

Site Queries Solutions  
Hillingdon Hospital, The Furze.  
Project No: LD20 192.00  
FOR CONSTRUCTION  
Date:06/11/2024

Llewelyn Davies  
The Rookery, 3rd floor  
2 Dyott Street London, WC1A 1DE  
T 020 7907 7900  
E london@ldavies.com  
www.ldavies.com



UPDATE : THE DAMAGE IN THIS AREA IS MAJOR THEREFORE REPAIR BY REPLACING THE DAMAGED CEILING AREA.

Photo No.	Description	Location	Cause	Preliminary Check	Action		Note
1	Extensive mould and damp stains on the ceiling.	Ground Floor. Speech Office. Ceiling + Wall	Water leaking from the flat roof above.	Check whether the ceiling and wall are dry or still damp	Damp	1 - Check for possible causes from the flat roof above. 2 - Wait for the ceiling to dry and then proceed as described in the following line.	
					Dry	1 - Check for possible causes from the flat roof above. 2 - Use a specially designed mold wash concentrate like a Fungicidal Cleaner. 3 - Prepare the surface by removing any flaking paont or plastboard with a hard bristle-brush or scraper. 4 - Wash down the prepared area with the diluited Mould Wash Concentrate and a sponge. 5 - One the area is clean and dry the zone is ready to redecorate. Add and Anti Mould Paint Additive to the paint.	Good ventilation in the room avoid the appearance of mold in the future.
2	large crack in the plasterboard	Ground Floor. Lobby Entrance. Ceiling	Light relocated	Nothing		Ceiling must be repaired by track closure.	
3	Large mould and damp stains on the ceiling.	Ground Floor. Corridor over door ID-00-CA-12. Cornice + Ceiling + Wall	Water leaking from the floor above.	Check whether the ceiling and wall are dry or still damp	Damp	1 - Check for possible causes from the floor above. 2 - Wait for the ceiling to dry and then proceed as described in the following line.	
					Dry	1 - Check for possible causes from the floor above. 2 - Use a specially designed mold wash concentrate like a Fungicidal Cleaner. 3 - Prepare the surface by removing any flaking paont or plastboard with a hard bristle-brush or scraper. 4 - Wash down the prepared area with the diluited Mould Wash Concentrate and a sponge. 5 - Once the area is clean and dry the zone is ready to redecorate. Add and Anti Mould Paint Additive to the paint.	Good ventilation in the room avoid the appearance of mold in the future.
4	Door jamb damaged	Ground Floor. Door ID-00-CA-13 to basement. Timber frame.	Unknow	check the condition of the entire timber frame		jamb and any damaged part must be replaced	
5	Extensive mould and damp stains on the ceiling.	Ground Floor. Stair Lobby 1. Ceiling + Wall	Water leaking from the toilets above.	Check whether the ceiling and wall are dry or still damp.	Damp	1 - Check for possible causes from the toilets above due to water leaks from pipes or drains. 2 - First of all Pipes or Drains must be repaired or removed 3 - Wait for the ceiling to dry and then proceed as described in the following line.	
					Dry	1 - Check for possible causes from the toilets above due to water leaks from pipes or drains. 2 - First of all Pipes or Drains must be repaired or removed 3 - Use a specially designed mold wash concentrate like a Fungicidal Cleaner. 4 - Prepare the surface by removing any flaking paont or plastboard with a hard bristle-brush or scraper. 5 - Wash down the prepared area with the diluited Mould Wash Concentrate and a sponge. 6 - Once the area is clean and dry the zone is ready to redecorate. Add and Anti Mould Paint Additive to the paint.	Good ventilation in the room avoid the appearance of mold in the future.
6	Large mould and damp stains on the wall.	Ground Floor. Meeting Room 02. Wall	Unknow	Check whether the wall is dry or still damp.	Damp	1 - Wait for the ceiling to dry and then proceed as described in the following line.	
					Dry	1 - Use a specially designed mold wash concentrate like a Fungicidal Cleaner. 2 - Prepare the surface by removing any flaking paont or plastboard with a hard bristle-brush or scraper. 3 - Wash down the prepared area with the diluited Mould Wash Concentrate and a sponge. 4 - Once the area is clean and dry the zone is ready to redecorate. Add and Anti Mould Paint Additive to the paint.	Good ventilation in the room avoid the appearance of mold in the future.
7	Extensive mould and damp stains on the ceiling and wall.	Ground Floor. Eldery day care. Ceiling + Wall	Water leaking from the flat roof above.	Nothing		1 - Check for possible causes from the flat roof above. 2 - Existing ceiling must be demolished. 3 - New ceiling, matching to the existing one.	Good ventilation in the room avoid the appearance of mold in the future.
8	Extensive mould and damp stains on the wall.	Ground Floor. Clinical room 03. Wall	Water leaking from the flat roof above.	Check whether the wall is dry or still damp	Damp	1 - Check for possible causes from the flat roof above. 2 - Wait for the ceiling to dry and then proceed as described in the following line.	
					Dry	1 - Check for possible causes from the flat roof above. 2 - Use a specially designed mold wash concentrate like a Fungicidal Cleaner. 3 - Prepare the surface by removing any flaking paont or plastboard with a hard bristle-brush or scraper. 4 - Wash down the prepared area with the diluited Mould Wash Concentrate and a sponge. 5 - Once the area is clean and dry the zone is ready to redecorate. Add and Anti Mould Paint Additive to the paint.	Good ventilation in the room avoid the appearance of mold in the future.
9	Some Holes on the ceiling and PVC Cornice damaged.	Ground Floor. Kitchen. Ceiling + Wall	Works of Electrical system	Nothing	Holes	Ceiling repair by holes closure.	
					Damage	PVC cornice must be replaced	
10	Extensive zone of ceiling missed and damaged.	Ground Floor. Treatment room. Ceiling + Wall	Water leaking from the toilets above.	Check whether the ceiling and wall are dry or still damp.	Damp	1 - Check for possible causes from the toilets above due to water leaks from pipes or drains. 2 - First of all Pipes or Drains must be repaired or removed 3 - Wait for the ceiling to dry and then proceed as described in the following line.	
					Dry	1 - Check for possible causes from the toilets above due to water leaks from pipes or drains. 2 - First of all Pipes or Drains must be repaired or removed 3 - Use a specially designed mold wash concentrate like a Fungicidal Cleaner. 4 - Add the ceiling where it is missing. 5 - Prepare the surface by removing any flaking paont or plastboard with a hard bristle-brush or scraper. 6 - Wash down the prepared area with the diluited Mould Wash Concentrate and a sponge. 7 - Once the area is clean and dry the zone is ready to redecorate. Add and Anti Mould Paint Additive to the paint.	Good ventilation in the room avoid the appearance of mold in the future.
					Damp	1 - Check for possible causes from the roof above. 2 - First of all the roof must be repaired 3 - Wait for the ceiling to dry and then proceed as described in the following line.	

