

Site Queries Solutions

Hillingdon Hospital, The Furze.

Project No: LD20 192.00

FOR CONSTRUCTION

Date:06/11/2024

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UPDATE : THE DAMAGE IN THIS AREA IS MAJOR THEREFORE REPAIR BY REPLACING THE DAMAGED CEILING AREA.

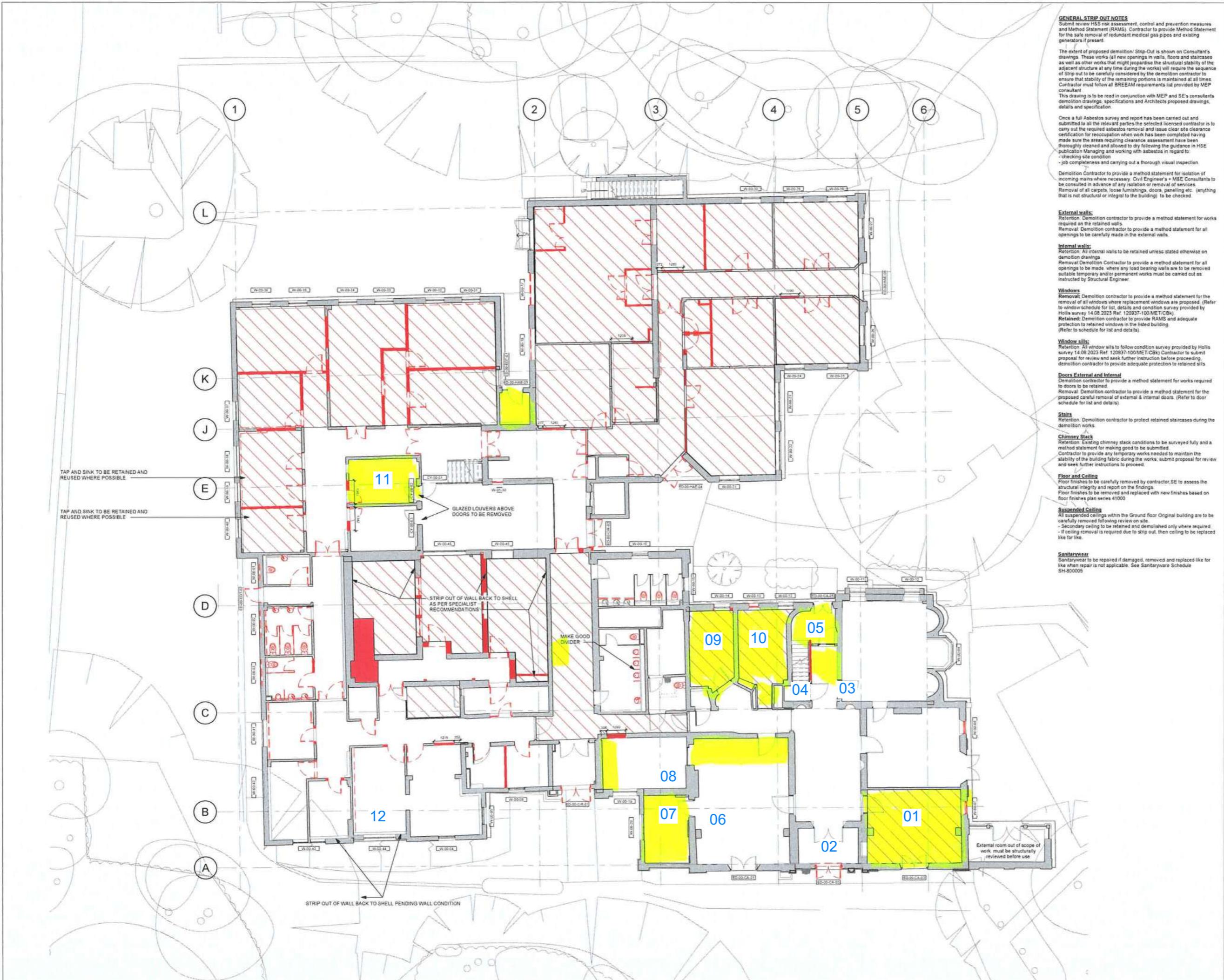
Photo No.	Description	Location	Cause	Preliminary Check		Action	Note
1	Extensive mould and damp stains on the ceiling.	Ground Floor. Speech Office. Ceiling + Wall	Water leaking from the flat roof above.	Check whether the ceiling and wall are dry or still damp	Damp	1 - Check for possible causes from the flat roof above. 2 - Wait for the ceiling to dry and then proceed as described in the following line.	
					Dry	1 - Check for possible causes from the flat roof above. 2 - Use a specially designed mold wash concentrate like a Fungicidal Cleaner. 3 - Prepare the surface by removing any flaking paint or plasterboard with a hard bristle-brush or scraper. 4 - Wash down the prepared area with the diluted Mould Wash Concentrate and a sponge. 5 - Once the area is clean and dry the zone is ready to redecorate. Add and Anti Mould Paint Additive to the paint.	Good ventilation in the room avoid the appearance of mold in the future.
2	large crack in the plasterboard	Ground Floor. Lobby Entrance. Ceiling	Light relocated	Nothing		Ceiling must be repaired by track closure.	
3	Large mould and damp stains on the ceiling.	Ground Floor. Corridor over door ID-00-CA-12. Cornice + Ceiling + Wall	Water leaking from the floor above.	Check whether the ceiling and wall are dry or still damp	Damp	1 - Check for possible causes from the floor above. 2 - Wait for the ceiling to dry and then proceed as described in the following line.	
					Dry	1 - Check for possible causes from the floor above. 2 - Use a specially designed mold wash concentrate like a Fungicidal Cleaner. 3 - Prepare the surface by removing any flaking paint or plasterboard with a hard bristle-brush or scraper. 4 - Wash down the prepared area with the diluted Mould Wash Concentrate and a sponge. 5 - Once the area is clean and dry the zone is ready to redecorate. Add and Anti Mould Paint Additive to the paint.	Good ventilation in the room avoid the appearance of mold in the future.
4	Door jamb damaged	Ground Floor. Door ID-00-CA-13 to basement. Timber frame.	Unknow	check the condition of the entire timber frame		jamb and any damaged part must be replaced	
5	Extensive mould and damp stains on the ceiling.	Ground Floor. Stair Lobby 1. Ceiling + Wall	Water leaking from the toilets above.	Check whether the ceiling and wall are dry or still damp.	Damp	1 - Check for possible causes from the toilets above due to water leaks from pipes or drains. 2 - First of all Pipes or Drains must be repaired or removed 3 - Wait for the ceiling to dry and then proceed as described in the following line.	
					Dry	1 - Check for possible causes from the toilets above due to water leaks from pipes or drains. 2 - First of all Pipes or Drains must be repaired or removed 3 - Use a specially designed mold wash concentrate like a Fungicidal Cleaner. 4 - Prepare the surface by removing any flaking paint or plasterboard with a hard bristle-brush or scraper. 5 - Wash down the prepared area with the diluted Mould Wash Concentrate and a sponge. 6 - Once the area is clean and dry the zone is ready to redecorate. Add and Anti Mould Paint Additive to the paint.	Good ventilation in the room avoid the appearance of mold in the future.
6	Large mould and damp stains on the wall.	Ground Floor. Meeting Room 02. Wall	Unknow	Check whether the wall is dry or still damp.	Damp	1 - Wait for the ceiling to dry and then proceed as described in the following line.	
					Dry	1 - Use a specially designed mold wash concentrate like a Fungicidal Cleaner. 2 - Prepare the surface by removing any flaking paint or plasterboard with a hard bristle-brush or scraper. 3 - Wash down the prepared area with the diluted Mould Wash Concentrate and a sponge. 4 - Once the area is clean and dry the zone is ready to redecorate. Add and Anti Mould Paint Additive to the paint.	Good ventilation in the room avoid the appearance of mold in the future.
7	Extensive mould and damp stains on the ceiling and wall.	Ground Floor. Eldery day care. Ceiling + Wall	Water leaking from the flat roof above.	Nothing		1 - Check for possible causes from the flat roof above. 2 - Existing ceiling must be demolished. 3 - New ceiling, matching to the existing one.	Good ventilation in the room avoid the appearance of mold in the future.
8	Extensive mould and damp stains on the wall.	Ground Floor. Clinical room 03. Wall	Water leaking from the flat roof above.	Check whether the wall is dry or still damp	Damp	1 - Check for possible causes from the flat roof above. 2 - Wait for the ceiling to dry and then proceed as described in the following line.	
					Dry	1 - Check for possible causes from the flat roof above. 2 - Use a specially designed mold wash concentrate like a Fungicidal Cleaner. 3 - Prepare the surface by removing any flaking paint or plasterboard with a hard bristle-brush or scraper. 4 - Wash down the prepared area with the diluted Mould Wash Concentrate and a sponge. 5 - Once the area is clean and dry the zone is ready to redecorate. Add and Anti Mould Paint Additive to the paint.	Good ventilation in the room avoid the appearance of mold in the future.
9	Some Holes on the ceiling and PVC Cornice damaged.	Ground Floor. Kitchen. Ceiling + Wall	Works of Electrical system	Nothing	Holes	Ceiling repair by holes closure.	
					Damage	PVC cornice must be replaced	
10	Extensive zone of ceiling missed and damaged.	Ground Floor. Treatment room. Ceiling + Wall	Water leaking from the toilets above.	Check whether the ceiling and wall are dry or still damp.	Damp	1 - Check for possible causes from the toilets above due to water leaks from pipes or drains. 2 - First of all Pipes or Drains must be repaired or removed 3 - Wait for the ceiling to dry and then proceed as described in the following line.	
					Dry	1 - Check for possible causes from the toilets above due to water leaks from pipes or drains. 2 - First of all Pipes or Drains must be repaired or removed 3 - Use a specially designed mold wash concentrate like a Fungicidal Cleaner. 4 - Add the ceiling where it is missing. 5 - Prepare the surface by removing any flaking paint or plasterboard with a hard bristle-brush or scraper. 6 - Wash down the prepared area with the diluted Mould Wash Concentrate and a sponge. 7 - Once the area is clean and dry the zone is ready to redecorate. Add and Anti Mould Paint Additive to the paint.	Good ventilation in the room avoid the appearance of mold in the future.
					Damp	1 - Check for possible causes from the roof above. 2 - First of all the roof must be repaired 3 - Wait for the ceiling to dry and then proceed as described in the following line.	

