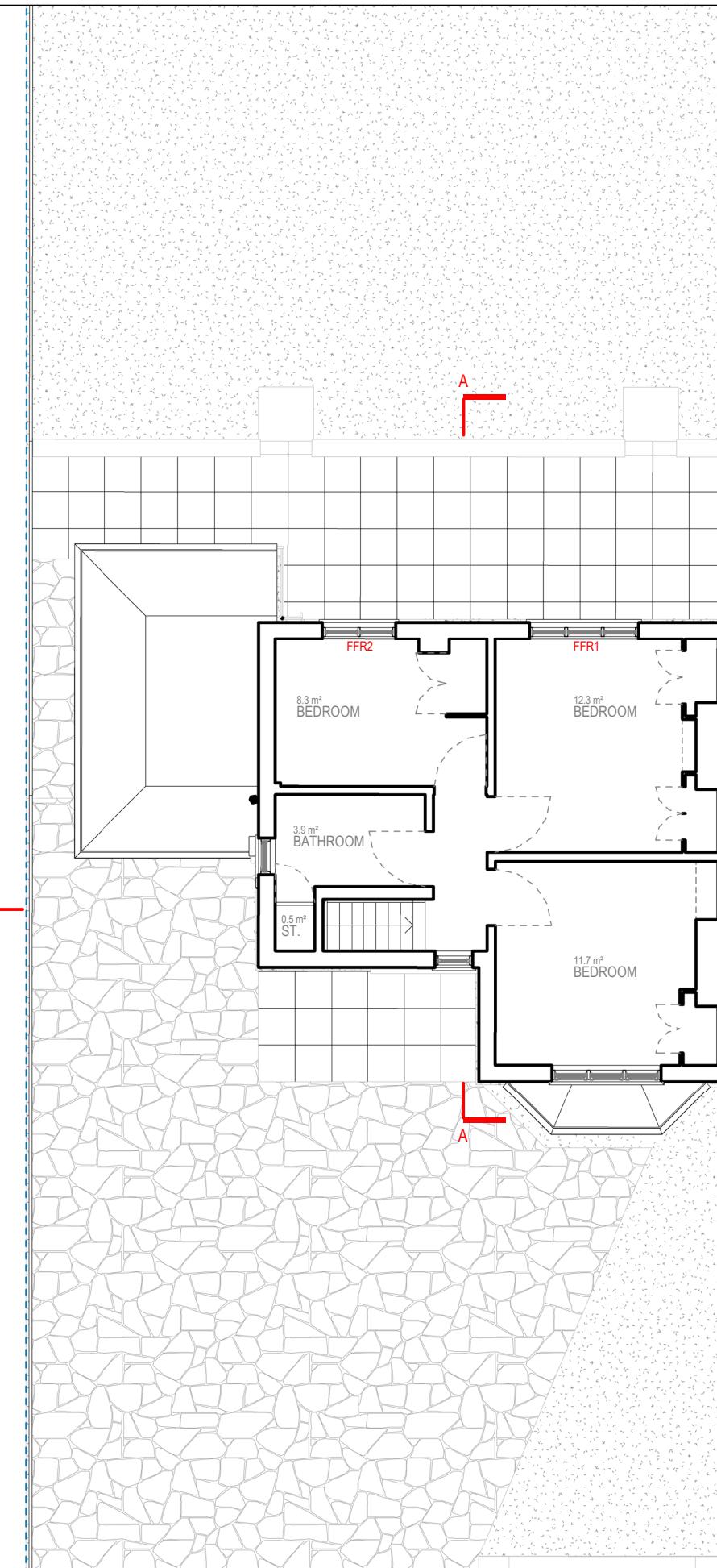


**GROUND FLOOR**



**FIRST FLOOR**

0 5m 10m



Written dimensions to be taken in preference to scaled dimensions. The Contractor is responsible for checking all dimensions before work starts.

All work is to be carried out to the requirements, and to the satisfaction of the Local Authority. These drawings are for planning purposes only.

Any discrepancies to be brought to the attention of 4D Planning Consultants immediately.

