As above.	
	Condition: As above. Localised decay to lower 100mm of door frame to both sides.	
349.	Location: Ground floor – east elevation	Element: External door H 00-01
	Description: As above.	
	Condition: As above. Split timber weather bar	
350.	Location: Ground floor – south elevation	Element: External door H 00-03
	Description: Factory finished metal frame single glazed door with matching side cheek.	
	Condition: Fair. The glass panel has been overclad with timber.	

351.	<p>Location: Ground floor – south elevation</p> <p>Description: Timber panelled door with Georgian wired glass vision panel and ventilation grille to low level. Paint finish internally and externally.</p> <p>Condition: Fair. Tired paint finish.</p>	<p>Element: External door ET 00-01</p> 
352.	<p>Location: Ground floor – south elevation</p> <p>Description: Flush timber door with Georgian wired glass vision panel and a paint finish.</p> <p>Condition: Poor. Door leaf and finish in a very poor condition.</p>	<p>Element: External door ET 00-02</p> 
353.	<p>Location: Ground floor – south elevation</p> <p>Description: As above.</p> <p>Condition: As above.</p>	<p>Element: External door ET 00-02</p> 

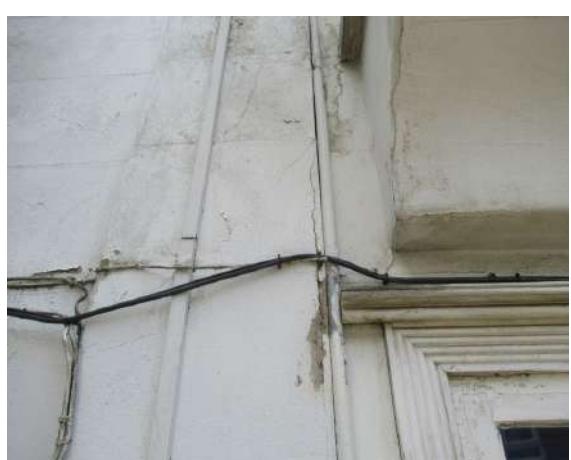
354.	<p>Location: Ground floor - courtyard</p> <p>Description: Factory finished metal frame single glazed door.</p> <p>Condition: Fair. No issues noted.</p>	<p>Element: External door – CY00-01</p> 
355.	<p>Location: Ground floor - courtyard</p> <p>Description: As above.</p> <p>Condition: As above.</p>	<p>Element: External door – CY00-01</p> 
356.	<p>Location: Ground floor - courtyard</p> <p>Description: Factory finished metal frame single glazed door.</p> <p>Condition: Fair.</p>	<p>Element: External door – CY00-02</p> 

357.	Location: Ground floor – courtyard Description: Factory finished metal frame single glazed door.	Element: External door – CY00-03
	Condition: Fair.	
	Location: First floor – south elevation Description: Flush timber door with a paint finish and a Georgian wired glass fan light.	Element: External door CA 01-01
	Condition: Poor. Poor paint finish and 1no missing hinge.	
	Location: First floor – south elevation Description: As above.	Element: External door CA 01-01
	Condition: As above.	

360.	Location: First floor – north elevation	Element: External door CA 01-02
	Description: Timber frame single glazed double doors. With fan light with two openable sashes. Paint finish internally and externally.	
	Condition: Poor. Fan light sashes do not close. Poor paint finish. Cover strip fitted to threshold.	
361.	Location: First floor – north elevation	Element: External door CA 01-02
	Description: As above.	
	Condition: As above.	
362.	Location: First floor – north elevation	Element: External door CA 01-02
	Description: As above.	
	Condition: As above.	

363.	Location: First floor – north elevation	Element: External door CA 01-03
	Description: Timber frame single glazed double doors. With fan light with two openable sashes. Paint finish internally and externally.	
	Condition: Poor. Fan light sashes do not close. Poor paint finish.	
364.	Location: First floor – north elevation	Element: External door CA 01-03
	Description: As above.	
	Condition: As above.	
365.	Location: First floor – north elevation	Element: External door CA 01-03
	Description: As above.	
	Condition: As above.	

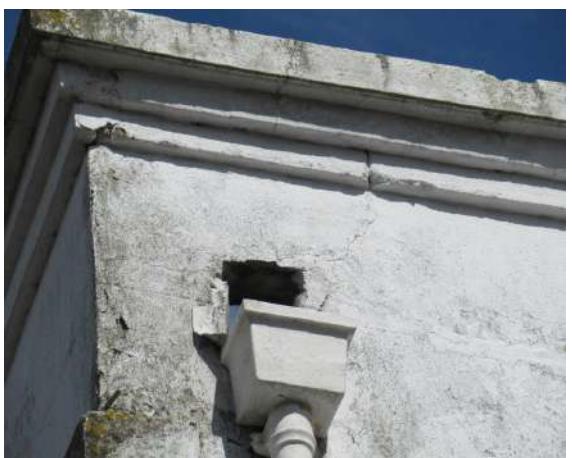
366.	<p>Location: First floor – north elevation</p> <p>Description: As above.</p> <p>Condition: As above.</p>	<p>Element: External door CA 01-03</p> 
367.	<p>Location: West elevation</p> <p>Description: Stucco render with a white paint finish.</p> <p>Condition: Poor. Detached section of render to adjoining pitched roof junction.</p>	<p>Element: Render panel 01</p> 
368.	<p>Location: West elevation</p> <p>Description: Stucco render with a white paint finish.</p> <p>Condition: Poor. Detached section of render to window cill.</p>	<p>Element: Render panel 01</p> 

369.	Location: West elevation Description: Stucco render with a white paint finish.	Element: Render panel 01
	Condition: Poor. Category 1 fine vertical crack extending from lower window to ground level.	
370.	Location: West elevation Description: Stucco render with a white paint finish.	Element: Render panel 01
	Condition: Poor. Numerous vertical and horizontal cracking, Category 2, from 2-3mm wide above the ground floor window.	
371.	Location: West elevation Description: Stucco render with a white paint finish.	Element: Render panel 01
	Condition: Poor. Category 2 vertical crack, 2-3mm wide extending above external door to the oriel window cill above.	

372.	<p>Location: West elevation</p> <p>Description: Stucco rendered oriel window projection with a white paint finish.</p>	<p>Element: Render panel 01</p> 
373.	<p>Location: West elevation</p> <p>Description: As above.</p>	<p>Element: Render panel 01</p> 
374.	<p>Location: West elevation</p> <p>Description: As above.</p>	<p>Element: Render panel 01</p> 

375.	Location: West elevation Description: Stucco render with a white paint finish.	Element: Render panel 01
	Condition: Poor. Blown render to low level, approximately 2.0x0.8m.	
	Description: Stucco render with a white paint finish.	
376.	Location: West elevation Description: Stucco render with a white paint finish.	Element: Render panel 01
	Condition: Poor. Poor paint finish to entire elevation.	
	Description: Stucco render with a white paint finish.	
377.	Location: West elevation Description: Stucco render with a white paint finish.	Element: Render panel 01
	Condition: Poor. Category 2 vertical cracking, 1-2mm wide, to wall projections. Pattern cracking to render above the external light approximately 1.5x3.0m.	

378.	Location: West elevation Description: Stucco render with a white paint finish.	Element: Render panel 01
	Condition: Poor. Detached section of render above the oriel window roof projection.	
	Description: Stucco render with a white paint finish.	Element: Render panel 01
	Condition: Poor. Numerous fine horizontal and vertical cracks to the parapet wall.	
	Description: As above.	Element: Render panel 01
	Condition: As above.	