Reviewed by LD

12/12/2024 16:34:20

11	Extensive zone of ceiling missed and damaged.	Ground Floor. Store room EDT 0.3. Ceiling + Wall	Water leaking from the roof.	Check whether the wall is dry or still damp	Dry	1 - Check for possible causes from the roof above. 2 - First of all the roof must be repaired 3 - Use a specially designed mold wash concentrate like a Fungicidal Cleaner. 4 - Add the ceiling where it is missing. 5 - Prepare the surface by removing any flaking paint or plasterboard with a hard bristle-brush or scraper. 6 - Wash down the prepared area with the diluted Mould Wash Concentrate and a sponge. 7 - Once the area is clean and dry the zone is ready to redecorate. Add and Anti Mould Paint Additive to the paint.	Good ventilation in the room avoid the appearance of mold in the future.
12	Some holes and paint missed on the wall. Flooring damaged	Ground Floor. Consulting room. Walls + Flooring	Damage due to plumbing work	Mechanical system must be checked.		Walls must be repaired by holes closure and repaint.	
13	Ply covering floor is damaged. Skirting missed	1st floor. Rooms. Flooring + Skirting	Damage due to wear and tear and previous work	Nothing		1 - removal of parts that are detached. 2 - installation of Decoupling membrane (anti-cracks) and self-leveling screed for a thickness between 5-10 mm. 3 - laying new flooring 4 - installation new skirting	
14	Large mould and damp stains on the ceiling and walls.	1ST Floor. Unknown. Ceiling + Wall	Water leaking from the roof above.	Check whether the ceiling and wall are dry or still damp	Damp	1 - Check for possible causes from the roof above. 2 - First of all the roof must be repaired 3 - Wait for the ceiling to dry and then proceed as described in the following line.	
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15	Extensive mould and damp stains on the ceiling and walls.	1st Floor. Male toilet. Ceiling + Wall	Water leaking from the roof above.	Check whether the ceiling and wall are dry or still damp	Damp	1 - Check for possible causes from the roof above. 2 - First of all the roof must be repaired 3 - Wait for the ceiling to dry and then proceed as described in the following line.	
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16	Demolitions	1st Floor. Female toilet. Ceiling + Wall	due the works	Mechanical system must be checked.		1 - Remove window wc boxing. 2 - Remove the dividers. 3 - Repair walls and ceiling	
17	Extensive mould and damp stains on the ceiling and walls.	1st Floor. Oncology office. Ceiling + Wall	Water leaking from the roof above.	Check whether the ceiling and wall are dry or still damp	Damp	1 - Check for possible causes from the roof above. 2 - First of all the roof must be repaired 3 - Wait for the ceiling to dry and then proceed as described in the following line.	
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18	Extensive mould and damp stains on the walls.	1st Floor. Store. Wall	Water leaking from the roof above.	Check whether the ceiling and wall are dry or still damp	Damp	1 - Check for possible causes from the roof above. 2 - First of all the roof must be repaired 3 - Wait for the ceiling to dry and then proceed as described in the following line.	
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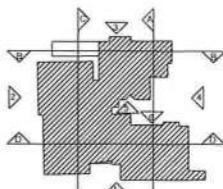
UPDATE : THE DAMAGE IN THIS AREA IS MAJOR THEREFORE
REPAIR BY REPLACING THE
DAMAGED CEILING AREA.



Notes

- All dimensions to be checked on site
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- All dimensions are shown in mm unless otherwise stated
- Refer to drawing issue sheet for purpose of issue
- If in doubt ask
- © Llewelyn Davies Weeks

Key Plan



0 1 2 3 4m



GENERAL STRIP OUT NOTES

Submit review H&S risk assessment, control and prevention measures and Method Statement (RAMS). Contractor to provide Method Statement for the safe removal of redundant medical gas pipes and existing generators if present.

The extent of proposed demolition/ Strip-Out is shown on Consultant's drawings. These works (all new openings in walls, floors and staircases as well as any demolition that may jeopardise structural stability of the adjacent structure at any time during the works) and the sequence of Strip out to be carefully considered by the demolition contractor to ensure that stability of the remaining portions is maintained at all times. Contractor must follow all BRE/AM requirements provided by MEF consult.

The following is to be read in conjunction with MEP and SE's consultants demolition drawings, specifications and Architects proposed drawings, details and specification.

Once a full Asbestos survey and report has been carried out and submitted to all the relevant parties the selected licensed contractor is to carry out the required asbestos removal and issue clear site clearance certification for reoccupation when work has been completed having made sure the areas requiring clearance assessment have been thoroughly cleaned and allowed to dry following the guidance in HSE publication HSG264 Working with asbestos in regard to:

- checking site condition
- job completeness
- carrying out a thorough visual inspection.

Demolition Contractor to provide a method statement for isolation of incoming mains where necessary. Civil Engineer's + M&E Consultants to be consulted in advance of any isolation or removal of services. Removal of all carpets, loose furnishings, doors, paneling etc (anything that is not structural or integral to the building) to be checked.

External walls:

Retention: Demolition contractor to provide a method statement for works required on the retained walls.

Removal: Demolition contractor to provide a method statement for all openings to be carefully made in the external walls.

Internal walls:

Retention: All internal walls to be retained unless stated otherwise on demolition drawings.

Removal: Demolition Contractor to provide a method statement for all openings to be made, where any load bearing walls are to be removed suitable temporary and/or permanent works must be carried out as instructed by Structural Engineer.

Windows:

Removal: Demolition contractor to provide a method statement for the removal of all windows where replacement windows are proposed. (Refer to window schedule for list details and condition survey provided by Hollis survey 14.08.2023 Ref: 120937-100-MET/C8k).

Retention: Demolition contractor to provide RAMS and adequate protection to retained windows in the stated building.

(Refer to schedule for list and details)

Window sills:

Retention: All window sills to follow condition survey provided by Hollis survey 14.08.2023 Ref: 120937-100-MET/C8k). Contractor to submit proposal for review and seek further instruction before proceeding.

Demolition contractor to provide adequate protection to retained sills.

Doors External and Internal:

Demolition contractor to provide a method statement for works required to doors to be retained.

Removal: Demolition contractor to provide a method statement for the proposed careful removal of external & internal doors. (Refer to door schedule for list and details)

Stairs:

Retention: Demolition contractor to protect retained staircases during the demolition works.