**Description**

Rev	Date	Description	by	chk

**4D PLANNING™**

Chartered Town Planners & Architectural Technicians

Architecture | Town Planning

T: 0203 1500 183 [www.GetMePlanning.com](http://www.GetMePlanning.com)

[www.GetMePlanning.com](http://www.GetMePlanning.com)

Client  
John Mathers/ Jackie Millis

Project  
56 Ivy House Road, Ickenham,  
Middlesex, UB10 8NG

Title  
**EXISTING DRAWINGS  
FLOOR PLANS**

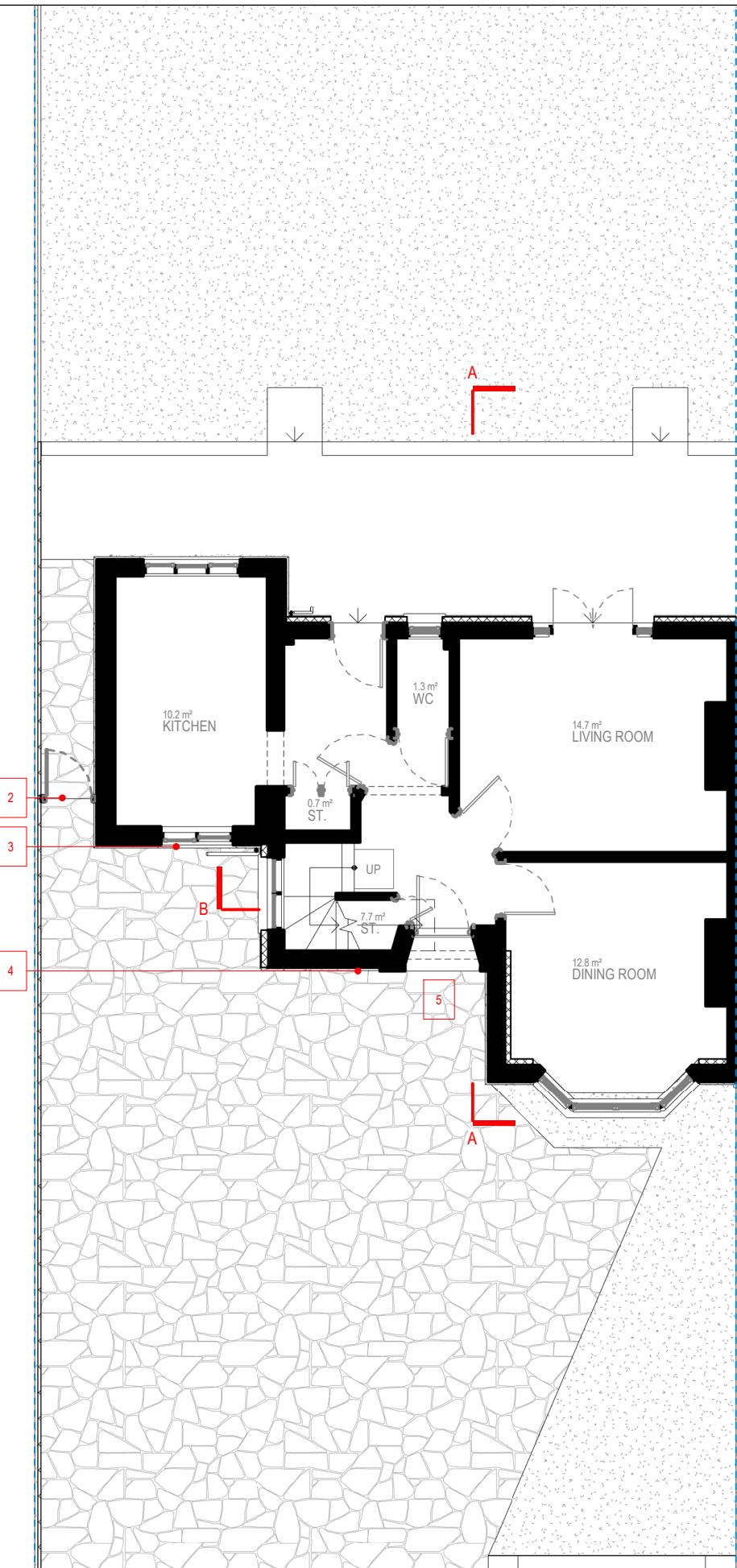
Date: 06.06.2025

Rev:

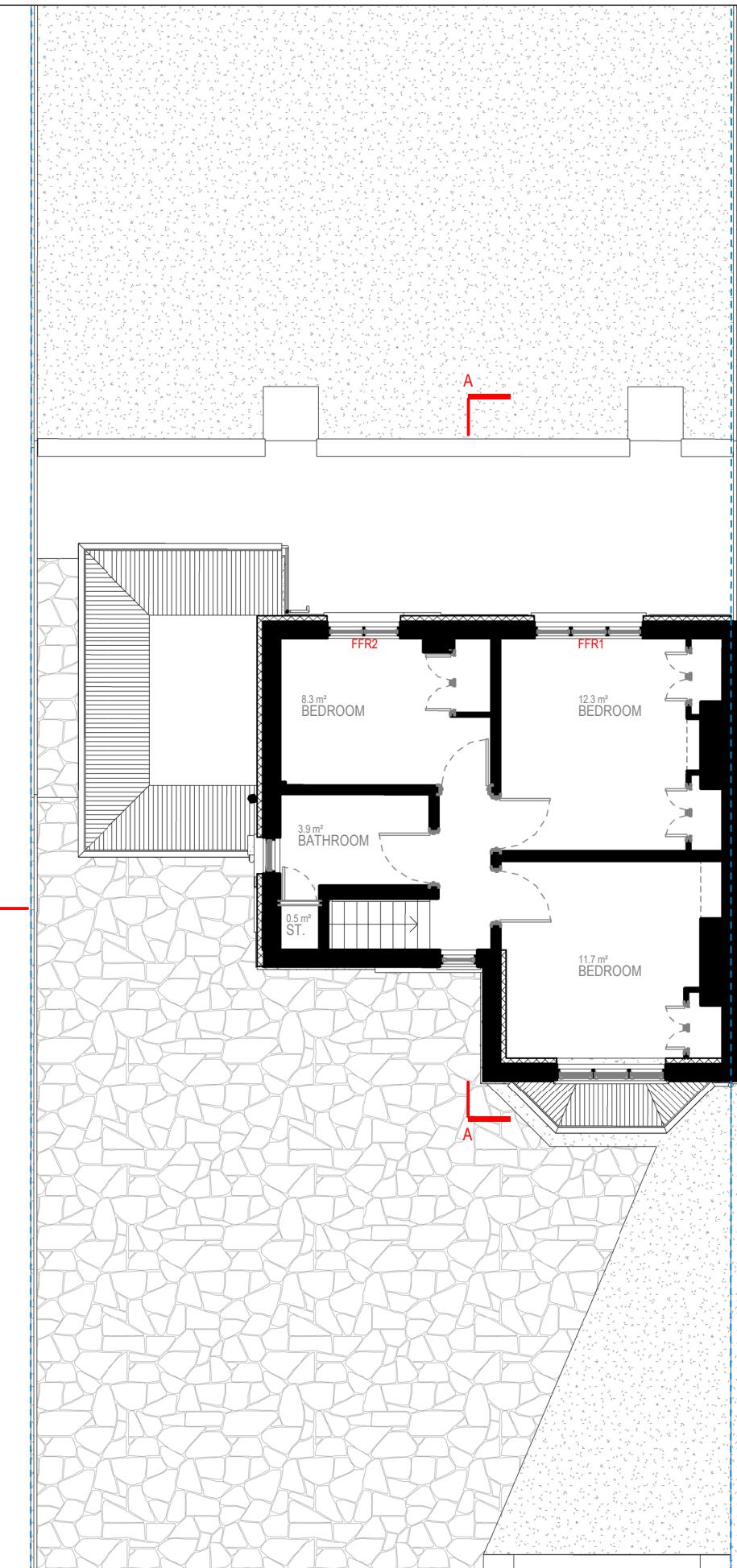
Scale: 1:100@A3

Drawing No.4D-490A E 01

Drawn by : MAX



GROUND FLOOR



FIRST FLOOR

0 5m 10m



Written dimensions to be taken in preferences to scaled dimensions. The Contractor is responsible for checking all dimensions before work starts.

All work is to be carried out to the requirements, and to the satisfaction of the Local Authority. These drawings are for planning purposes only. Any discrepancies to be brought to the attention of 4D Planning Consultants immediately.

Description

- 1• The metal rainwater downpipe at the front of the house between no 56 and 54 to be replaced with a black plastic rainwater downpipe.
- 2• The wooden side gate to the side of the property to be replaced in a similar style to existing
- 3• The cement render at the base of the side (kitchen) extension which needs repair, to be replaced as per the existing cement render
- 4• Cement rendered plinth at the base of the house to the front elevation to be repaired to match existing
- 5• The flagstones to the front of the property, in front of the front door (18 in total) to be removed and crazy paving to be laid, to match the rest of the drive. This is to free up the air bricks by the front door.