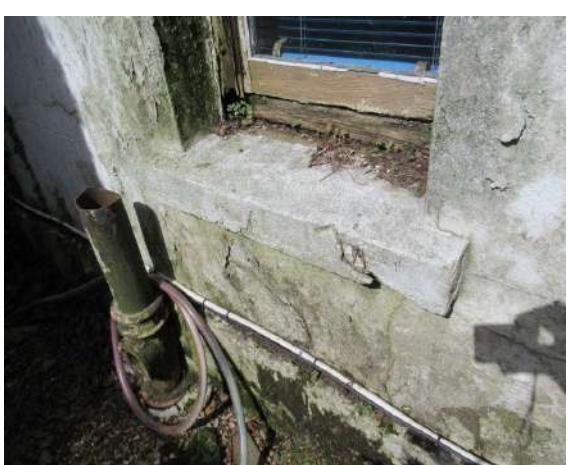
381.	Location: West elevation Description: Stucco render with a white paint finish.	Element: Render panel 02
	Condition: Poor. Numerous cracks and poor paint finish to entire panel.	
	Description: Stucco render with a white paint finish.	Element: Render panel 02
	Condition: Poor. Category 3 vertical crack to base of chimney approximately 5-10mm wide.	
	Description: Stucco render with a white paint finish.	Element: Render panel 02
	Condition: Poor. Category 2 vertical crack, approximately 2-3mm wide, extending from rainwater outlet to parapet coping.	

384.	<p>Location: West elevation</p> <p>Description: Stucco render with a white paint finish.</p> <p>Condition: Poor. Poor paint finish to full height.</p>	<p>Element: Render panel 02</p> 
385.	<p>Location: West elevation</p> <p>Description: Stucco render with a white paint finish.</p> <p>Condition: Poor. Category 2 vertical and horizontal cracking to the full height of the panel.</p>	<p>Element: Render panel 02</p> 
386.	<p>Location: West elevation</p> <p>Description: Stucco render with a white paint finish.</p> <p>Condition: Poor. Blown render to low level with category 2 vertical crack to render.</p>	<p>Element: Render panel 02</p> 

387.	Location: West elevation Description: Stucco render with a white paint finish.	Element: Render panel 02
	Condition: Poor. Blown render to low level approximately 0.75x1.5m.	
388.	Location: West elevation Description: Stucco render with a white paint finish.	Element: Render panel 02
	Condition: Poor. Blown render to low level to entire bay.	
389.	Location: West elevation Description: Stucco render with a white paint finish.	Element: Render panel 02
	Condition: Poor. Poor paint finish.	

390.	Location: West elevation Description: Stucco render with a white paint finish.	Element: Render panel 02
	Condition: Poor. Category 2 vertical crack, 2-3mm wide between ground and first floor windows.	
	Description: Stucco render with a white paint finish.	Element: Render panel 02
	Condition: Poor. Detached section of render beneath lead flat roof.	
	Description: Stucco render with a white paint finish.	Element: Render panel 03
	Condition: Poor. Staining from previous ivy growth. Poor paint finish.	

393.	Location: West elevation Description: Stucco render with a white paint finish.	Element: Render panel 03
	Condition: As above.	
	Location: West elevation Description: Stucco render with a white paint finish.	Element: Render panel 03
	Condition: As above.	
	Location: West elevation Description: Stucco render with a white paint finish.	Element: Render panel 03
	Condition: Poor. Blown render to low level.	

396.	Location: West elevation Description: Stucco render with a white paint finish.	Element: Render panel 03
	Condition: Poor. Category 2 vertical and horizontal cracking, 2-3mm wide, above ground floor window.	
	Location: South elevation Description: Stucco render with a white paint finish.	Element: Render panel 04
	Condition: Poor. Staining from previous ivy growth. Poor paint finish.	
	Location: South elevation Description: Stucco render with a white paint finish.	Element: Render panel 04
	Condition: Poor. Pattern cracking, cracked sill, and poor quality paint finish to low level.	

399.	Location: South elevation Description: Stucco render with a white paint finish.	Element: Render panel 04
	Condition: Poor. Category 2 crack, 2-3mm, to the low level rendered vent.	
400.	Location: South elevation Description: Stucco render with a white paint finish.	Element: Render panel 04
	Condition: Poor. Numerous fine cracks above ground floor windows.	
401.	Location: South elevation Description: Stucco render with a white paint finish.	Element: Render panel 04
	Condition: Poor. Render stained from leaking rainwater goods.	

402.	<p>Location: South elevation</p> <p>Description: Stucco render with a white paint finish.</p> <p>Condition: Poor. Numerous fine cracks above ground floor windows.</p>	<p>Element: Render panel 04</p> 
403.	<p>Location: South elevation</p> <p>Description: Stucco render with a white paint finish.</p> <p>Condition: Poor. Previously repaired section of render behind SVP pipework.</p>	<p>Element: Render panel 04</p> 
404.	<p>Location: South elevation</p> <p>Description: Stucco render with a white paint finish.</p> <p>Condition: Poor. Category 1 fine cracking above first floor window.</p>	<p>Element: Render panel 04</p> 

Appendix A

Window locations





Demolition First Floor Level



Demolition Second Floor Level

GENERAL STRIP OUT NOTES
 Strip Out Package to be submitted to Planners to satisfy all their conditions. Follow Hillingdon Conservation officer's requirements as instructions.
 Submit review H&S risk assessment, control and prevention measures and Method Statement (RAMS). Contractor to provide Method Statement for the safe removal of redundant medical gas pipes and existing generators if present.
 The extent of proposed demolition/ Strip-Out is shown on Consultant's drawings. These works (all new openings in walls, floors and staircases as well as works that affect junctions and connections to the stability of the adjacent structure at all times during the works) will require the guidance of Strip out to be carefully considered by the demolition contractor to ensure that stability of the remaining portions is maintained at all times. Contractor must follow all BREACAM requirements list provided by MEP consultant.
 This drawing is to be read in conjunction with MEP and SE's consultants demolition drawings, specifications and Architects proposed drawings, details and specification.

External walls:
 Retained: Demolition contractor to provide a method statement for works required on the retained walls.
 Removal: Demolition contractor to provide a method statement for all openings to be carefully made in the external walls.

Internal walls:
 Retained: Internal walls to be retained unless stated otherwise.
 Removal: Demolition Contractor to provide a method statement for all openings to be made, where any load bearing walls are to be removed suitable temporary and/or permanent works must be carried out as instructed by Structural Engineer.

Windows:
 Removal: Demolition contractor to provide a method statement for the removal of all windows, where replacement windows are proposed. (Refer to window schedule for list and details).
 Retained: Demolition contractor to provide RAMS and adequate protection to retained windows in the listed building. (Refer to schedule for list and details).

Window sills:
 Retained: All window sills to be investigated to assess their condition and should be retained where possible; submit proposal for review and seek further instruction before proceeding. Demolition contractor to provide adequate protection to retained sills.

Doors External and Internal:
 Retained: Demolition contractor to provide a method statement for works required to doors to be retained.
 Removal: Demolition contractor to provide a method statement for the proposed careful removal of external & internal doors. (Refer to door schedule for list and details).

Stairs:
 Retained: Demolition contractor to protect retained stairs during the demolition works.

Chimney Stack:
 Removal: Existing chimney stack conditions to be surveyed fully and a method statement for making good to be submitted.
 Contractor to provide any temporary works needed to maintain the stability of the building fabric during the works; submit proposal for review and seek further instructions to proceed.

Floor and Ceiling:
 Removal: Floor finishes to be carefully removed by contractor where instructed. SE to assess the structural integrity and report on the findings.
 Floor finishes to be removed and replaced with new finishes following.

Suspended Ceiling:
 All suspended ceilings within the Ground floor Original building are to be carefully removed following review on site.

SOFT LANDINGS:
 Once full Asbestos survey and report has been carried out and submitted to all the relevant parties the selected contractor is to carry out the required asbestos removal and issue clear site clearance certification for reoccupation when work has been completed having made sure the areas requiring clearance assessment have been thoroughly cleaned and allowed to dry following the guidance in HSE publication Managing and working with asbestos in regard to:
 - checking site condition
 - job completeness and carrying out a thorough visual inspection.

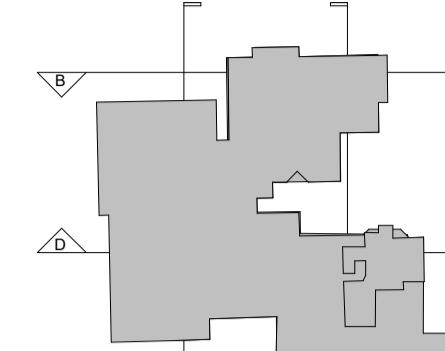
Demolition:
 Contractor to provide a method statement for isolation of incoming mains where necessary. Civil Engineers & M&E consultants to be consulted in advance of any isolation or removal of services. Removal of all carpets, loose furnishings, doors, paneling etc. (anything that is not structural or integral to the building) to be checked.