Chimney Stack:

Retention: Existing chimney stack conditions to be surveyed fully and a method statement for making good to be submitted.

Contractor to provide any temporary works needed to maintain the stability of the building fabric during the works; submit proposal for review and seek further instructions to proceed.

Floor and Ceiling:

Floor finishes to be carefully removed by contractor. SE to assess the structural integrity and report on the findings.

Floor finishes to be removed and replaced with new finishes based on floor finishes plan series 41000

Suspended Ceiling:

All suspended ceilings within the Ground floor Original building are to be carefully removed following review on site.

- Secondary ceiling to be retained and demolished only where required.

- If ceiling removal is required due to strip out, then ceiling to be replaced like for like.

Sanitaryware:

Sanitaryware to be repaired if damaged, removed and replaced like for like when repair is not applicable. See Sanitaryware Schedule SH-800005

Project Work Stage

Project	Task	Start Date	End Date	Lead	Review
P01	Issue for Tender	11/05/24	14/05/24	HC	LD
P02	Stage 4 Issue	11/06/24	14/06/24	HC	LD
P01	Review of Stage 4	13/05/24	18/05/24	HC	LD
P03	For Planning	28/02/24	04/03/24	HC	LD
P02	Stage 4 Issue	31/01/24	07/02/24	HC	LD
P04	For Planning Amendments	21/09/23	28/09/23	ZAK	LD
P05	For Tender	29/04/23	06/05/23	ZAK	LD
P03	For Planning Amendments	25/03/23	01/04/23	ZAK	LD
P04	For Review and Approval	04/03/23	10/03/23	LA	LD
P03	For Review and Approval	23/12/22	05/01/23	LA	LD
P04	For Tender	05/01/23	12/01/23	FM	LD
P05	For Tender	25/01/23	01/02/23	FM	LD
REV	For Tender	05/02/23	12/02/23	FM	LD

Structural Consultant

CAMPBELL REITH

Cost Consultant

CURRIE & BROWN

Project Title

HILLINGDON HOSPITAL - THE FURZE

Client

THE HILLINGDON HOSPITAL NHS FOUNDATION TRUST

Drawing Title

DEMOLITION GROUND FLOOR LEVEL

Project Number

LD20 192.00

Drawing Number

THHFP1-LDW-ZZ-00-DR-A-000130

Revision

P014

Date

31/05/24

Architect

LLEWELYN DAVIES

Architects | Planners | Designers

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www.llewelyn.com



GENERAL STRIP OUT NOTES
 Site specific Health and Safety, control and prevention measures and Method Statement (RAMS). Contractor to provide Method Statement for the safe removal of redundant medical gas pipes and existing generators if present.

The extent of proposed demolition Strip-Out is shown on Consultant's drawings. These works (all new openings in walls, floors and staircases as well as other works that might jeopardise the structural stability of the adjacent structure at any time during the works) will require the sequence of Strip Out to be carefully considered by the demolition contractor to ensure the stability of the remaining portions is maintained at all times. Contractor must follow all BREEAM requirements list provided by MEP consultant.

This drawing is to be read in conjunction with MEP and SE's consultants demolition drawings, specifications and Architects proposed drawings, details and specification.

Once a full Asbestos survey and report has been carried out and submitted to all the relevant parties the selected licensed contractor is to carry out the required asbestos removal and issue clear site clearance certificate. The asbestos removal contractor will be responsible for making sure the areas requiring clearance assessment have been thoroughly cleaned and allowed to dry following the guidance in HSE publication Managing and working with asbestos in regard to:

- checking site condition
- job completeness and carrying out a thorough visual inspection.

Demolition Contractor to provide a method statement for isolation of incoming mains where necessary. Civil Engineer's + MSE Consultants to be consulted in respect of any proposed temporary structures. Removal of all carpets, loose furnishings, doors, paneling etc. (anything that is not structural or integral to the building) to be checked.

External walls:
 Retention: Demolition contractor to provide a method statement for works required on the retained walls.
 Removal: Demolition contractor to provide a method statement for all openings to be carefully made in the external walls.

Internal walls:
 Retention: All internal walls to be retained unless stated otherwise on demolition drawings.
 Removal: Demolition Contractor to provide a method statement for all openings to be made, where any load bearing walls are to be removed. Suitable temporary and permanent works must be carried out as instructed by Structural Engineer.

Windows:
 Removal: Demolition contractor to provide a method statement for the removal of all windows where replacement windows are proposed. (Refer to window schedule for list, details and condition survey provided by Hollis survey 14.08.2023 Ref. 120937-100.MET/CBk).
 Retained: Demolition contractor to provide RAMS and adequate protection to retained windows in the listed building. (Refer to schedule for list and details).

Window sills:
 Retention: All window sills to follow condition survey provided by Hollis survey 14.08.2023 Ref. 120937-100.MET/CBk. Contractor to submit proposal for review and seek further instruction before proceeding. Demolition contractor to provide adequate protection to retained walls.

Doors External and Internal:
 Demolition contractor to provide a method statement for works required to doors to be retained.
 Removal: Demolition contractor to provide a method statement for the proposed careful removal of external & internal doors. (Refer to door schedule for list and details).

Stairs:
 Retention: Demolition contractor to protect retained staircases during the demolition works.

Chimney Stack:
 Retention: Existing chimney stack conditions to be surveyed fully and a method statement for making good to be submitted.
 Contractor to provide any temporary works needed to maintain the stability of the building fabric during the works, submit proposal for review and seek further instructions to proceed.

Floor and Ceiling:
 Floor finishes to be carefully removed by contractor. SE to assess the structural integrity and report on the findings.
 Floor finishes to be removed and replaced with new finishes based on floor finishes plan series 41000.

Suspended Ceiling:
 All suspended ceilings within the Ground floor Original building are to be carefully removed following review on site.
 - Secondary ceiling to be retained and demolished only where required.
 If ceiling removal is required due to strip out, then ceiling to be replaced like for like.

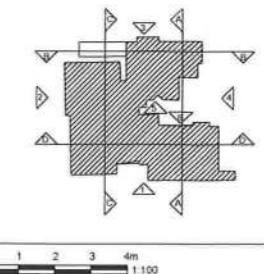
Sanitaryware:
 Sanitaryware to be repaired if damaged, removed and replaced like for like when repair is not applicable. See Sanitaryware Schedule SH-80005.

13?

Notes

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- © Llewelyn Davies Weeks

Key Plan



FOR ALL MEP INFORMATION REFER TO CPW DRAWINGS
 ALL ORIGINAL FEATURES WITHIN THE ORIGINAL BUILDING ARE TO BE PROTECTED, SUBMIT PROPOSAL FOR REVIEW

Project Work Stage

DESCRIPTION	DATE	BY	IN
P014 Issue for Tender	31/05/24	HC	UD
P011 For Information	10/05/24	HC	UD
P012 Stage 4 Issue	11/04/24	HC	UD
P013 Stage 4 Review	12/04/24	HC	UD
P014 For Planning	26/04/24	HC	UD
P015 Stage 4 Issue	31/04/24	HC	UD
P016 For Planning Amendments	21/05/24	HC	UD
P017 For Planning	06/05/24	ZAK	UD
P018 For Planning	29/05/24	ZAK	UD
P019 For Planning Amendments	06/06/24	ZAK	UD
P020 For Review and Approval	05/07/24	SA	UD
P021 For Review and Approval	07/07/24	PM	UD
P022 For Tender	11/07/24	PM	UD
P023 For Tender	15/07/24	PM	UD