Reviewed by LD  
12/12/2024 16:34:20

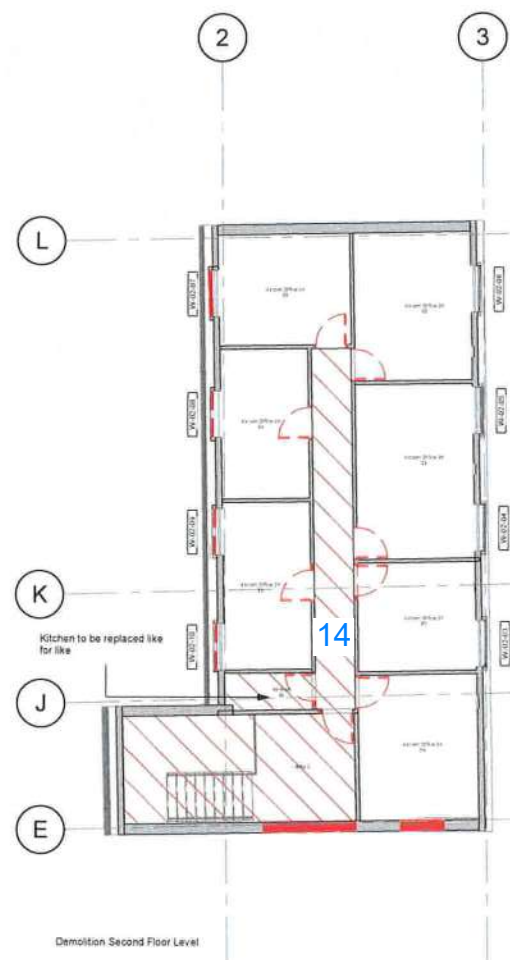
11	Extensive zone of ceiling missed and damaged.	Ground Floor. Store room EDT 0.3. Ceiling + Wall	Water leaking from the roof.	Check whether the wall is dry or still damp	Dry	1 - Check for possible causes from the roof above. 2 - First of all the roof must be repaired 3 - Use a specially designed mold wash concentrate like a Fungicidal Cleaner. 4 - Add the ceiling where it is missing. 5 - Prepare the surface by removing any flaking paont or plastboard with a hard bristle-brush or scraper. 6 - Wash down the prepared area with the diluited Mould Wash Concentrate and a sponge. 7 - Once the area is clean and dry the zone is ready to redecorate. Add and Anti Mould Paint Additive to the paint.	Good ventilation in the room avoid the appearance of mold in the future.
12	Some holes and paint missed on the wall. Flooring damaged	Ground Floor. Consulting room. Walls + Flooring	Damage due to plumbing work	Mechanical system must be checked.		Walls must be repaired by holes closure and repaint.	
13	Ply covering floor is damaged. Skirting missed	1st floor. Rooms. Flooring + Skirting	Damage due to wear and tear and previous work	Nothing		1 - removal of parts that are detached. 2 - installation of Decoupling membrane (anti-cracks) and self-levelling screed for a thickness between 5-10 mm. 3 - laying new flooring 4 - installation new skirting	
14	Large mould and damp stains on the ceiling and walls.	1ST Floor. Unknow. Ceiling + Wall	Water leaking from the roof above.	Check whether the ceiling and wall are dry or still damp	Damp	1 - Check for possible causes from the roof above. 2 - First of all the roof must be repaired 3 - Wait for the ceiling to dry and then proceed as described in the following line.	Good ventilation in the room avoid the appearance of mold in the future.
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15	Extensive mould and damp stains on the ceiling and walls.	1st Floor. Male toilet. Ceiling + Wall	Water leaking from the roof above.	Check whether the ceiling and wall are dry or still damp	Damp	1 - Check for possible causes from the roof above. 2 - First of all the roof must be repaired 3 - Wait for the ceiling to dry and then proceed as described in the following line.	Good ventilation in the room avoid the appearance of mold in the future.
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16	Demolitions	1st Floor. Female toilet. Ceiling + Wall	due the works	Mechanical system must be checked.		1 - Remove window wc boxing. 2 - Remove the dividers. <del>3 - Repair walls and ceiling</del>	
17	Extensive mould and damp stains on the ceiling and walls.	1st Floor. Oncology office. Ceiling + Wall	Water leaking from the roof above.	Check whether the ceiling and wall are dry or still damp	Damp	1 - Check for possible causes from the roof above. 2 - First of all the roof must be repaired 3 - Wait for the ceiling to dry and then proceed as described in the following line.	Good ventilation in the room to avoid the appearance of mold in the future.
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18	Extensive mould and damp stains on the walls.	1st Floor. Store. Wall	Water leaking from the roof above.	Check whether the ceiling and wall are dry or still damp	Damp	1 - Check for possible causes from the roof above. 2 - First of all the roof must be repaired 3 - Wait for the ceiling to dry and then proceed as described in the following line.	Good ventilation in the room to avoid the appearance of mold in the future.
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**GENERAL STRIP OUT NOTES**  
Submit review HSE risk assessment, control and prevention measures and Method Statement (RAMS). Contractor to provide Method Statement for the safe removal of redundant medical gas pipes and existing generators if present.

The extent of proposed demolition/Strip-Out is shown on Consultant's drawings. These works (all new openings in walls, floors and staircases as well as other works that might jeopardise the structural stability of the adjacent structure at any time during the works) will require the sequence of Strip out to be carefully considered by the demolition contractor to ensure that stability of the remaining portions is maintained at all times. Contractor must follow all BREEM requirements as provided by MEP consultant.

This drawing is to be read in conjunction with MEP and SE's consultants demolition drawings, specifications and Architects proposed drawings, details and specification.

Once a full Asbestos survey and report has been carried out and submitted to all the relevant parties the selected licensed contractor is to carry out the required asbestos removal and issue clear site clearance certification for reoccupation when work has been completed having made sure the areas requiring clearance assessment have been thoroughly cleaned and allowed to dry following the guidance in HSE publication Managing and working with asbestos in regard to:  
- checking site condition  
- job completeness and carrying out a thorough visual inspection.

Demolition Contractor to provide a method statement for isolation of incoming mains where necessary. Civil Engineer's + M&E Consultants to be consulted in advance of any isolation or removal of services.

Removal of all carpets, loose furnishings, doors, panelling etc. (anything that is not structural or integral to the building) to be checked.

**External walls:**  
Retention: Demolition contractor to provide a method statement for works required on the retained walls.  
Removal: Demolition contractor to provide a method statement for all openings to be carefully made in the external walls.

**Internal walls:**  
Retention: All internal walls to be retained unless stated otherwise on demolition drawings.  
Removal: Demolition Contractor to provide a method statement for all openings to be made where any load bearing walls are to be removed suitable temporary and/or permanent works must be carried out as instructed by Structural Engineer.

**Windows**  
Removal: Demolition contractor to provide a method statement for the removal of all windows where replacement windows are proposed. (Refer to window schedule for list, details and condition survey provided by Hollis survey 14.08.2023 Ref: 120937-100.MET/CEBk).  
Retention: Demolition contractor to provide RAMS and adequate protection to retained windows in the listed building. (Refer to schedule for list and details).

**Window sills:**  
Retention: All window sills to follow condition survey provided by Hollis survey 14.08.2023 Ref: 120937-100.MET/CEBk). Contractor to submit proposal for review and seek further instruction before proceeding. Demolition contractor to provide adequate protection to retained sills.