Demolition:
 Demolition contractor to provide a method statement for all elements of the building to be removed, carefully along with supporting details prior to strip out or demolition work being carried out on site. All documentation to be sent to the design team, Hillingdon planning officer and conservation officer for review. Seek further instructions prior to proceeding.

Sanitarywear:
 Sanitarywear to be repaired if damaged, removed and replaced like for like when repair is not applicable.

Notes
 - All dimensions to be checked on site
 - Do not scale off this drawing
 - All scales are in mm unless otherwise stated
 - Refer to drawing issue sheet for purpose of issue
 - If in doubt ask
 - © Llewelyn Davies Weeks

Key Plan



TO BE DEMOLISHED (Red)
EXISTING BUILDING TO BE RETAINED (Black)
SUSPENDED CEILING TO BE DEMOLISHED (Pink)

FOR ALL MEP INFORMATION REFER TO CPW DRAWINGS
 ALL ORIGINAL FEATURES WITHIN THE ORIGINAL BUILDING ARE TO BE PROTECTED; SUBMIT PROPOSAL FOR REVIEW

Project Status

REV	DESCRIPTION	DATE	BY	CHK
P01	For Tender	03/09/21	FM	LD
P02	For Tender	11/10/21	FM	LD
P03	For Review and Approval	03/12/21	LA	LD
P04	For Review and Approval	xx/03/22	LA	LD
P05	For Planning Amendments	28/03/22	ZAK	LD
P06	For Tender	29/04/22	ZAK	LD

Structural Consultant Services Consultant

CAMPBELL REITH CPW

Cost Consultant

RIDGE AND PARTNERS

Project Title

HILLINGDON HOSPITAL - THE FURZE

Client

THE HILLINGDON HOSPITAL NHS FOUNDATION TRUST

Drawing Title

DEMOLITION FIRST & SECOND FLOOR LEVEL

Project Number

LD20 192.00

Drawing Number

THHFP1-LDW-ZZ-ZZ-DR-A-000131

Revision

- P06

Scale @ A1

1 : 100

Date

29/04/22

Architects

LLEWELYN DAVIES

Architects | Planners | Designers

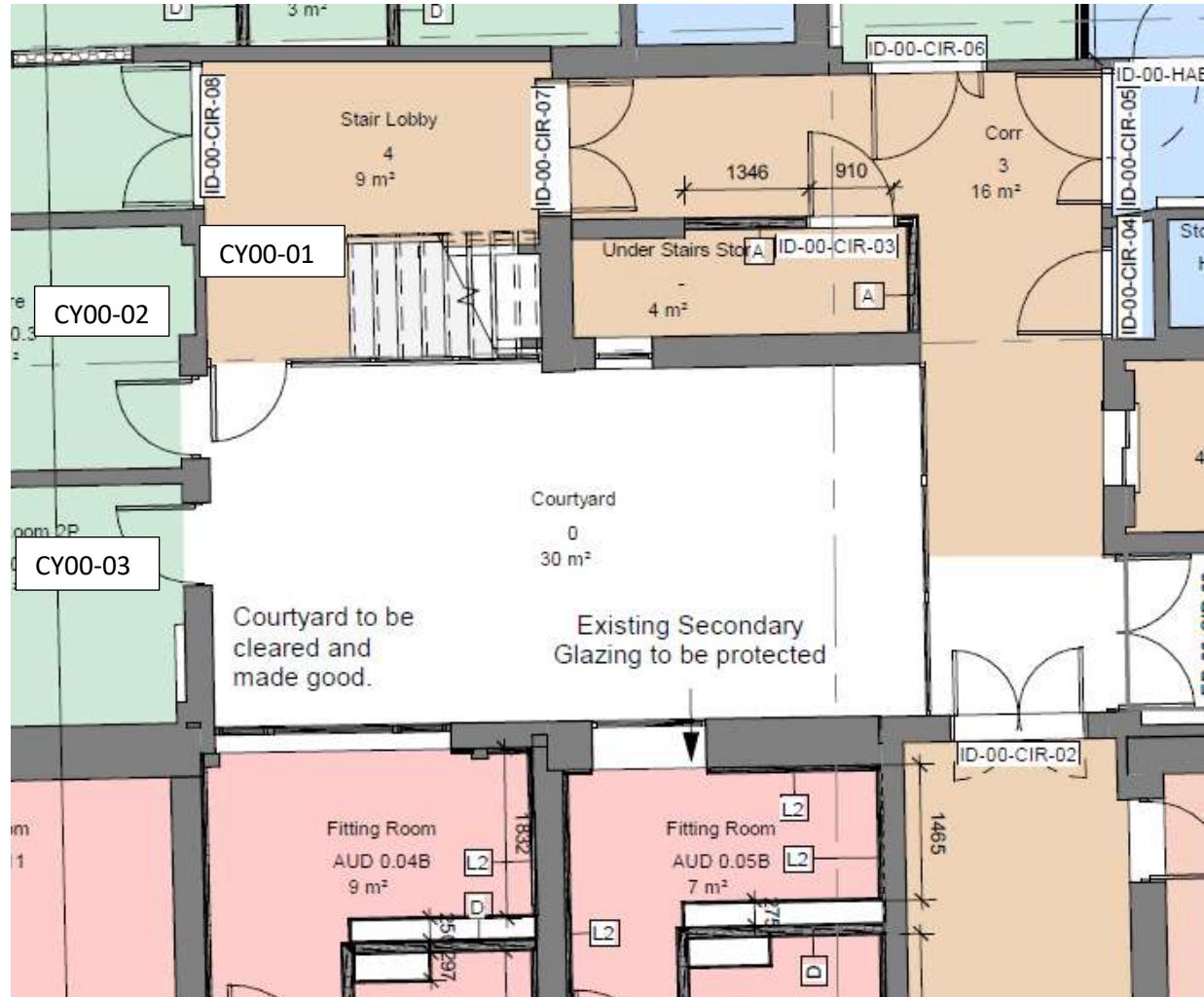
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Appendix B

Door locations

Courtyard Door Locations





Appendix C

Repair schedule

WINDOW/ DOOR REPAIR SCHEDULE

RAG key:

Green	Minor or no works required.
Yellow	Repairs recommended.
Red	Replacement window/ door recommended.