Structural Consultant

Services Consultant

CAMPBELL REITH

CPW

Cost Consultant

CURRIE & BROWN

Project Title

HILLINGDON HOSPITAL - THE FURZE

Client

THE HILLINGDON HOSPITAL NHS FOUNDATION TRUST

Drawing Title

DEMOLITION FIRST & SECOND FLOOR

LEVEL

Project Number

LD20 192.00

Project Status

Drawing Number

THHFP1-LDW-ZZ-ZZ-DR-A-000131

P014

Date

1 : 100

31/05/24

Architect

LLEWELYN

DAVIES

Architects | Planners | Designers

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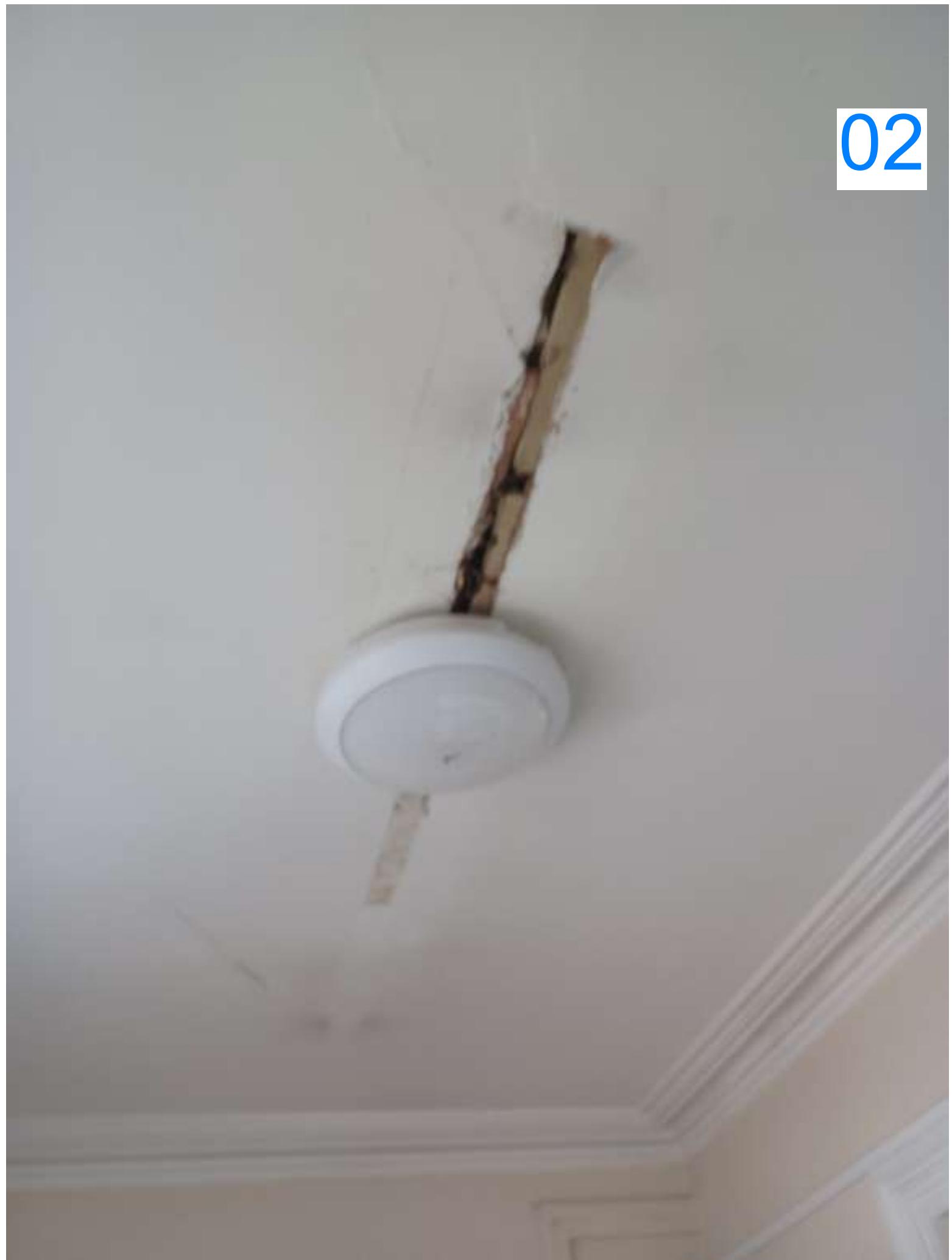
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Active additional works



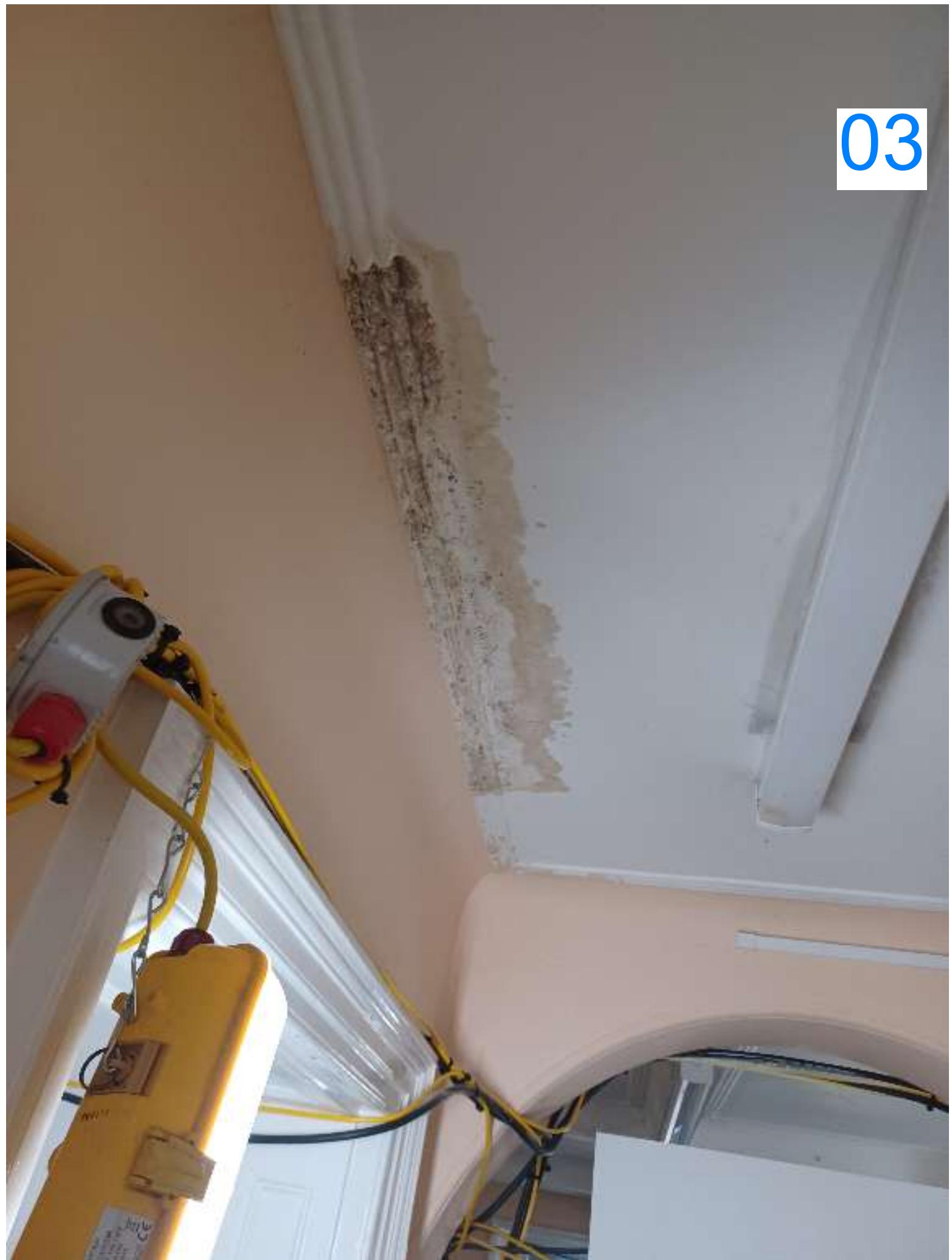
Speech office ground floor .remove ceiling