**Doors External and Internal**  
Demolition contractor to provide a method statement for works required to doors to be retained.  
Removal: Demolition contractor to provide a method statement for the proposed careful removal of external & internal doors. (Refer to door schedule for list and details).

**Stairs**  
Retention: Demolition contractor to protect retained staircases during the demolition works.

**Chimney Stack**  
Retention: Existing chimney stack conditions to be surveyed fully and a method statement for making good to be submitted.  
Contractor to provide any temporary works needed to maintain the stability of the building fabric during the works, submit proposal for review and seek further instructions to proceed.

**Floor and Ceiling**  
Floor finishes to be carefully removed by contractor SE to assess the structural integrity and report on the findings.  
Floor finishes to be removed and replaced with new finishes based on floor finishes plan series 41000.

**Suspended Ceiling**  
All suspended ceilings within the Ground floor Original building are to be carefully removed following review on site.  
- Secondary ceiling to be retained and demolished only where required.  
- If ceiling removal is required due to strip out, then ceiling to be replaced like for like.

**Sanitaryware**  
Sanitaryware to be repaired if damaged, removed and replaced like for like when repair is not applicable. See Sanitaryware Schedule SH-800005.

**Notes**

- All dimensions to be checked on site
- Do not scale off this drawing
- All dimensions are shown in mm unless otherwise stated
- If in doubt ask
- © Llewelyn Davies Weeks

**Key Plan**

0 1 2 3 4m  
1:100

**Legend:**

- TO BE DEMOLISHED
- EXISTING BUILDING TO BE RETAINED
- SUSPENDED CEILING TO BE DEMOLISHED

FOR ALL MEP INFORMATION REFER TO CPW DRAWINGS  
ALL ORIGINAL FEATURES WITHIN THE ORIGINAL BUILDING ARE TO BE PROTECTED. SUBMIT PROPOSAL FOR REVIEW

**Project Work Stage**

REV	DESCRIPTION	DATE	BY	CHK
001	Issue for Tender	31/05/24	HC	LD
002	For Information	19/05/24	HC	LD
003	Stage 4 Issue	19/05/24	HC	LD
004	Review of Stage 4	19/05/24	HC	LD
005	For Planning	26/02/24	HC	LD
006	Stage 4 Issue	11/01/24	HC	LD
007	For Planning & Approvals	21/06/23	HC	LD
008	For Planning	06/06/23	DAK	LD
009	For Tender	29/04/23	DAK	LD
010	For Planning & Approvals	28/03/23	DAK	LD
011	For Review and Approval	06/02/23	JA	LD
012	For Review and Approval	03/12/21	FM	LD
013	For Tender	11/10/21	FM	LD
014	For Tender	23/01/21	FM	LD

Structural Consultant: **CAMPBELL REITH** Services Consultant: **CPW**

Cost Consultant: **CURRIE & BROWN**

Project Title: **HILLINGDON HOSPITAL - THE FURZE**

Client: **THE HILLINGDON HOSPITAL NHS FOUNDATION TRUST**

Drawing Title: **DEMOLITION FIRST & SECOND FLOOR LEVEL**

Project Number: **LD20 192.00** Project Status: **P014**

Drawing Number: **THHFP1-LDW-ZZ-DR-A-000131** Revision: **1**

Scale @ A1: **1 : 100** Date: **31/05/24**

Architect: **LLEWELYN DAVIES**

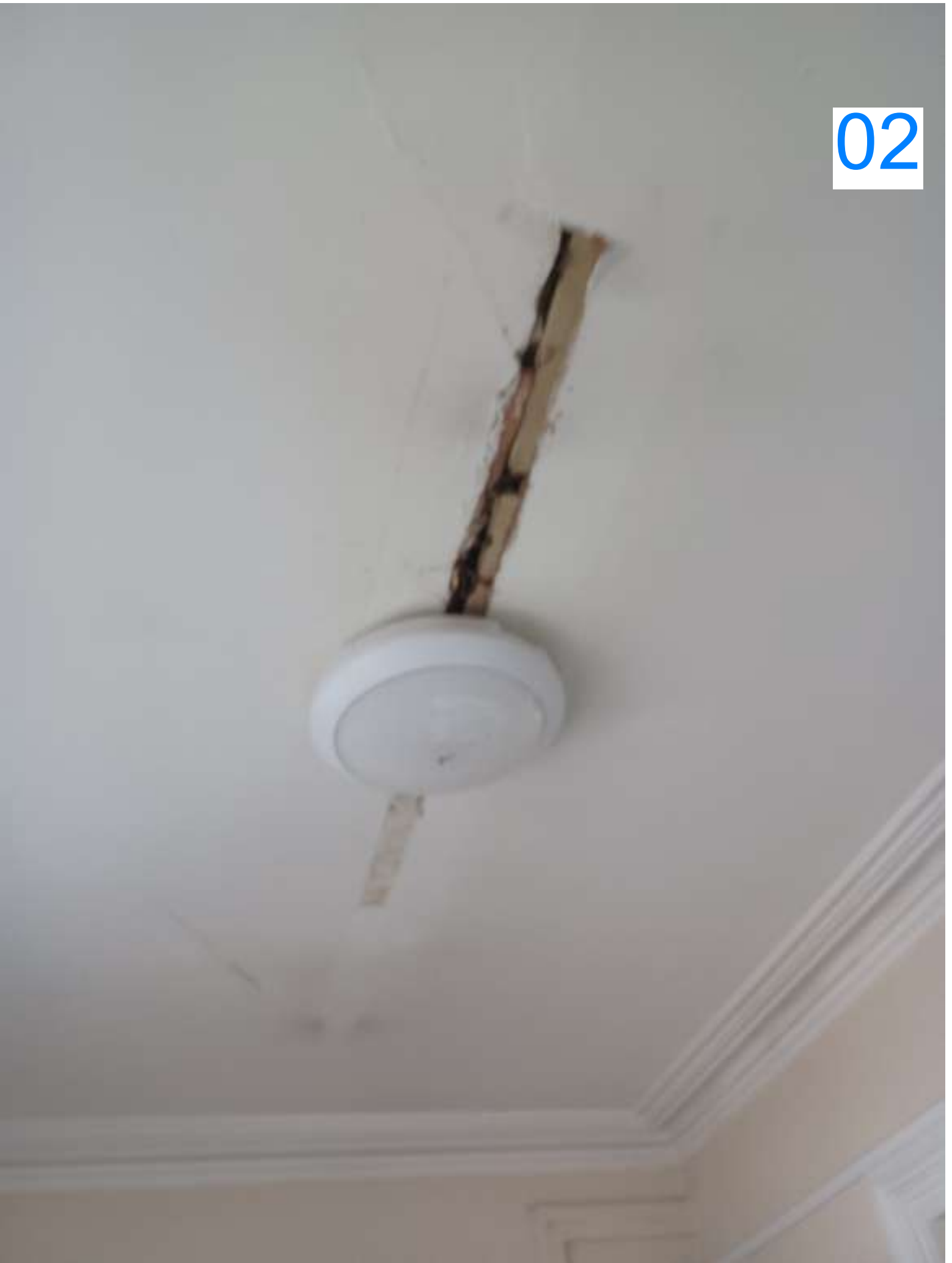
Architects | Planners | Designers  
The Rookery | 3rd Floor | 2 Dyon Street | London | WC1A 1DE  
T +44(0)20 7927 7900 | E london@ldavies.com  
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Active additional works