Window/ Door Reference	Age	Defects	Recommendations	RAG
00-01	Original	Poor paint finish. Crazing to the external sealant. Decay to timber cill.	Replace cill, renew paint finish and renew external sealant. Consider window replacement to help improve thermal performance.	Yellow
00-02	Original	Poor paint finish. Crazing to the external sealant. Decay to timber cill.	Replace cill, renew paint finish and renew external sealant. Consider window replacement to help improve thermal performance.	Yellow
00-03	Original	Poor paint finish. Crazing and defective sealant. Decay to timber cill. Defective catch.	Replace cill, renew paint finish, renew external sealant and replace defective catch. Consider window replacement to help improve thermal performance.	Yellow
00-04	Modern replacement	Defective and cracked external sealant. Poor paint finish.	Renew paint finish, renew external sealant and renew paint finish to the window bars.	Yellow
00-05	Modern replacement	Window does not stay open. Poor paint finish. Decay to the timber cill and bottom rail.	Repair decay, ease and adjust window and renew paint finish.	Yellow
00-06	Modern replacement	Poor paint finish. Defective and aged external seals. Decay to timber cill.	Repair decay, ease and adjust window and renew paint finish.	Yellow
00-07	Modern replacement	Difficult to operate. Missing catch on the lock. Timber shrinkage causing splitting in the frame. Poor paint finish.	Renew window.	Red
00-08	Modern replacement	Operates poorly. Window sticks. Handle loose. Poor paint finish.	Renew window.	Red
00-09	Modern replacement	Poor paint finish. Loose metal restrictor. Missing timber to the right-side mid rail. Decay to the timber bottom rail. Missing and defective timber cill and decay to some areas.	Renew paint finish, secure metal restrictor and repair decay and missing sections of timber.	Yellow
00-10	Original	Poor paint finish. Loose latch to the left-hand side window. Splitting timber to the base of the window frame. Decay to bottom rail externally and to both jambs of window frame. Cracked glazing panels.	Renew paint finish, secure loose latch, repair timber decay and replace cracked glazing.	Yellow
00-11	Original	Missing handle and lock to left side window. Loose handle to right side window. Loose glass panel. Poor paint finish. Missing timber to the left side mid rail. Decay to the sill and bottom rail externally.	Renew bottom sash, replace loose glazing, renew paint finish, repair timber decay and renew missing timber sections.	Yellow
00-12	Original	Loose handles and locks. Shrinkage to the timber internally. Missing timber to the left side mid rail. Decay to the timber to the bottom rail. Decay to cill. Poor paint finish. Sash cords missing Ivy growth surrounding the window.	Renew the bottom sash, renew cill, refix the loose handles and locks, renew paint finish and remove ivy growth.	Yellow
00-13	Original	Poor paint finish. Poor quality window. Loose timber to the mid rail. Decay to the timber to the bottom rail.	Renew window.	Red
00-14	Original	Shrinkage to internal timbers. Poor paint finish internally and externally. Decay to the entire timber cill. Decay to bottom rail. Splitting to the frame internally.	Replace bottom sash, renew paint finish and repair split timber.	Yellow
00-15	Original	Missing ironmongery to the base of the window. Splitting to the base of the window and internally bottom rail. Poor paint finish. Poor quality bottom sash.	Replace bottom sash, replace missing ironmongery, repair splitting, renew putty and renew paint finish.	Yellow
00-16	Original	2no cracked glazed panels. Areas of splitting to the timber frame. Missing timber to mid rail. Decay throughout externally. Poor paint finish internally and externally. Sash cords missing	Replace cracked glass, repair areas of splitting, replace missing timber rail, repair decay, renew sash cords and renew paint finish.	Yellow
00-17	Original	Poor paint finish.	Renew paint finish. Consider window replacement to help improve thermal performance.	Green
00-18	Original	Poor paint finish.	Renew paint finish. Consider window replacement to help improve thermal performance.	Green
00-19	Original	Poor paint finish. Localised areas of decay.	Renew paint finish and repair decay.	Yellow
00-20	Modern replacement	Window is screwed shut. The lock is broken. Poor paint finish. Extensive decay to the timber. Loose putty.	Reinstate operation, ease and adjust window, replace broken lock, renew paint finish, repair decayed timber and renew putty.	Yellow

WINDOW/ DOOR REPAIR SCHEDULE

RAG key:

Green	Minor or no works required.
Yellow	Repairs recommended.
Red	Replacement window/ door recommended.

Window/ Door Reference	Age	Defects	Recommendations	RAG
00-21	Modern original	Decay to timber bottom rail internally. Poor paint finish. Damaged external ventilator cover. Damage to cill and localised decay to frame.	Renew paint finish, renew putty, repair ventilator and repair decay.	Yellow
00-22	Modern original	Decay to timber bottom rail and cill. Poor paint finish. Localised decay to cill, jambs and mid rail externally. Missing sealant and putty.	Repair decayed timber, renew paint finish, renew sealant and putty.	Yellow
00-23	Modern original	Decay to timber bottom rail and cill. Poor paint finish. Localised decay to cill, jambs and mid rail externally. Missing sealant and putty.	Repair decayed timber, renew paint finish, renew sealant and putty.	Yellow
00-24	Modern original	Ino loose glazing panel. Decay to timber bottom rail internally and the cill and bottom rail externally. Poor paint finish internally and externally. Missing locator.	Replace areas of timber decay, renew paint finish, and refix locator.	Yellow
00-25	Modern original	Poor paint finish internally and externally. Timber frame splitting.	Renew paint finish and repair splitting.	Yellow
00-26	Modern original	Loose timber to mid rail. Decay to entire timber bottom rail extending along the rail and up the stiles. Poor paint finish	Repair timber decay and renew paint finish.	Yellow
00-27	Modern original	Loose handle. Poor paint finish. Splitting timber frame. Missing timber on left side mid rail. Decay to the full timber bottom rail extending along the rail and up the stiles. Poor paint finish. Ivy growth.	Refix loose handle, renew paint finish, repair timber decay and remove ivy.	Yellow
00-28	Modern original	Missing handle and lock. Right side handle loose. Double glazing blown. Poor paint finish. Missing catch to lock.	Repair handles, renew poor paint finish, and replace blown DGU.	Yellow
00-29	Modern original	Loose latch. Ino cracked glazing panel. Poor paint finish. Decay to timber cill externally.	Repair window, renew paint finish and repair decay.	Yellow
00-30	Modern original	Decay to mid rail and bottom rail internally and to timber cill and bottom rail externally. Poor paint finish	Repair areas of decay and renew paint finish	Yellow
00-31	Modern replacement	Window does not stay open. Defect window lock. Seals beginning to perish	Ease and adjust, repair lock and renew seals.	Yellow
00-32	Modern replacement	Window does not stay open.	Ease and adjust.	Green
00-33	Modern replacement	Seals beginning to perish.	Renew seals.	Green
00-34	Modern replacement	Defective window lock Sealant beginning to perish.	Repair lock and renew seals.	Green
00-35	Modern replacement	Soiled externally.	Renew sealant and clean window.	Green
00-36	Modern replacement	Sealant beginning to perish.	Renew sealant.	Green
00-37	Modern replacement	Dirty and begrimed. Missing lock.	Replace lock.	Green
00-38	Modern replacement	Poor quality mastic sealant.	Renew sealant.	Green
00-39	Modern replacement	Poor quality mastic sealant.	Renew sealant.	Green
00-40	Modern replacement	Poor quality mastic sealant.	Renew sealant.	Green
00-41	Modern replacement	No defects.	None	Green
00-42	Modern replacement	No defects.	None	Green
00-43	Modern replacement	No defects.	None	Green
00-44	Modern replacement	Decay to the entire timber cill and bottom rail. Poor paint finish. Missing lock.	Repair decay, renew paint finish and replace lock.	Yellow
00-45	Modern original	Missing handle to casement.	Replace handle.	Green
00-46	Modern original	No issues noted	No works recommended.	Green
01-01	Original	Decay to timber throughout to frame and casements Poor paint finish inside and outside.	Renew casements and repair decay to window frame. Renew paint finish.	Red
01-02	Original	Locks loose. Decay to entire bottom rails and to mid rails extending up the stiles. Poor paint finish.	Renew casements and repair decay to window frame. Renew paint finish.	Red
01-03	Modern original	Timber decay to frame. Poor paint finish.	Repair decay, ease and adjust and renew paint finish.	Yellow
01-04	Modern original	Poor paint finish externally. (No access internally).	Renew paint finish.	Green
01-05	Modern original	Poor paint finish.	Renew paint finish.	Green
01-06	Modern original	Poor paint finish. Missing section of timber to mid rail.	Renew paint finish and repair window.	Yellow

WINDOW/ DOOR REPAIR SCHEDULE

RAG key:

Green	Minor or no works required.
Yellow	Repairs recommended.
Red	Replacement window/ door recommended.