02



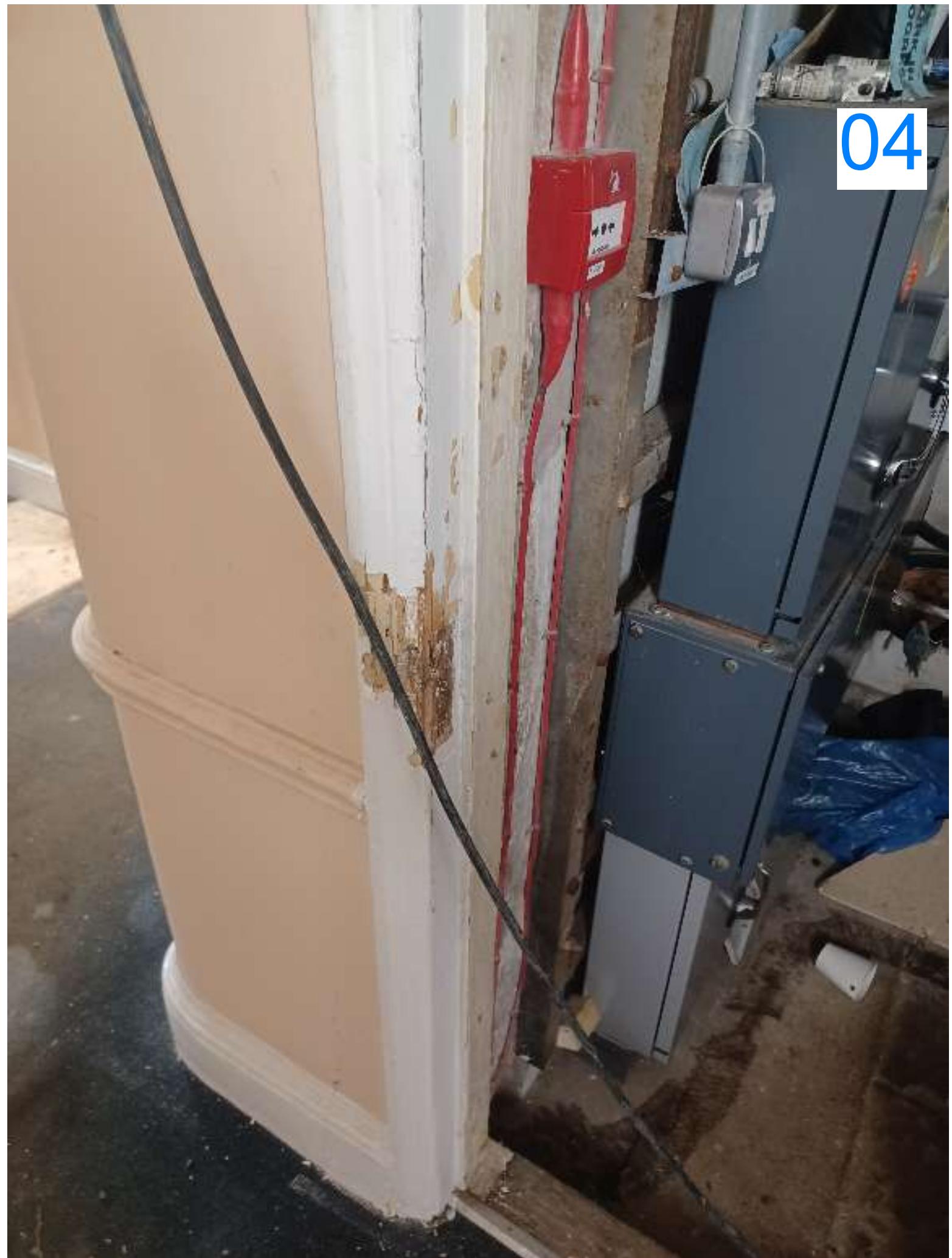
Lobby entrance ground floor ceiling

03



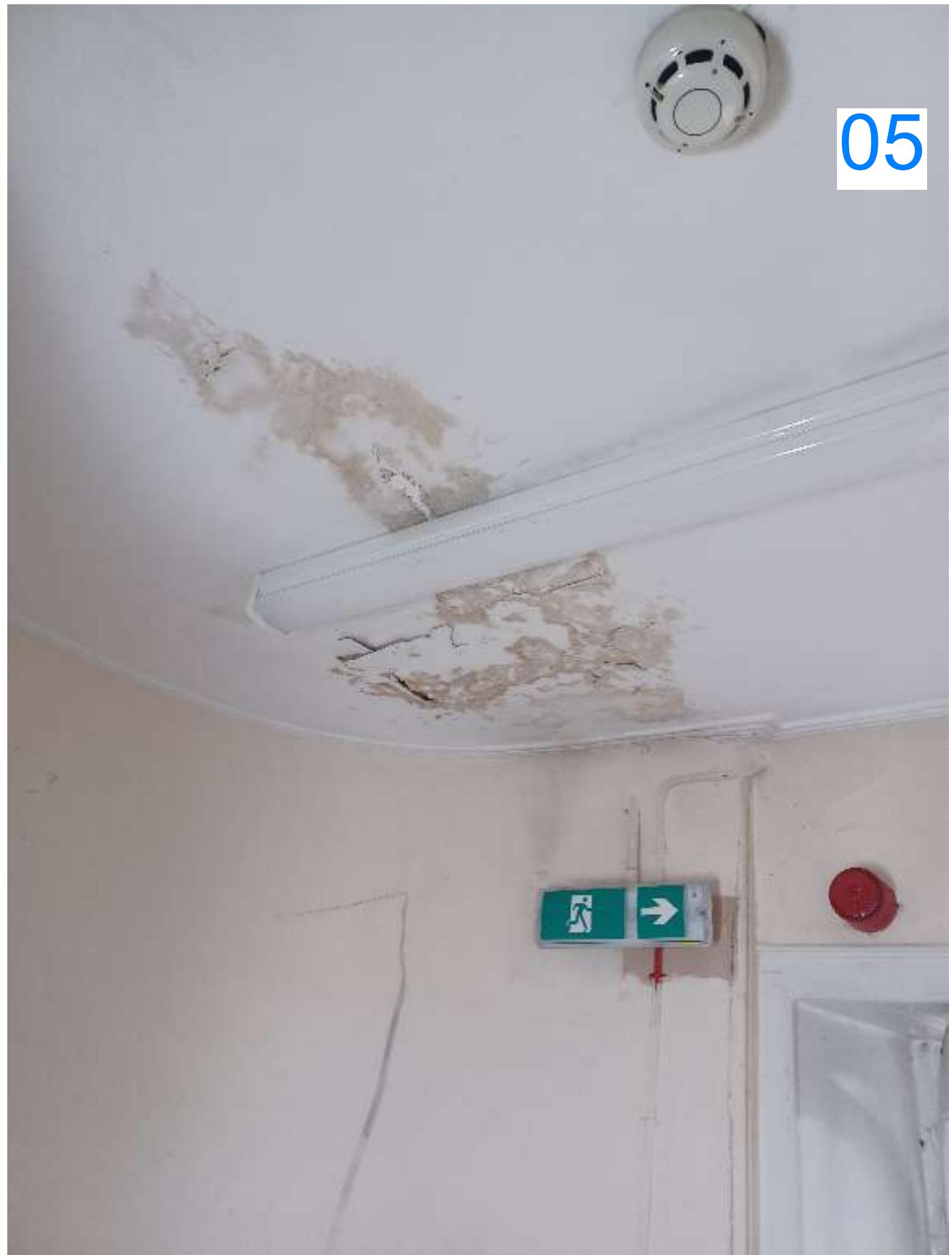
Corridor CA002 ceiling

04



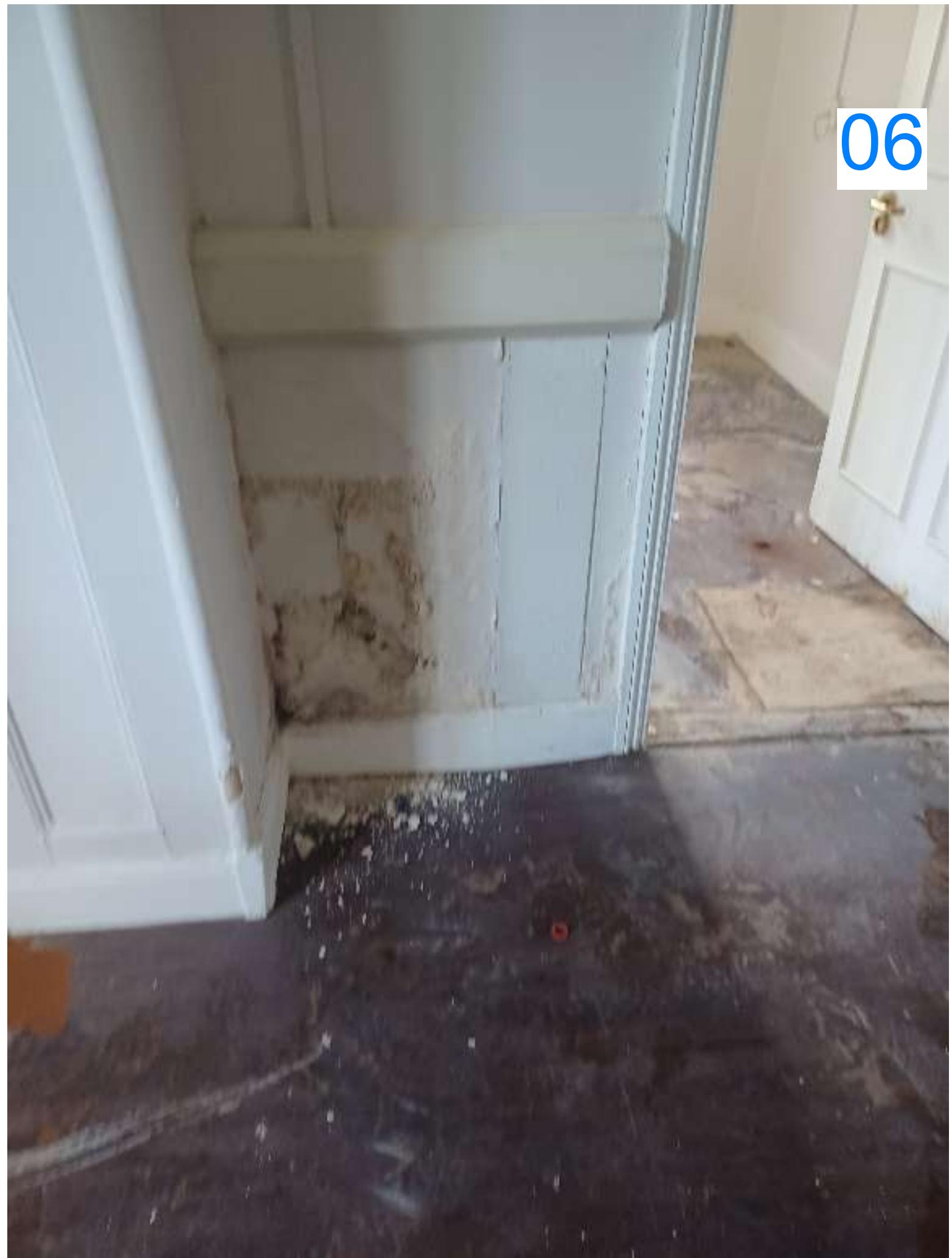
Door to ground floor basement

05