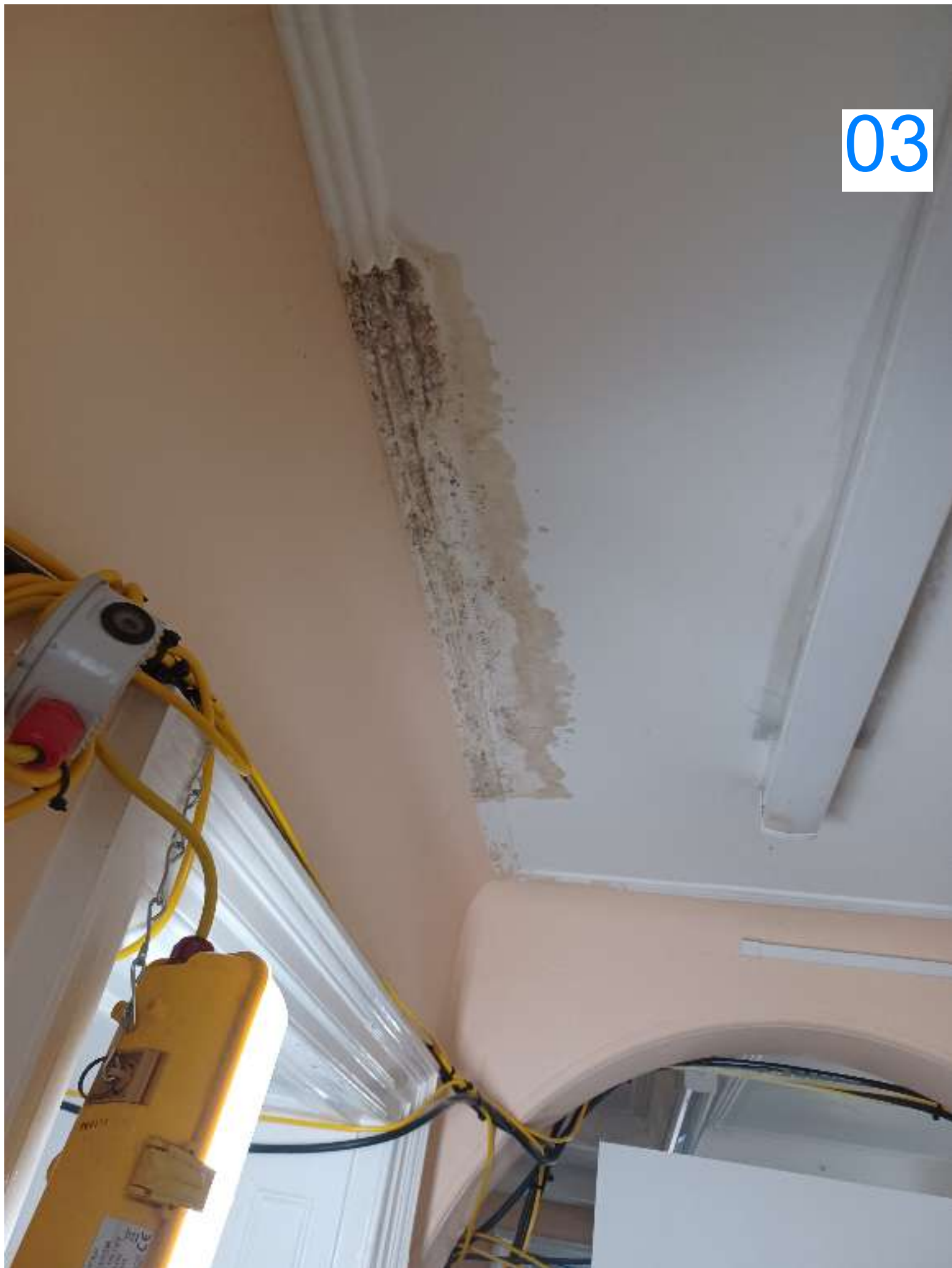
Speech office ground floor .remove ceiling