Window/ Door Reference	Age	Defects	Recommendations	RAG
01-07	Modern original	Decay to timber cill. Splitting to the timber. Poor paint finish.	Repair decay and splitting and renew paint finish.	Yellow
01-08	Modern original	Unable to access room. Poor paint finish externally.	Renew paint finish.	Green
01-09	Modern original	Unable to access room. Poor paint finish externally.	Renew paint finish.	Green
01-10	Modern original	Poor paint finish. Missing vent cover.	Refix vent cover and renew paint finish.	Green
01-11	Modern original	Decay to the bottom rail and bars. Loose handle. Poor paint finish.	Refix loose handle, replace decayed sections of casement and renew paint finish.	Yellow
01-12	Modern original	Handles loose. One blown double glazed unit. Splitting to frame. Poor paint finish externally. Vent to top rail loose. Decay to bottom rail.	Replace blown DGU, repair splitting, replace loose vent, refix handle and renew paint finish.	Yellow
01-13	Modern original	Loose handle. Poor paint finish externally.	Repair loose handle and renew paint finish.	Yellow
01-14	Modern original	Defective latch. Poor paint finish. Shrinkage to frame.	Replace latch and renew paint finish.	Yellow
01-15	Modern original	Decay to glazing bars and timber cill. Poor paint finish.	Repair decay and renew paint finish.	Yellow
01-16	Original	Decay to mid rail and cill externally. Poor quality putty. Poor paint finish externally. Defective latch. Difficult to operate.	Repair areas of decay, renew putty, repair latch, ease and adjust and renew paint finish.	Yellow
01-17	Original	Sash cords cut. One cracked glass panel. Poor paint finish. Timber decay to mid rail and cill.	Repair decay, repair sash cords, replace cracked glazing and renew paint finish.	Yellow
01-18	Original	Window inoperable due to partition. Poor paint finish internally and externally. Decay to mid rail and cill. Defective putty.	Renew window.	Red
01-19	Original	Stiffness when opening. Locks loose. Poor paint finish. Two cracked panes.	Ease and adjust, refix locks, replace cracked glazing and renew paint finish.	Yellow
01-20	Original	Poor paint finish.	Renew paint finish.	Green
01-21	Original	Decay to mid rail and cill. Poor paint finish. Loose locks. Window inoperable.	Ease and adjust window, refix locks, replace sections of timber decay and renew paint finish.	Yellow
01-22	Original	Window operates poorly and does not stay open. Poor paint finish internally and externally. Decay to timber externally.	Ease and adjust window, renew paint finish, repair area of decay.	Yellow
01-23	Original	Non-operational window. Window dislodged in frame. Poor paint finish internally and externally. Decay to bottom rail. Defective putty.	Ease and adjust window, renew paint finish, replace decayed bottom rail, renew putty.	Yellow
01-24	Modern replacement	Window operates poorly and fails to stay open. Poor paint finish internally and externally.	Ease and adjust window and renew paint finish.	Yellow
01-25	Modern replacement	Poor paint finish. Decay to timber cill, bottom rail and jambs.	Renew window.	Red
01-26	Original	Sash cords cut. Poor paint finish internally and externally. Decay to timber cill and mid rail. Defective putty.	Replace sash cords, renew paint finish, repair decayed timber and renew putty.	Yellow
01-27	Original	Sash cords cut. One cracked pane. Poor paint finish internally and externally. Defective putty.	Replace sash cords, replace cracked glazing panel, renew paint finish and renew putty.	Yellow
01-28	Original	Poor paint finish including external security bars. Poor putty. Window screwed shut.	Renew paint finish and putty. Ease and adjust window.	Green
01-29	Original	Poor paint finish. Poor putty.	Renew paint finish and putty.	Green
01-30	Original	Poor paint finish.	Renew paint finish. Consider window replacement to help improve thermal performance.	Green
01-31	Original	Poor paint finish. Missing handle.	Renew paint finish, replace handles. Consider window replacement to help improve thermal performance.	Green
01-32	Original	Poor paint finish.	Renew paint finish. Consider window replacement to help improve thermal performance.	Green
01-33	Original	Poor paint finish. Window does not close fully.	Renew paint finish. Consider window replacement to help improve thermal performance.	Green
02-01	Original	Poor quality window Window does not close fully.	Renew window.	Red

WINDOW/ DOOR REPAIR SCHEDULE

RAG key:

Green	Minor or no works required.
Yellow	Repairs recommended.
Red	Replacement window/ door recommended.

Window/ Door Reference	Age	Defects	Recommendations	RAG
02-02	Original	Poor quality window Window does not close fully.	Renew window.	Red
02-03	Modern replacement	Good condition	No works recommended.	Green
02-04	Modern replacement	Good condition	No works recommended.	Green
02-05	Modern replacement	Good condition	No works recommended.	Green
02-06	Modern replacement	Good condition	No works recommended.	Green
02-07	Original	Poor quality window Window does not close fully. Decay to timber externally.	Renew window.	Red
02-08	Original	Poor quality window Window does not close fully. Decay to timber externally.	Renew window.	Red
02-09	Original	Poor quality window Window does not close fully. Decay to timber externally.	Renew window.	Red
02-10	Original	Poor quality window Window does not close fully. Decay to timber externally.	Renew window.	Red
CIR 00-01	Modern replacement	Decay to RHS frame to lower 600mm. Decay to LHS frame to lower 150mm. Missing sections of mouldings to lower panel internally and externally. Poor finish internally and externally.	Renew door	Red
CA 00-01	Modern replacement	Timber decay to bottom rails on both doors and decay to threshold. Poor paint finish. Poor quality previous repairs and decay evident to low level to the external surrounds to both sides.	Repair defective areas of timber and redecorate.	Yellow
CA 00-02	Modern replacement	Decay to LHS frame to lower 150mm. Missing and decayed sections of mouldings to lower panels internally and externally. Poor finish internally and externally. One missing pull handle. Missing cover plate to door lock. Corrosion staining to hinges.	Renew door	Red
CA 00-03	Modern replacement	Timber decay to bottom rails to RHS leaf and frame to 150mm. Poor paint finish internally and externally. Poor quality previous repairs and decay evident to low level to the external surrounds to both sides. Poor quality putty to 2no glass panels.	Repair defective areas of timber and redecorate.	Yellow
CA 00-04	Modern replacement	Timber decay to threshold. Poor quality previous repair to lower 400mm of LHS side rail. Poor paint finish internally and externally. Poor quality previous repairs to side mouldings.	Repair defective areas of timber and redecorate.	Yellow
CA 00-05	Original	Poor quality putty to glazing. 2no missing glazing panels (70x70mm). Timber decay to lower 150mm RHS frame. Decay to architrave to the head of the door. Poor quality decorations internally and externally. Missing cover plate to lock. Decay to LHS frame to lower 150mm.	Repair defective areas of timber and redecorate.	Yellow
CIR 00-02	Modern original	Decay to bottom rail, weather bar and door frame to low level. Poor quality paint finish.	Renew door	Red
H 00-04	Modern original	Missing cover plate to redundant door lock. Tired paint finish internally and externally.	Repair and redecorate door.	Green
CA 00-06	Modern original	Timber decay to bottom rail. Poor paint finish	Repair and redecorate door.	Yellow
H 00-01	Modern original	Localised decay to lower 100mm of door frame to both sides. Split timber weather bar. Poor paint finish internally and externally	Repair and redecorate door.	Yellow
H 00-03	Modern replacement	The glass panel has been overclad with timber.	Reinstate glass panel.	Yellow
ET 00-01	Modern replacement	Tired paint finish.	Redecorate door.	Green
ET 00-02	Modern replacement	Door leaf and finish in a very poor condition.	Renew door	Red
CY00-01	Modern original	No issues noted.	No works recommended.	Green
CY00-02	Modern original	No issues noted.	No works recommended.	Green
CY00-03	Modern original	No issues noted.	No works recommended.	Green
CA 01-01	Modern original	Poor paint finish and 1no missing hinge.	Repair and redecorate door.	Green
CA 01-02	Original	Fan lights do not close. Poor paint finish. Cover strip fitted to threshold.	Repair and redecorate door.	Yellow
CA 01-03	Original	Fan lights do not close. Poor paint finish.	Repair and redecorate door.	Yellow

Appendix D

Stucco repair

Stucco Render Condition Summary

Render Panel 1

The panel is in poor condition with a blown section of render approximately 2.0m x 0.8m below the RHS ground floor window. Pattern cracking was noted to a section of render approximately 1.5m x 3m adjacent to the oriel window. Localised missing sections of render were evident to the ground floor window sill and to the lead flashing above the oriel window.

The render is cracked in numerous locations which include; 2-3mm wide horizontal and vertical crack above the LHS GF window; 1mm vertical crack below the LHS GF window; 3no 2-3mm wide vertical cracks to the oriel window projection; fine vertical cracks to the edges of external wall panel projections; and, numerous fine cracks to the parapet wall.

The applied finish to the entire panel is in poor condition.

Render Panel 2

The panel is in poor condition with stepped cracking to render to an area approximately 0.5m x 3m to ground floor on the LHS. The adjoining rendered panel on the LHS is blown to low level to an area approximately 0.75 x 1.5m.