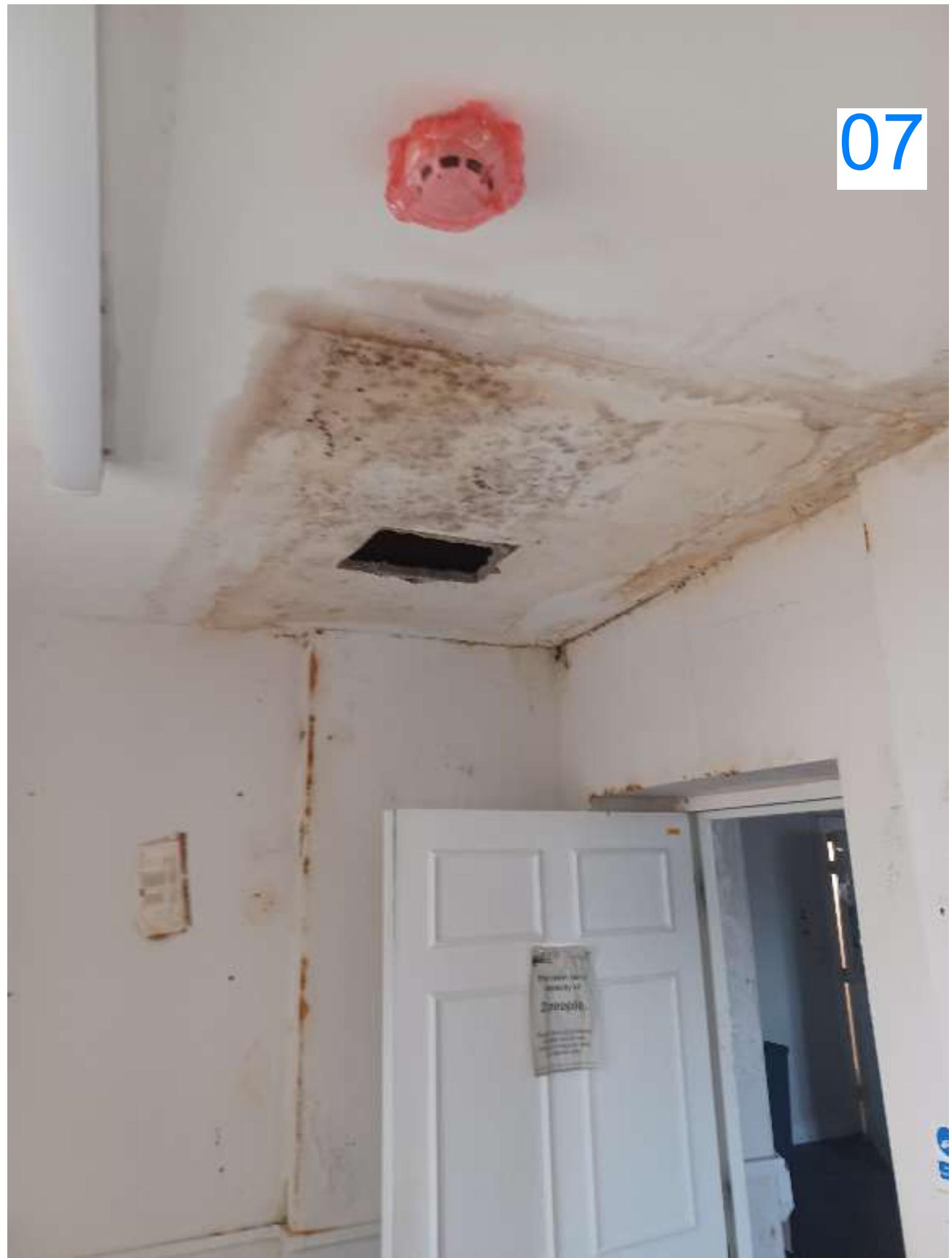
Stair lobby 1 ceiling

06



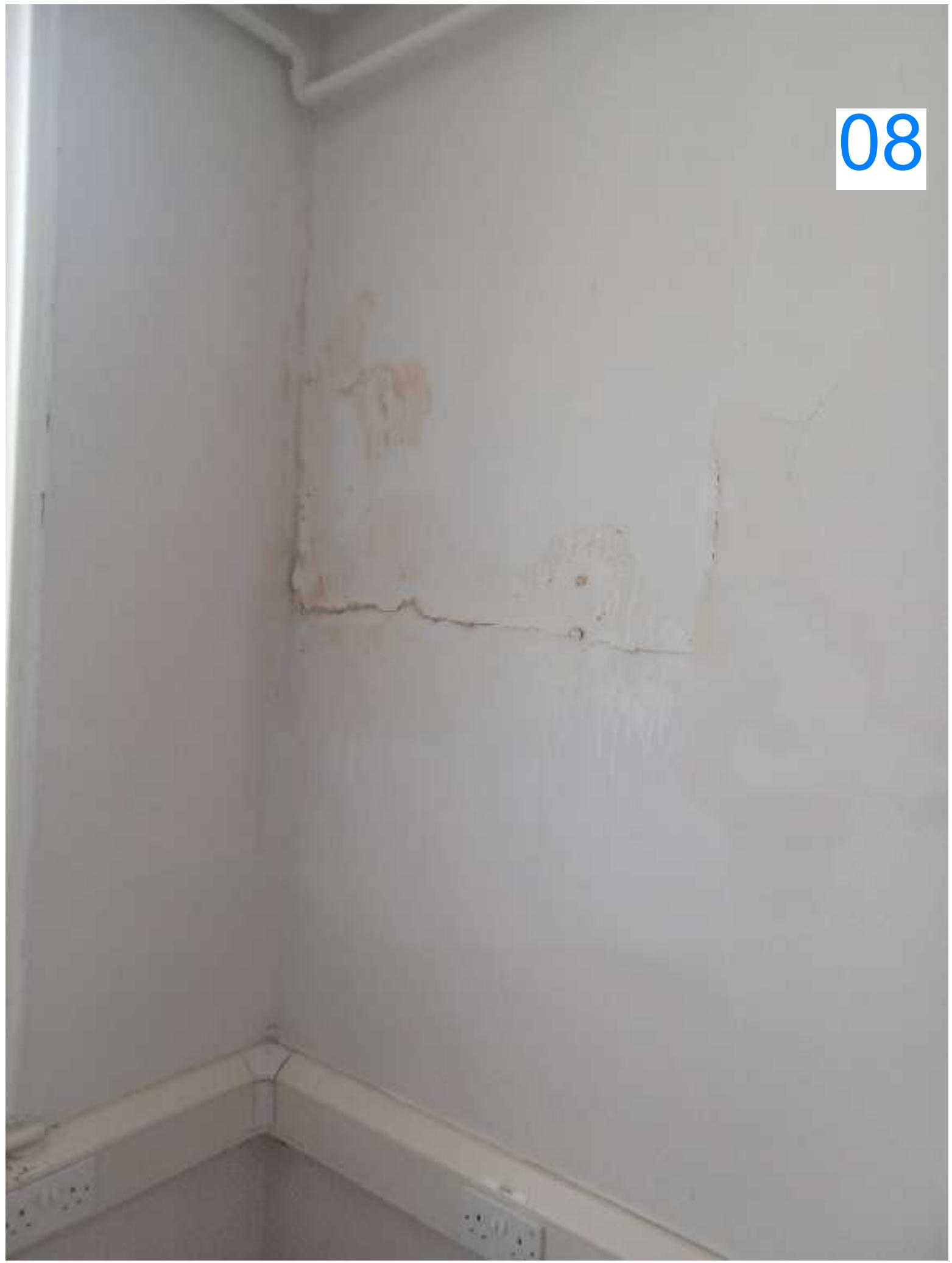
Meeting room 02 wall

07



Eldery day care

08



Clinical room 03

09



Kitchen ceiling and pVC coating wall

10