02



Lobby entrance ground floor ceiling

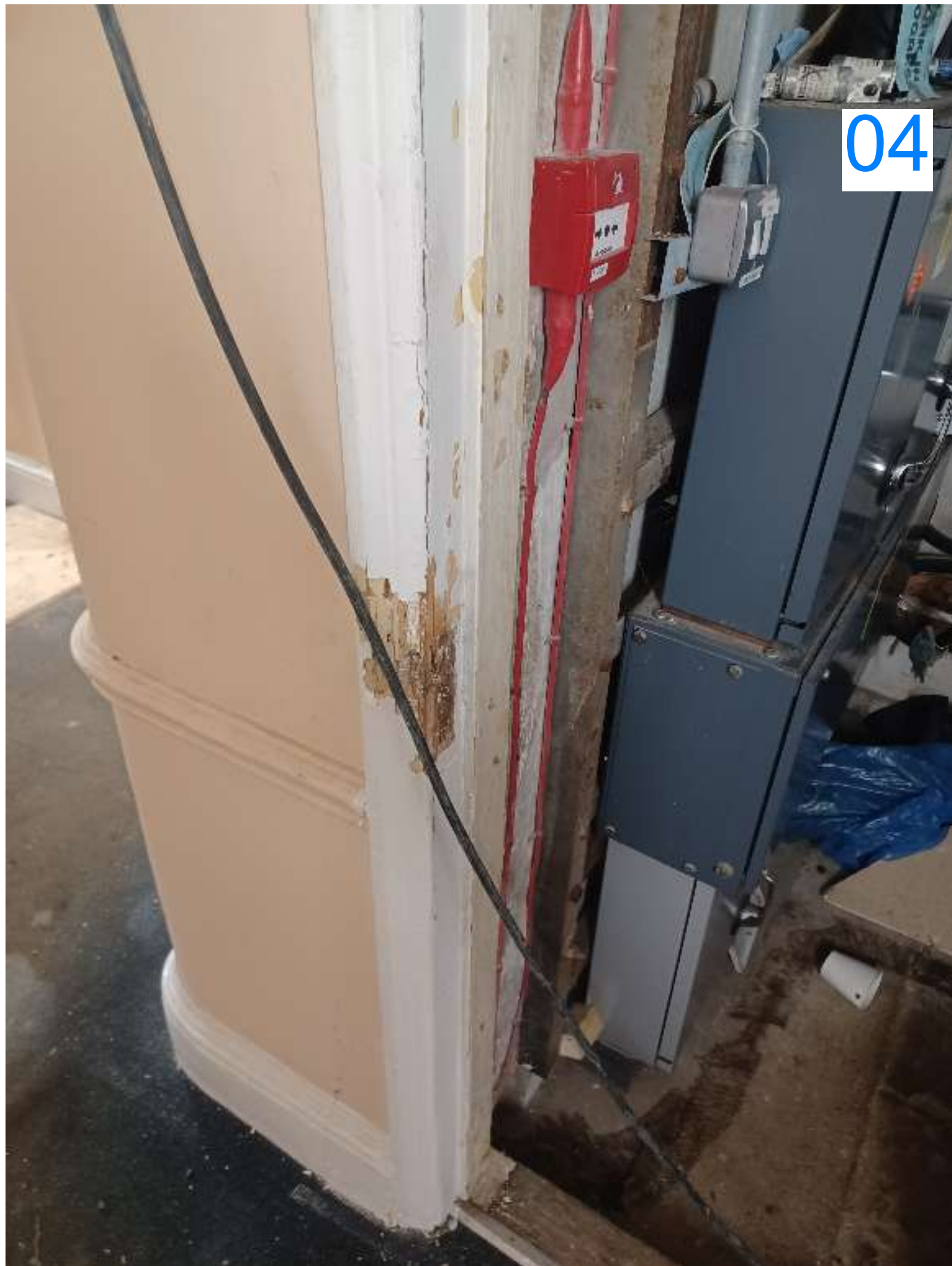
03



Corridor CA002 ceiling



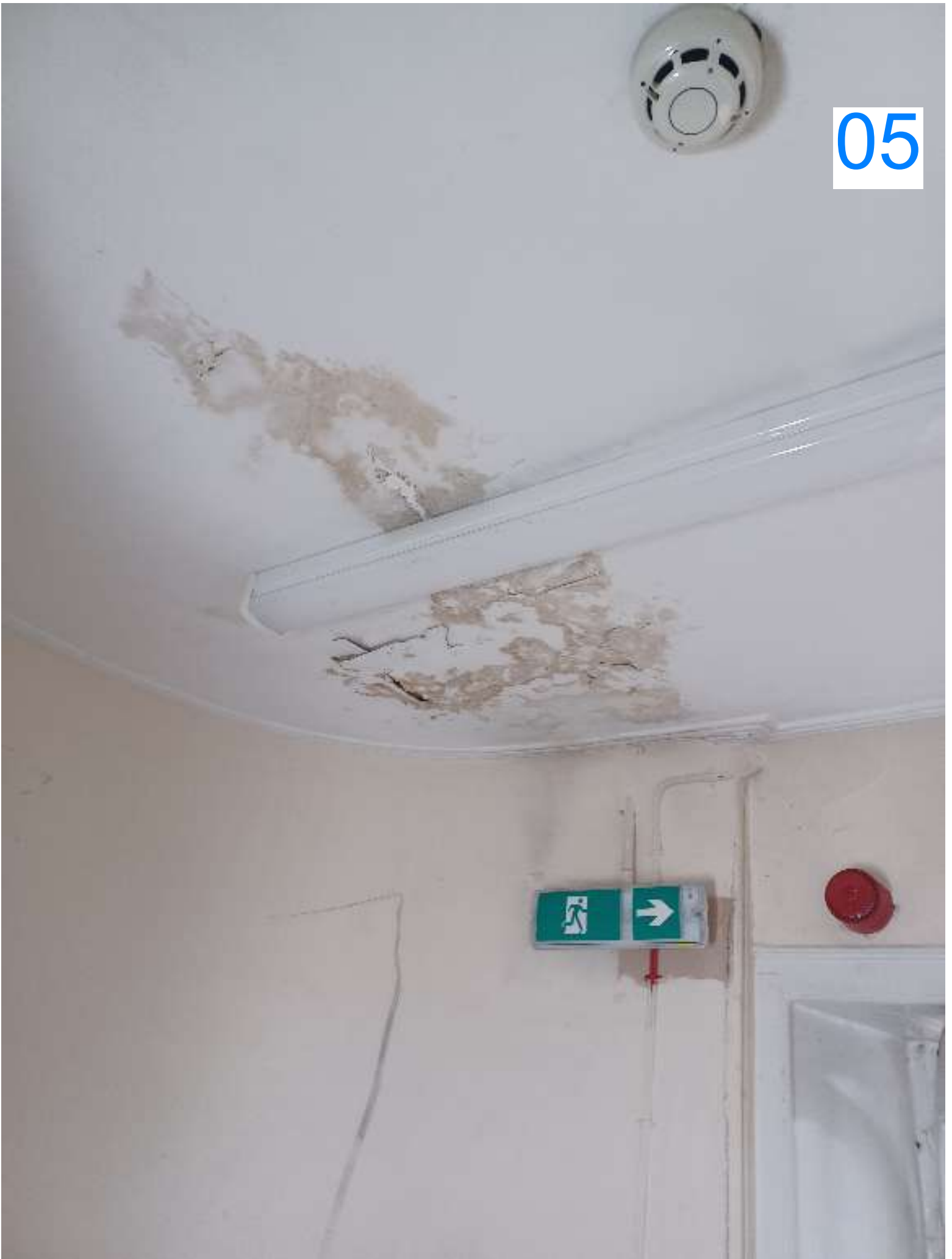
04



Door to ground floor basement

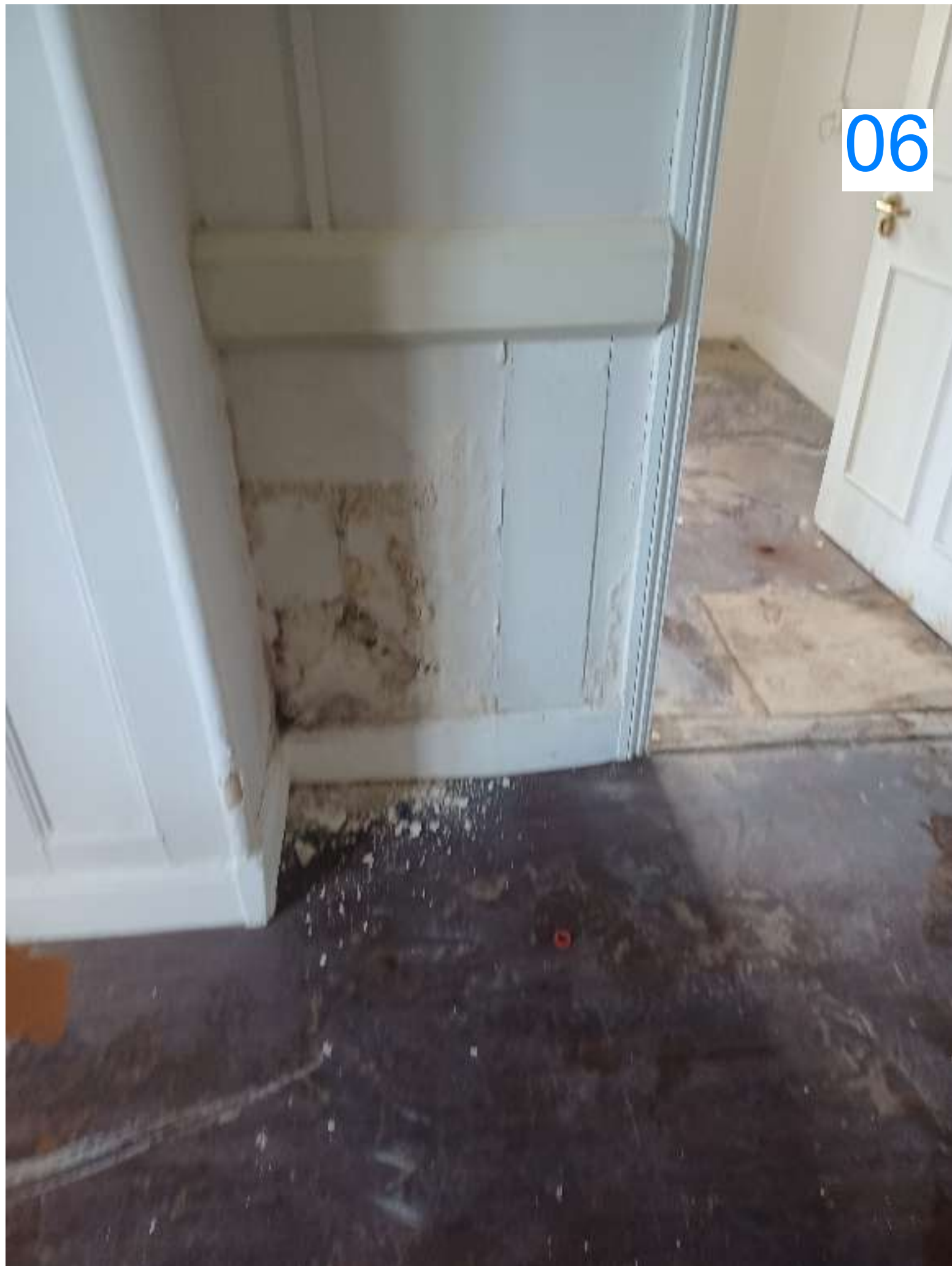