A vertical crack, approximately 5mm is evident at high level to the south face of the chimney stack. A number of vertical cracks 1-2mm wide are evident between ground and first floor windows. A small number of fine horizontal cracks are evident to the LHS corner at first floor level.

Vertical cracks approximately 2-3mm wide are evident from the top of the parapet wall rainwater outlet on the LHS adjoining panel.

The applied finish to the entire panel is in poor condition.

Render Panel 3

The panel is in poor condition with evidence of ivy growth to the entire panel, the majority of the ivy has been cleared with some stems still adhered to the render.

A vertical crack, approximately 2-3mm wide extends from ground level to first floor level. Fine vertical and horizontal cracks are evident above the ground floor window.

The applied finish to the entire panel is in poor condition.

Render Panel 4

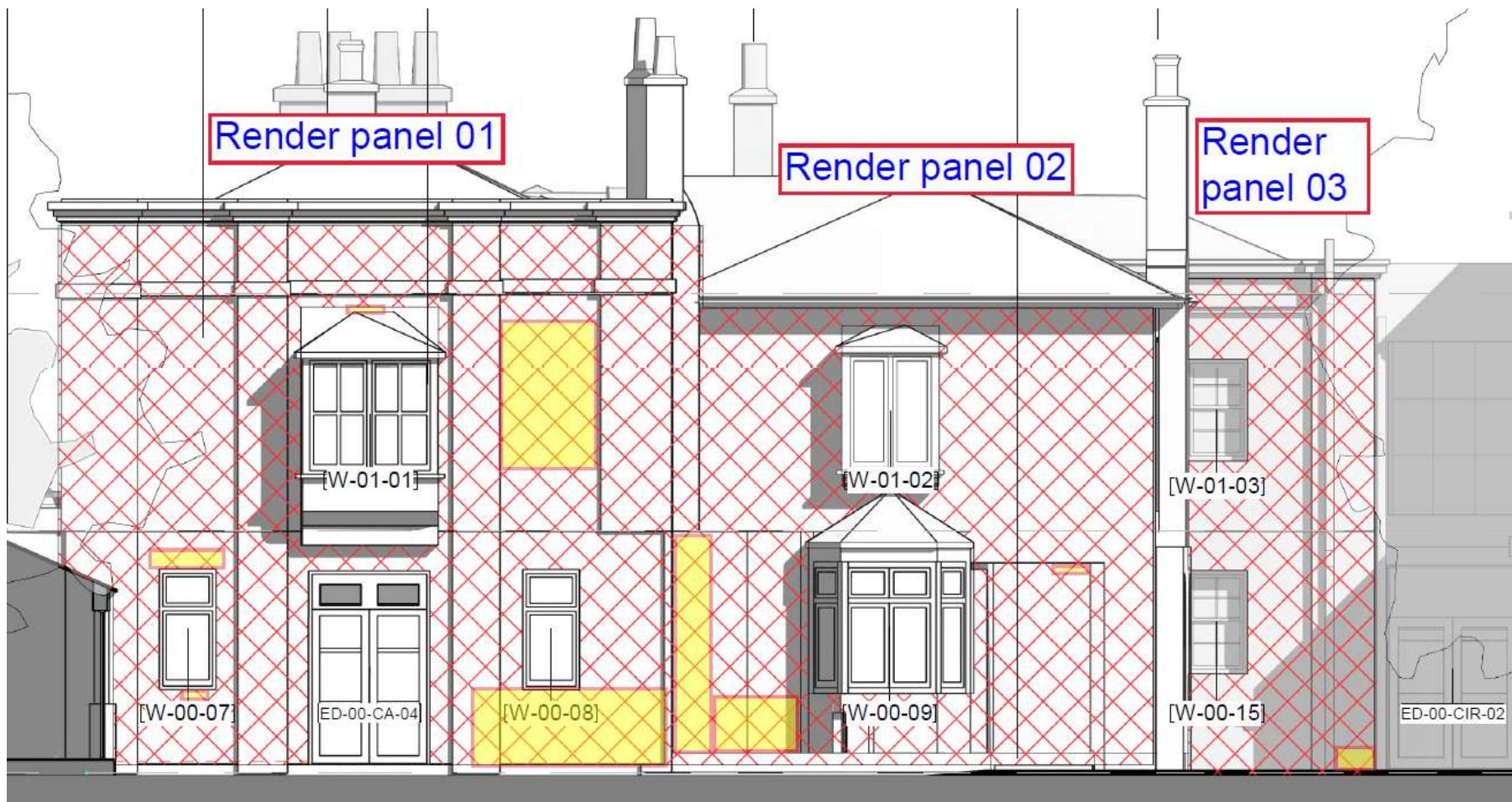
The panel is in poor condition with evidence of ivy growth to the entire panel, the majority of the ivy has been cleared with some stems still adhered to the render.

A small section of render has detached from a ground floor window sill, with vertical cracking evident to the render extending to ground level. The rendered top of the brickwork floor vent is also cracked.

Numerous fine vertical cracks were evident above ground floor and first floor windows.

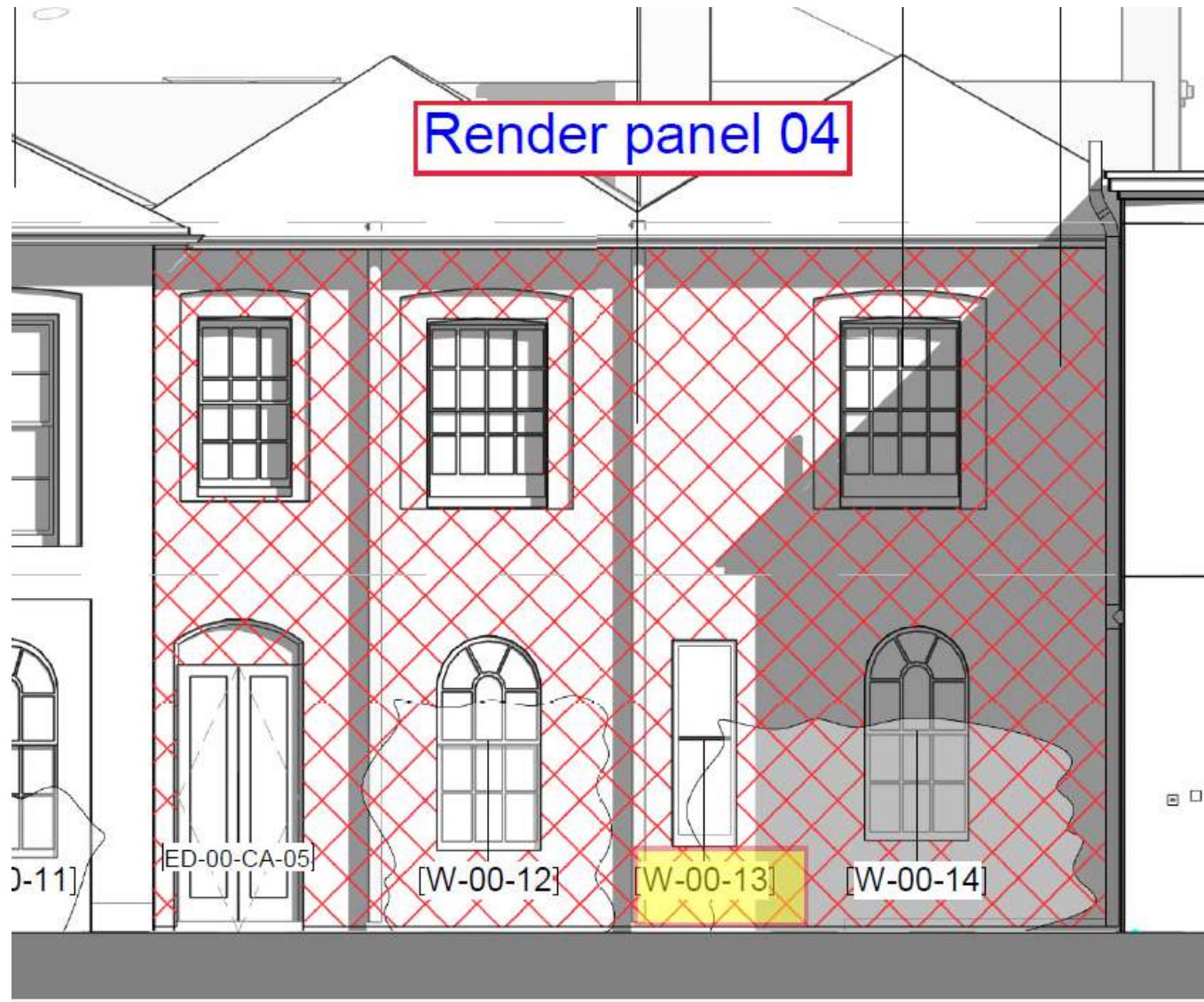
A section of render is stained from the leaking rainwater gutter.