Treatment room



NEW CEILING

11

12

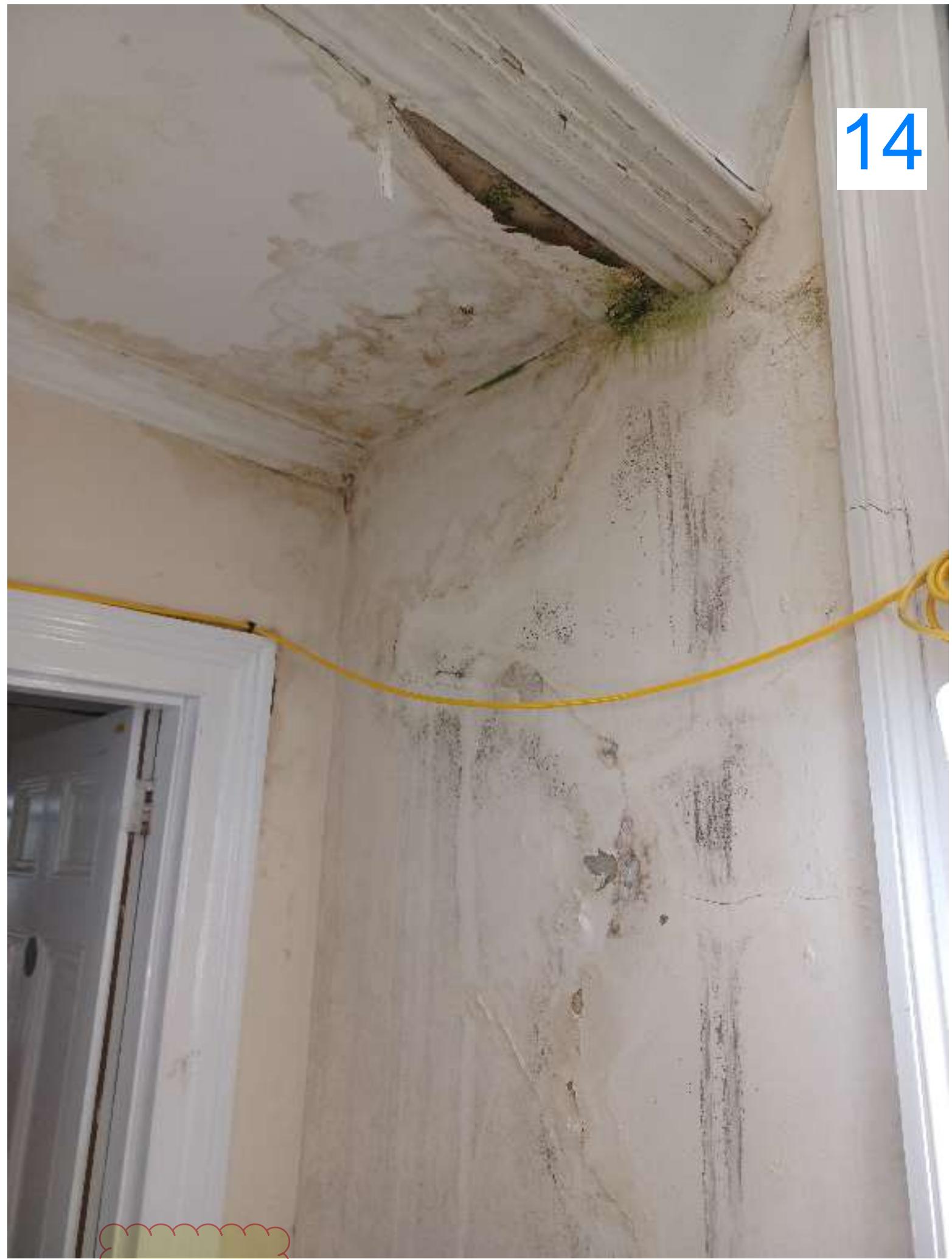


Curtains on windows



13

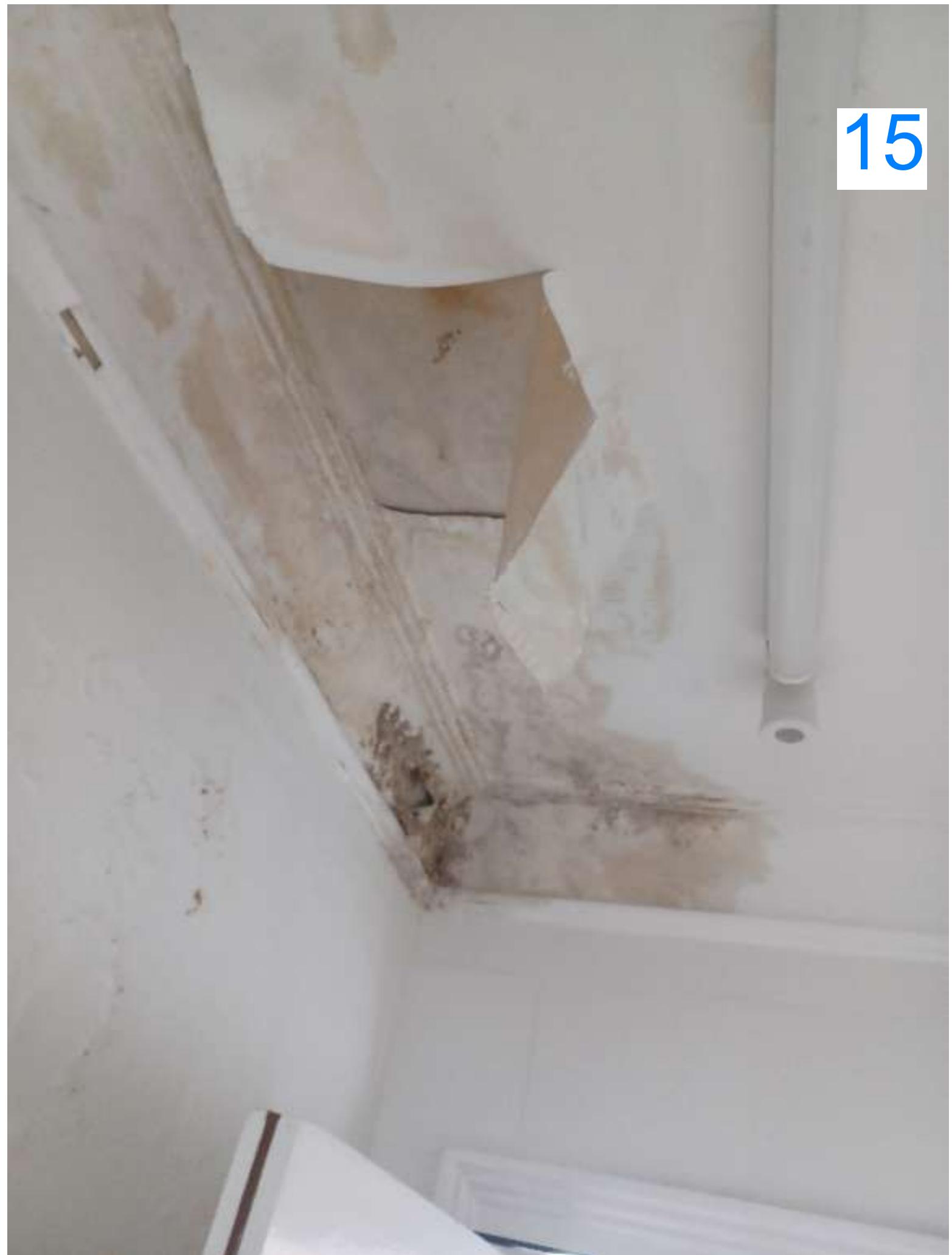
1st floor rooms have a layer of 3mm ply covering the floor that is damaged and need replacing