05



Stair lobby 1 ceiling

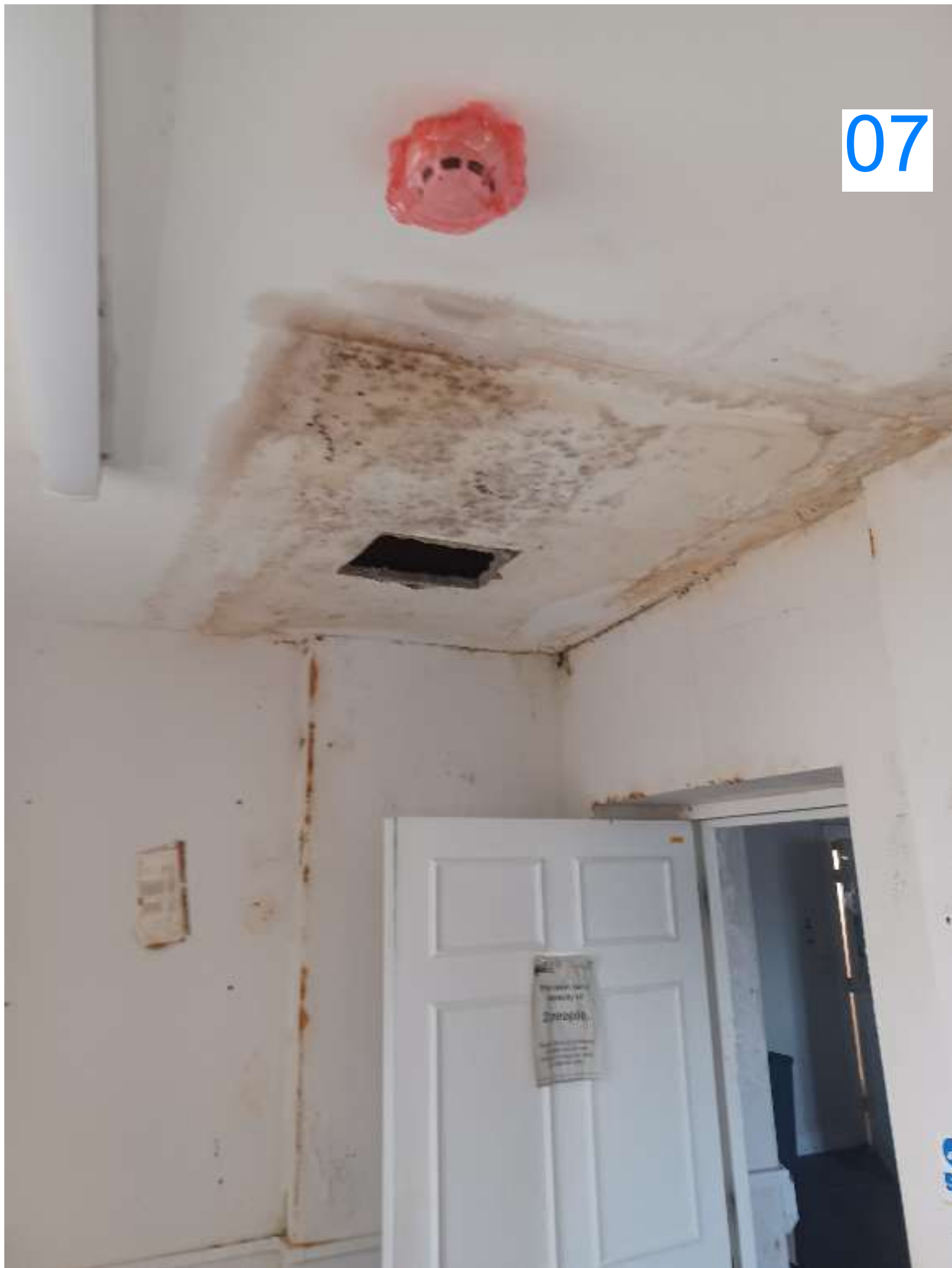
06



Meeting room 02 wall

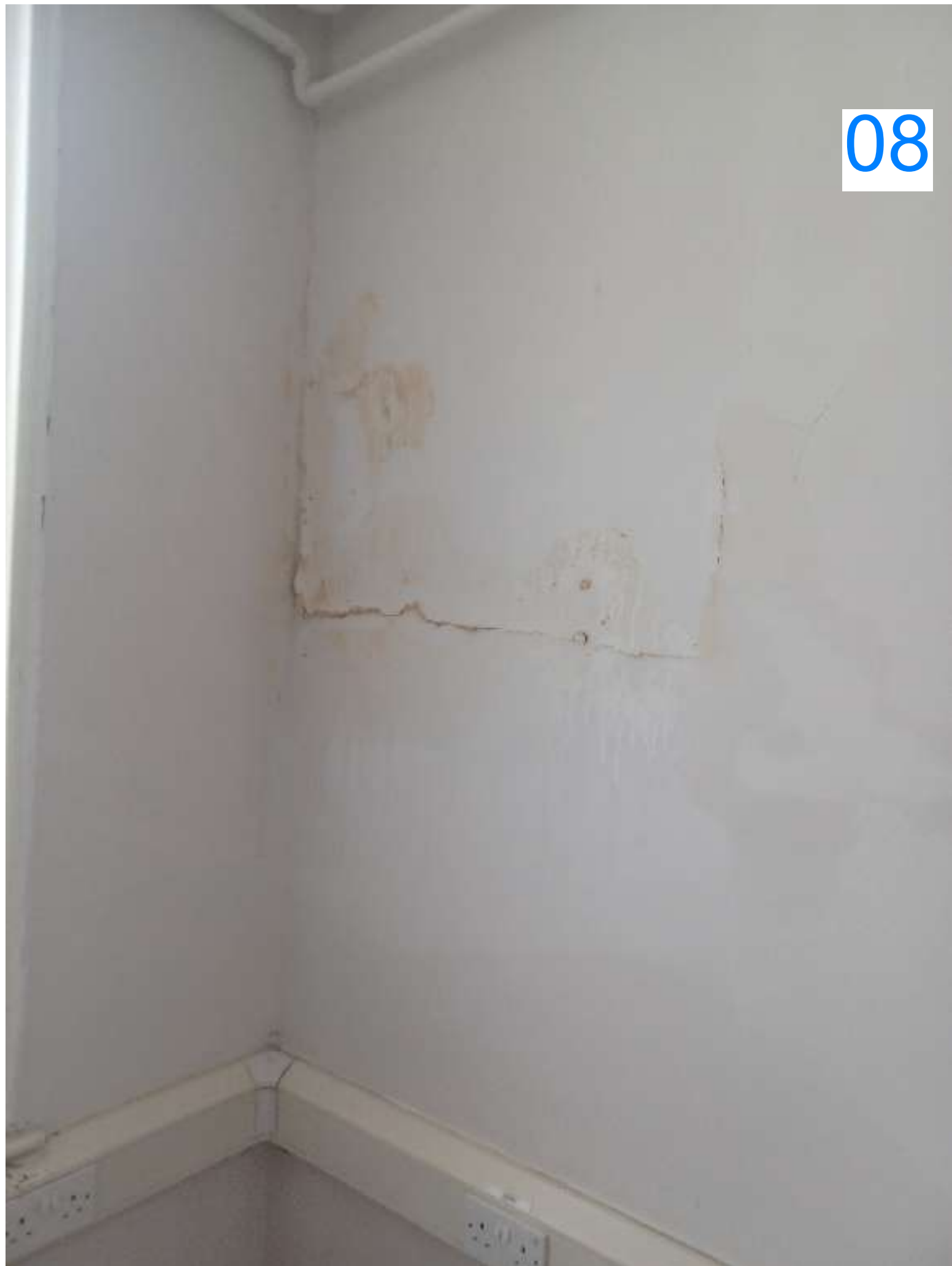


07



Eldery day care

08



Clinical room 03





Kitchen ceiling and pVC coating wall