The applied finish to the entire panel is in poor condition.



Denotes areas requiring renewal.

Render panel 04

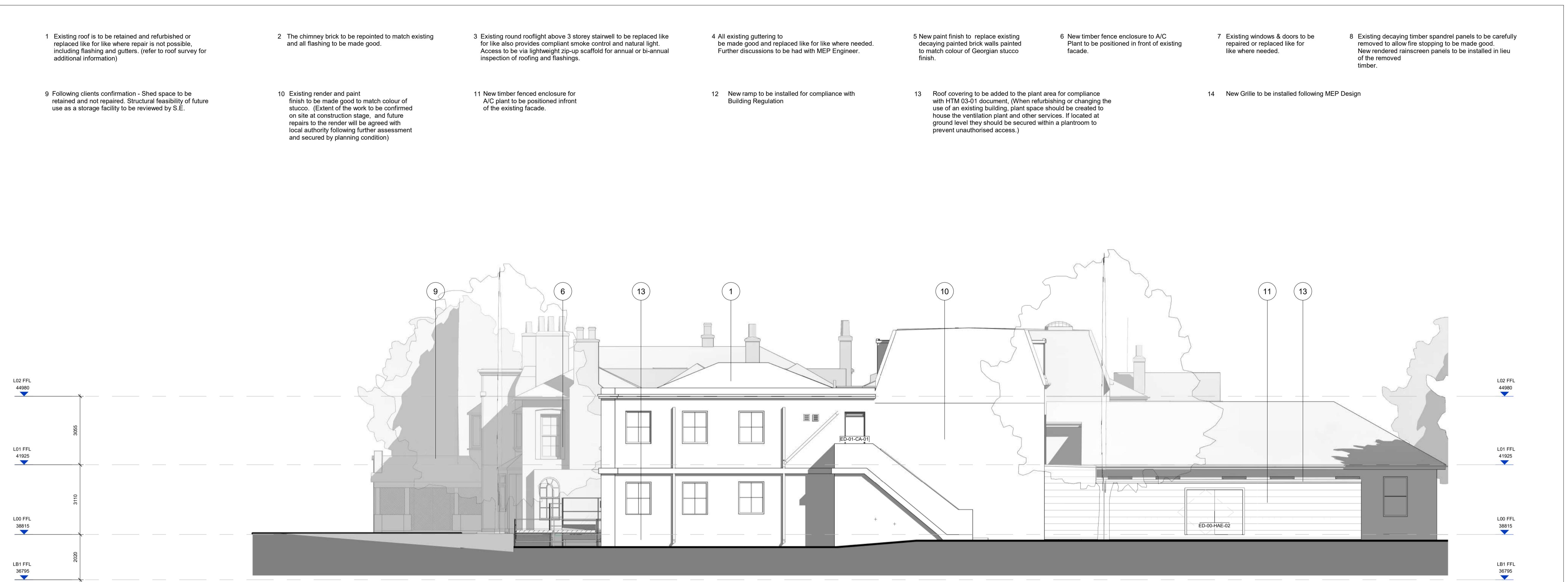


STUCCO REPAIR SPECIFICATION

- 1) We recommend each area of stucco is analysed to confirm the original materials and the mix ratio, the results of the analysis should be used when repairing the render.
- 2) Cracks greater than 2mm in the stucco should be carefully cut out to form a slight undercut which will act as a key, and thoroughly flushed out with water to remove dust and loose debris before being filled with fresh mortar based on trial results.
- 3) We recommend a hammer test is completed to all cracked areas of stucco to confirm areas which have lost adhesion, these sections should be cut out and removed and reinstated.
- 4) Hollow areas and voids in the stucco should be flushed out likewise, it may be necessary to form a small hole at the base of the void to allow water to escape. Acetone may be used or added to the water to assist drying. A ten per cent solution of Primal WS24 may be injected into the void prior to grouting in order to increase the bond between grout and internal face, before injecting a fine grout based on lime putty or, in the case of a mastic, a similar mix based on analysis results. It is very important to observe the surface of the stucco while grouting to check for escape holes, surface bulging and consequent loss. Vulnerable areas should be supported until the grout has set. Finally the surface of the stucco is reinstated to its original profile, where possible without causing loss.
- 5) Salt efflorescence may be dry brushed and removed from all surfaces, as should all algal growth. A suitable biocide should be applied to affected areas only, to remove remaining algae and prevent re-growth.
- 6) Friable areas of a lime-based stucco may be consolidated with repeated applications of limewater. To avoid a white bloom it is most important not to let the limewater sit on the surface but to sponge it off with clean water.
- 7) Re-Render in a hot lime render (NOT NHL3.5 or 2) areas that are to be rendered in the lime render are to the old parts of the building (Solid wall construction) Other areas which are the later additions, with modern construction can be rendered in standard sand and cement.
- 8) Suitably prepare and redecorate the areas of stucco using a suitable paint product as recommended by heritage consultant.

Appendix E

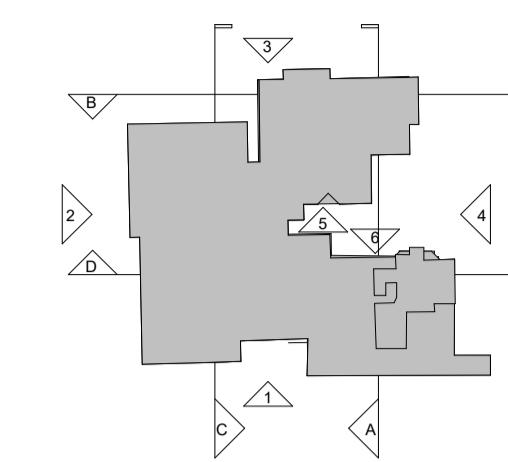
Stucco locations



Notes

- All dimensions to be checked on site
- Do not scale off this drawing
- All dimensions are shown in mm unless otherwise stated
- Refer to drawing issue sheet for purpose of issue
- If in doubt ask
- © Llewelyn Davies Weeks

Key Plan



GENERAL NOTES:

EXISTING FABRIC
NEW FABRIC
EXTENT OF RENDER TO BE CONFIRMED ON SITE

DRAWINGS TO BE READ IN CONJUNCTION WITH SPECIFICATION & FINISHES SCHEDULE/ SCHEDULE OF WORKS/ MEP & STRUCTURAL ENGINEER'S DRAWINGS
REFER TO 000300 SERIES DWGS FOR SECTIONS REFERRED TO ON THIS DRAWING

TO BE READ IN CONJUNCTION WITH STAGE 4 FIRE STRATEGY REPORT

DIMENSIONS ROUNDED UP OR DOWN TO THE NEAREST WHOLE NUMBER. ALL DIMENSIONS TO BE CONFIRMED ON SITE

LEVELS AND EXISTING BUILDING FABRIC ARE BASED ON MURPHY GEOSPATIAL SURVEY MG40730 REVISION A DATED 24/02/2021

FOR ALL MEP INFORMATION REFER TO CPW DRAWINGS

ALL DIMENSIONS TO BE CHECKED ON SITE.

FOR ALL ROOF REPAIRS, PLEASE REFER TO ROOF SURVEY QH-00001 DATED 11/01/2022. SUBMIT PROPOSAL FOR ALL REPAIR METHODS INCLUDING MEANS OF SAFE ACCESS AND SEEK FURTHER INSTRUCTION BEFORE PROCEEDING.

SUBMIT PROPOSAL FOR ASSOCIATED WEATHERPROOFING, INCLUDING MEANS OF SAFE ACCESS AND SEEK FURTHER INSTRUCTION BEFORE PROCEEDING.