Corridor 2nd floor ceiling and wall damp

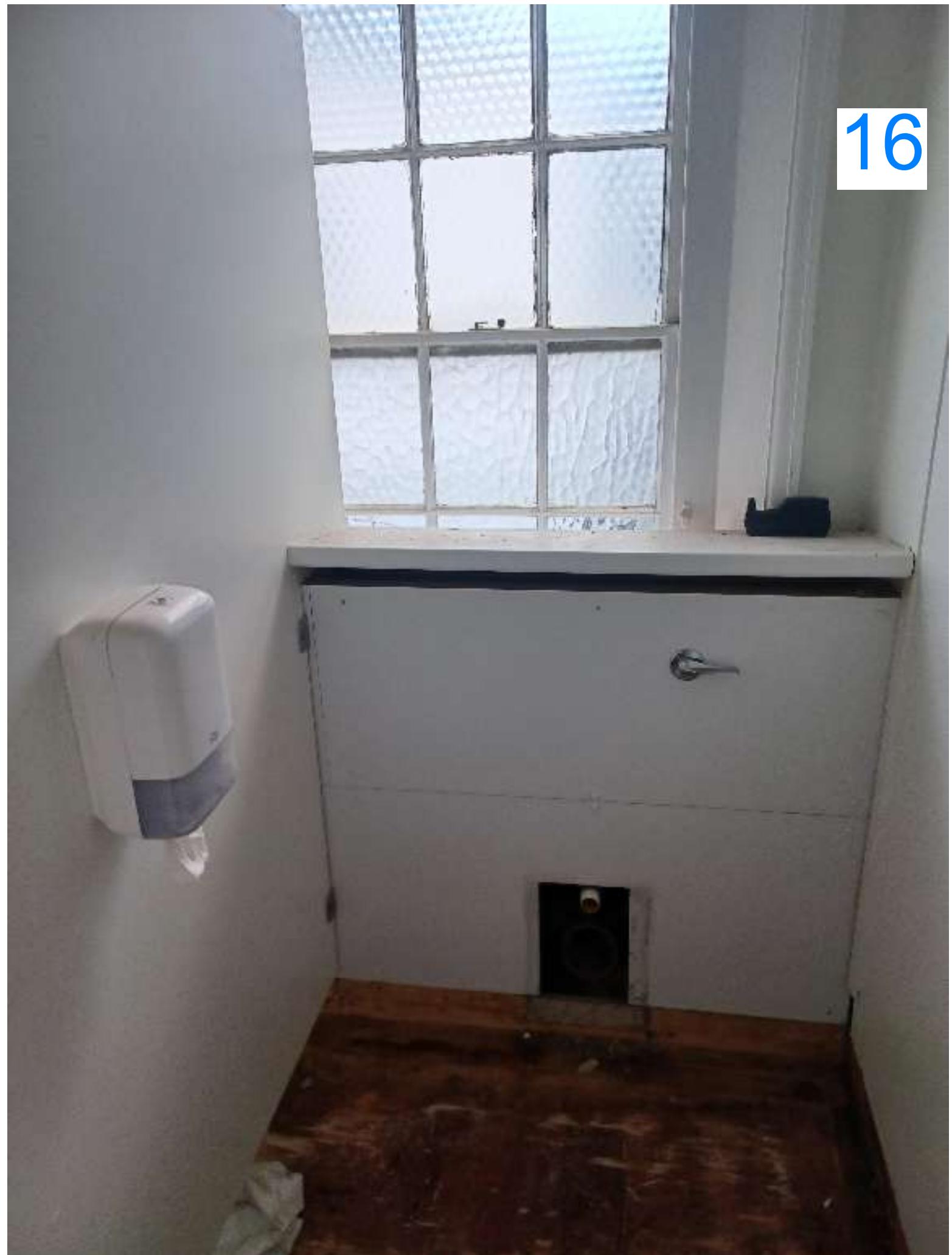
1ST FLOOR

15

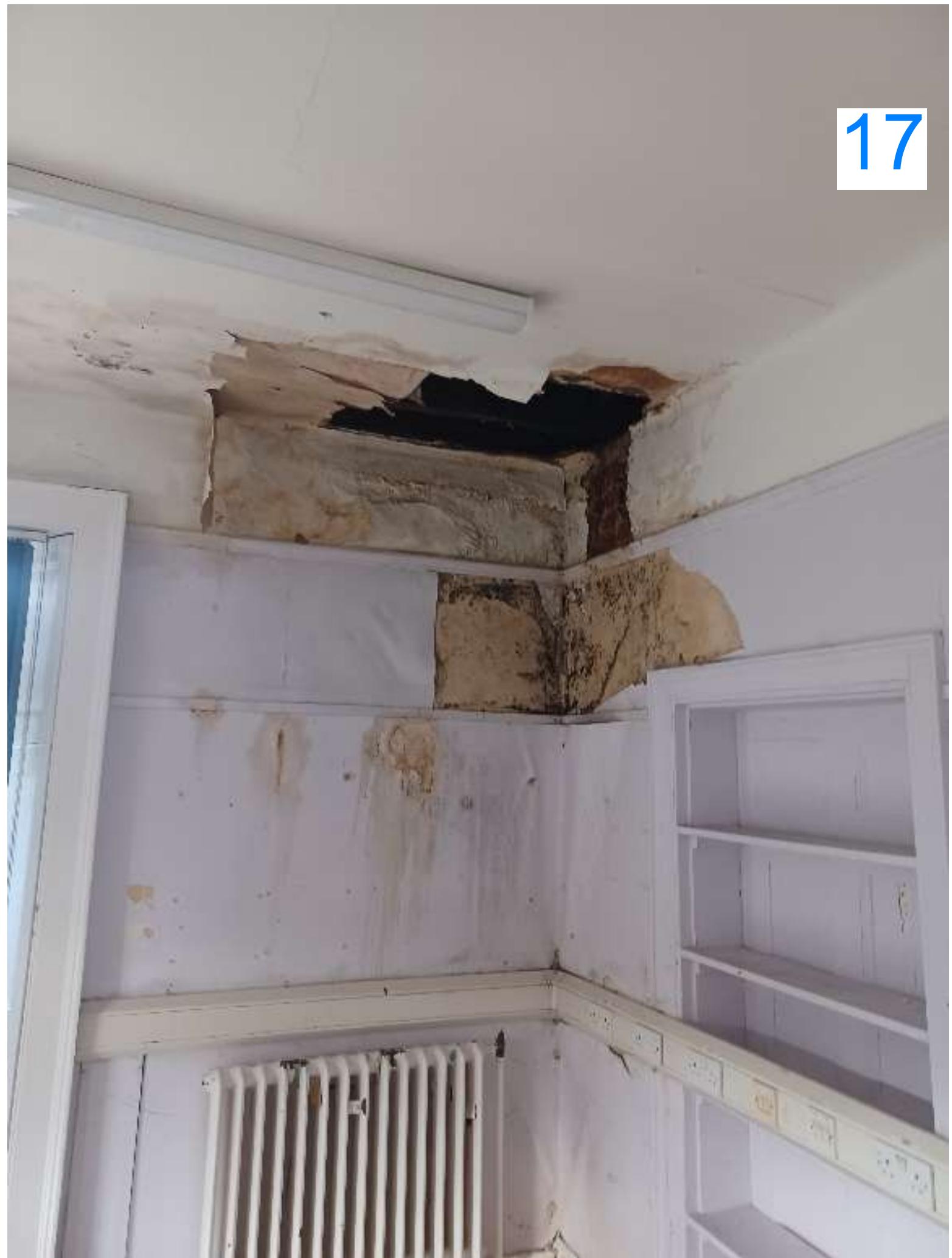


Male toilet damp

16



Female toilet .in order to remove window wc boxing and dividers need to be removed



Oncology office level 1

18



Store level 1 damp