10



Treatment room



NEW CEILING

11



12



Curtains on windows

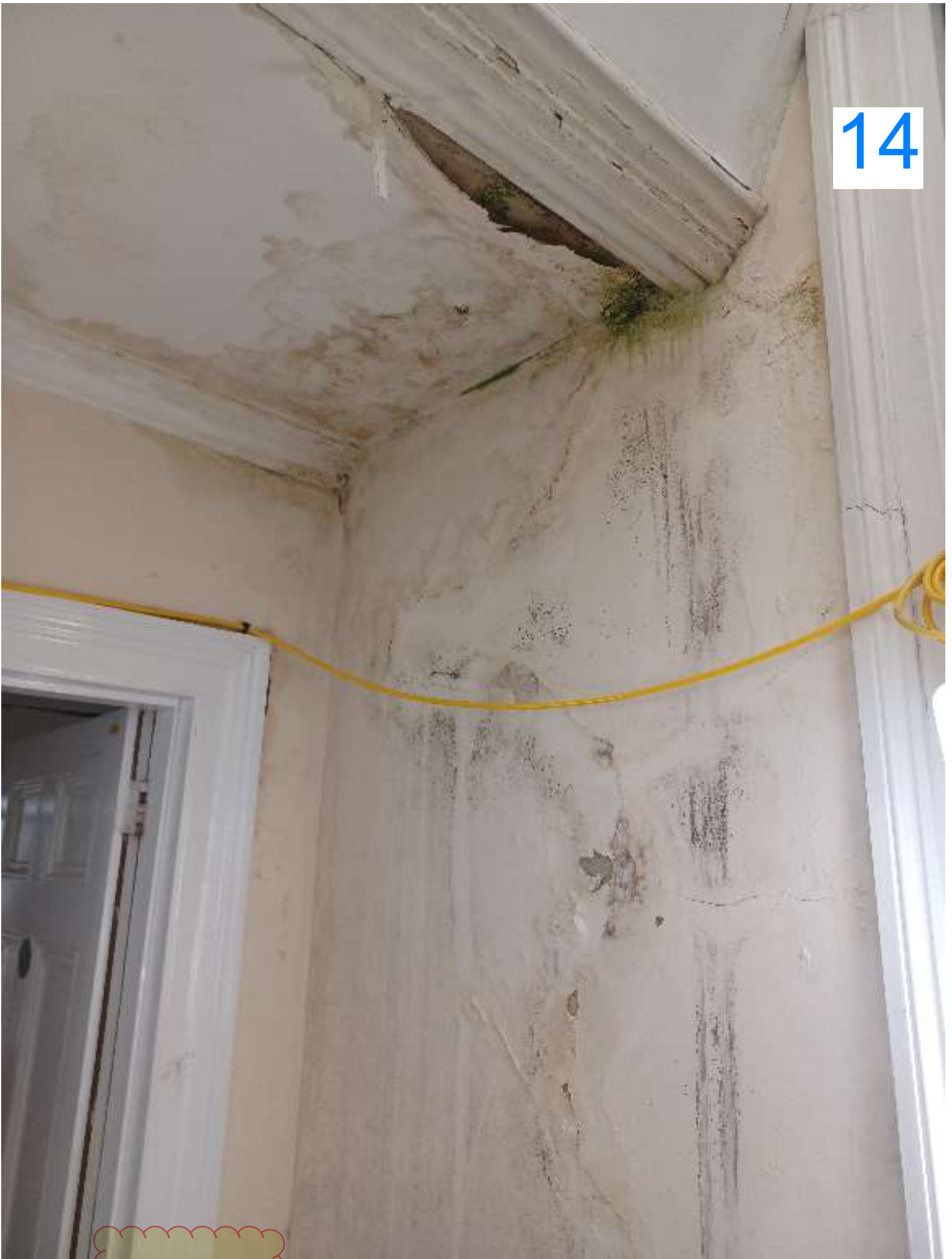
13



1st floor rooms have a layer of 3mm ply covering the floor that is damaged and need replacing