ALL EXISTING FEATURES ARE TO BE RETAINED UNLESS THEY ARE SPECIFICALLY MARKED FOR AMENDMENT/REMOVAL/DEMOLITION OR REFURBISHMENT.

ALL DAMPNESS REPAIR REQUIREMENTS TO BE READ WITH THE DAMP AND CONDITION SURVEY REPORT PROVIDED BY THE HERITAGE HOUSE ON 1ST OF APRIL 2022.

PROPOSAL PENDING FIRE ENGINEER'S REVIEW AND RECOMMENDATIONS.

TYPICAL WINDOW CODE EXAMPLE:

W - 00 - 08
Window Floor Window No.

TYPICAL DOOR CODE EXAMPLE:

ED - 00 - HAE - 08
External Door Floor Department Door No.



Notes

- All dimensions to be checked on site
- Do not scale off this drawing
- All scales are shown in mm unless otherwise stated
- Refer to drawing issue sheet for purpose of issue
- If in doubt ask
- © Llewelyn Davies Weeks

1 Existing roof to be retained and refurbished or replaced like for like where repair is not possible, including flashing and gutters.

2 Existing round rooflight above 3 storey stairwell to be replaced by a roof access hatch which also provides compliant smoke control and natural light. Access to be via lightweight zip-up scaffold for annual or bi-annual inspection of roofing and flashings.

3 All existing guttering to be made good and replaced like for like. Further discussions to be had with MEP Engineer.

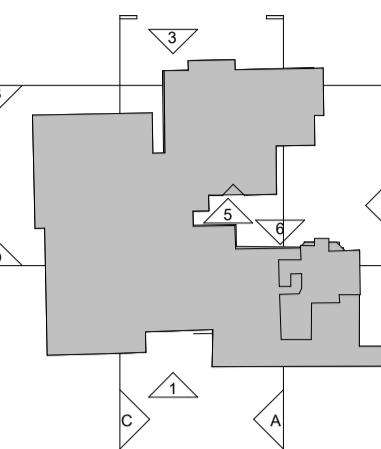
4 New render finish to replace existing decaying painted brick walls painted to match colour of Georgian stucco finish.

5 Existing windows & doors to be repaired or replaced like for like where required.

6 Missing RWP to be replaced by a new RWP.

7 Existing render and paint finish to be made good to match colour of stucco. (Extent of the work to be confirmed on site at construction stage, and future repairs to the render will be agreed with local authority following further assessment and secured by planning condition)

Key Plan



GENERAL NOTES:

EXISTING FABRIC

NEW FABRIC

EXTENT OF RENDER TO BE CONFIRMED ON SITE

DRAWINGS TO BE READ IN CONJUNCTION WITH SPECIFICATION & FINISHES SCHEDULE/ SCHEDULE OF WORKS/ MEP & STRUCTURAL ENGINEER'S DRAWINGS

REFER TO 000300 SERIES DWGS FOR SECTIONS REFERRED TO ON THIS DRAWING

TO BE READ IN CONJUNCTION WITH STAGE 4 FIRE STRATEGY REPORT

DIMENSIONS ROUNDED UP OR DOWN TO THE NEAREST WHOLE NUMBER. ALL DIMENSIONS TO BE CONFIRMED ON SITE

LEVELS AND EXISTING BUILDING FABRIC ARE BASED ON MURPHY GEOSPATIAL SURVEY MGS40730 REVISION A DATED 24/02/2021

FOR ALL MEP INFORMATION REFER TO CPW DRAWINGS

ALL DIMENSIONS TO BE CHECKED ON SITE.

FOR ALL ROOF REPAIRS, PLEASE REFER TO ROOF SURVEY QT-000-413 - HILLINGDON HOSPITAL BY HYSURV DATE 11-OCT-2021. SUBMIT PROPOSAL FOR ALL REPAIR METHODS INCLUDING MEANS OF SAFE ACCESS AND SEEK FURTHER INSTRUCTION BEFORE PROCEEDING.

SUBMIT PROPOSAL FOR ASSOCIATED WEATHERPROOFING, INCLUDING MEANS OF SAFE ACCESS AND SEEK FURTHER INSTRUCTION BEFORE PROCEEDING.

ALL EXISTING FEATURES ARE TO BE RETAINED UNLESS THEY ARE SPECIFICALLY MARKED FOR AMENDMENT/REMOVAL/DEMOLITION OR REFURBISHMENT.

ALL DAMPNESS REPAIR REQUIREMENTS TO BE READ WITH THE DAMP AND CONDITION SURVEY REPORT PROVIDED BY THE HERITAGE HOUSE ON 1ST OF APRIL 2022.

PROPOSAL PENDING FIRE ENGINEER'S REVIEW AND RECOMMENDATIONS.

TYPICAL WINDOW CODE EXAMPLE:

W - 00 - 08
Window Floor Window No.

TYPICAL DOOR CODE EXAMPLE:

ED - 00 - HAE - 08
External Door Floor Department Door No.

Project Status

REV	DESCRIPTION	DATE	BY	CHK
P01	For Tender	03/09/21	FM	LD
P02	For Tender	28/09/21	FM	LD
P03	For Review and Approval	03/12/21	FM	LD
P04	For Planning Amendments	28/03/22	ZAK	LD
P05	For Tender	29/04/22	ZAK	LD

Structural Consultant Services Consultant
CAMPBELL REITH CPW

Cost Consultant
RIDGE AND PARTNERS

Project Title
HILLINGDON HOSPITAL - THE FURZE

Client

THE HILLINGDON HOSPITAL NHS FOUNDATION TRUST
Drawing Title

PROPOSED ELEVATIONS 05&06

Project Number

LD20 192.00

Drawing Number

THHFP1-LDW-ZZ-ZZ-DR-A-000212

Revision

- P05

Scale @ A1

1 : 100

Date

29/04/22

Architects

LLEWELYN DAVIES

Architects | Planners | Designers

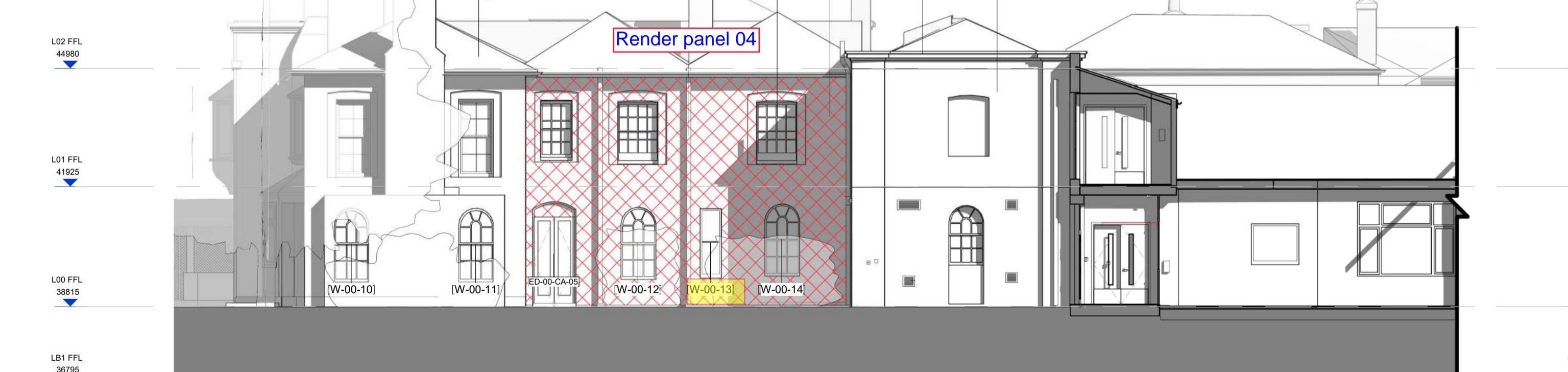
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Proposed Elevation 05



Proposed Elevation 06

Project Number

LD20 192.00

Drawing Number

THHFP1-LDW-ZZ-ZZ-DR-A-000212

Revision

- P05

Scale @ A1

1 : 100

Date

29/04/22

Architects

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Architects | Planners | Designers

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