14



Corridor 2nd floor ceiling and wall damp

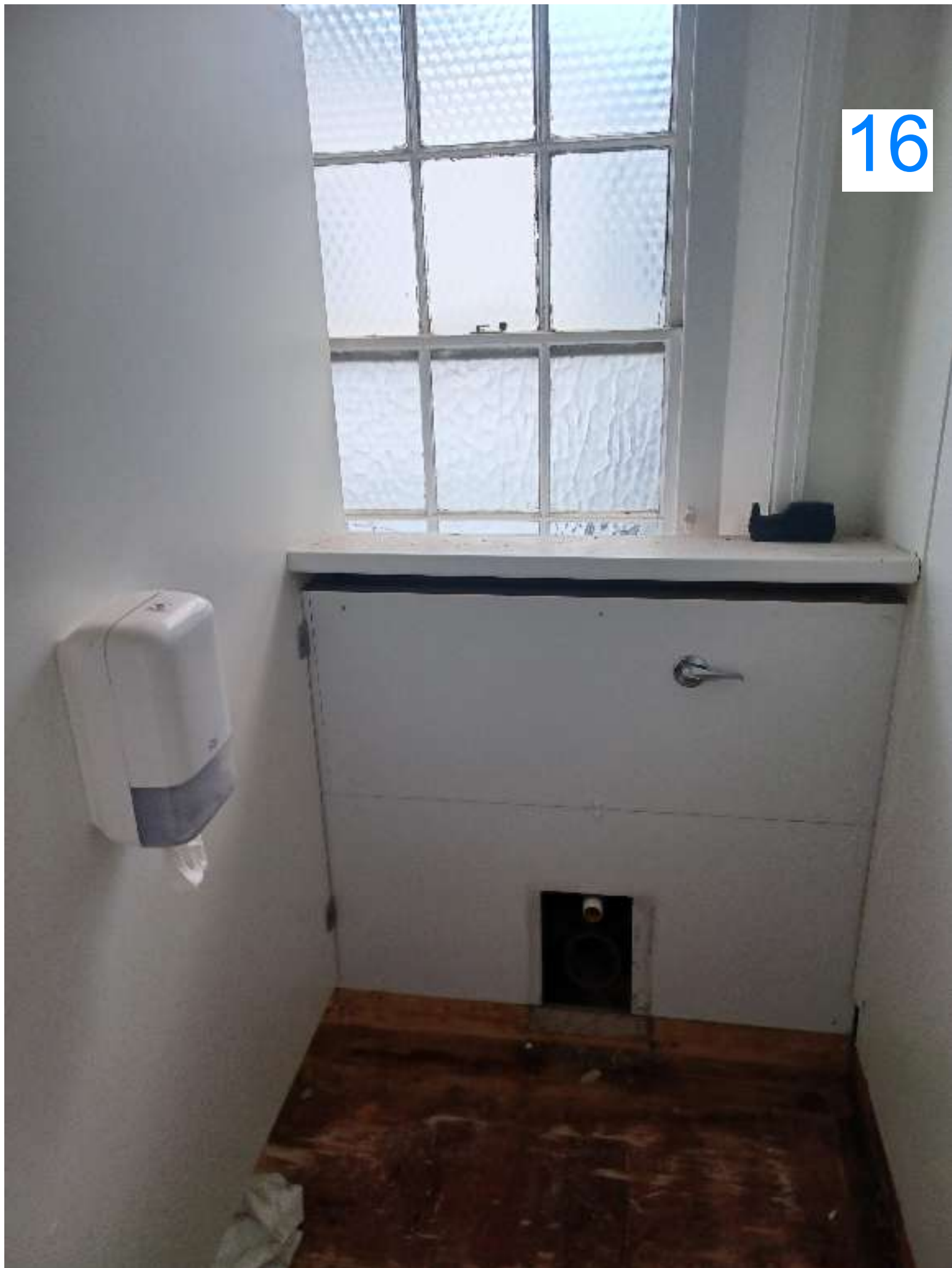
1ST FLOOR

15



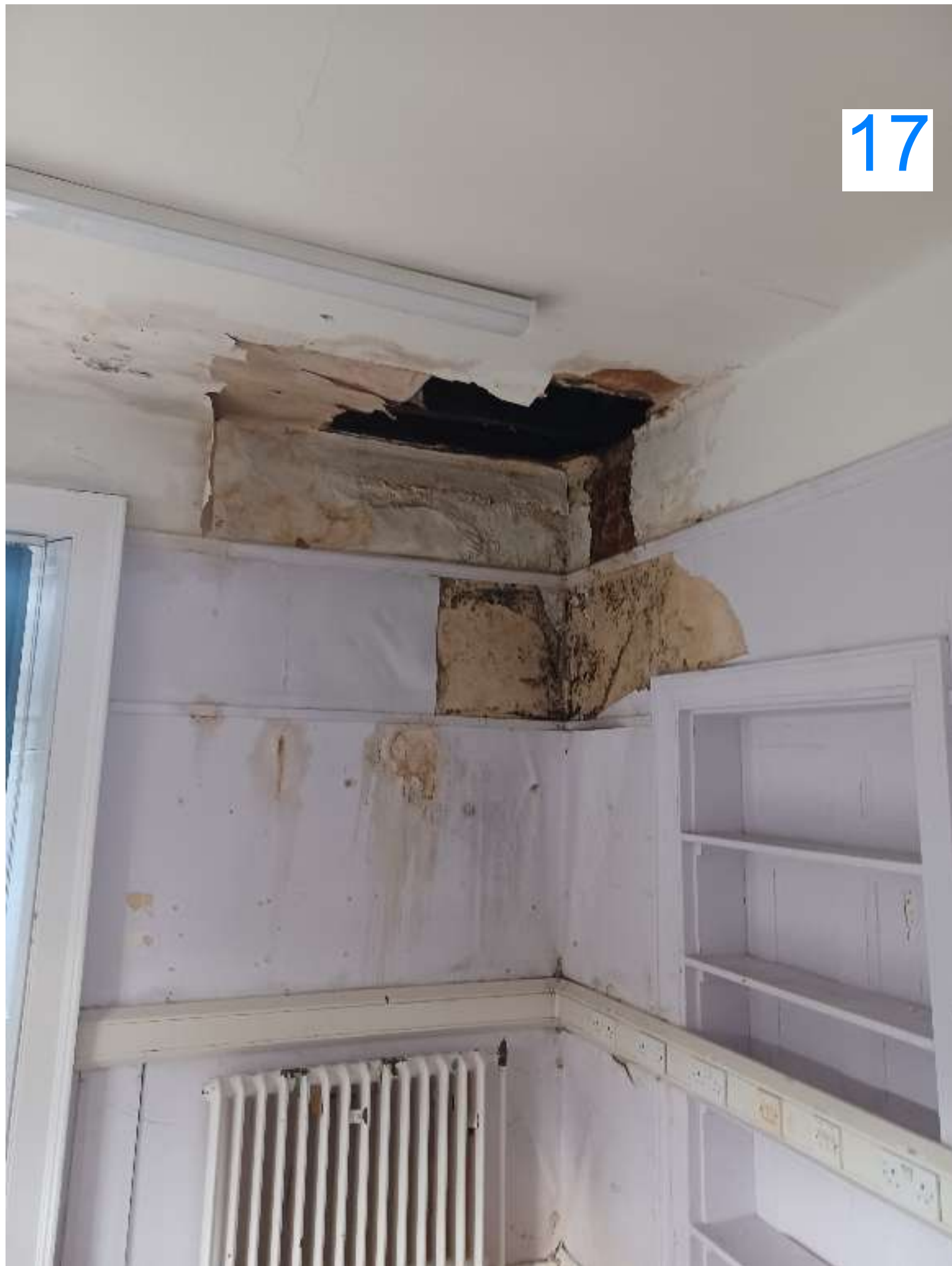
Male toilet damp

16



Female toilet .in order to remove window wc boxing and dividers need to be removed





Oncology office level 1

18



Store level 1 damp