Rev	Date	Description	by	chk

**4D PLANNING™**

Chartered Town Planners & Architectural Technicians

Architecture | Town Planning

T: 0203 1500 183 [www.GetMePlanning.com](http://www.GetMePlanning.com)

[www.GetMePlanning.com](http://www.GetMePlanning.com)

Client  
John Mathers/ Jackie Millis

Project  
56 Ivy House Road, Ickenham,  
Middlesex, UB10 8NG

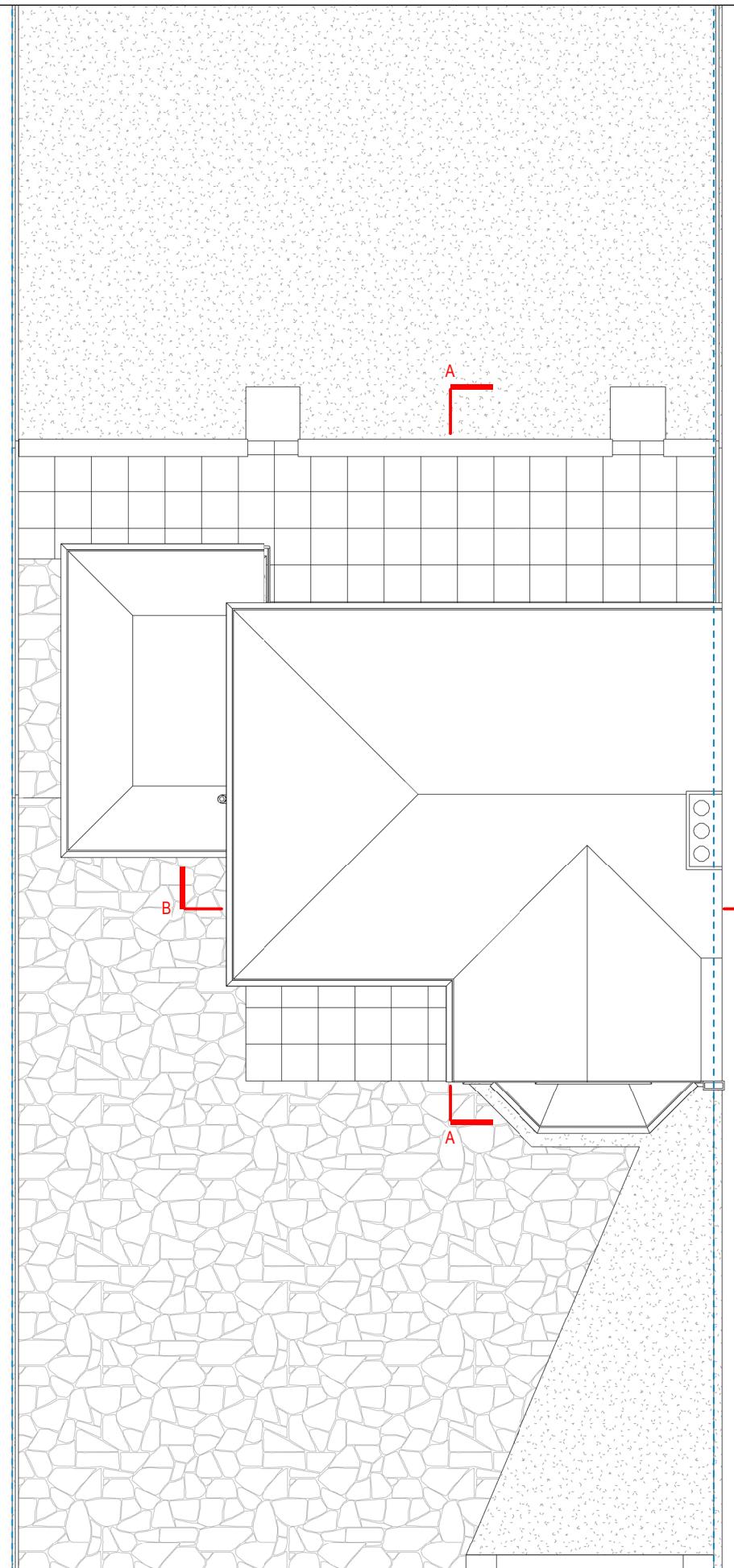
Title  
**PROPOSED DRAWINGS  
FLOOR PLANS**

Date: 06.06.2025 Rev:

Scale: 1:100@A3

Drawing No.4D-490A P 01

Drawn by : MAX



ROOF LEVEL

0 5m 10m



Written dimensions to be taken in preference to scaled dimensions. The Contractor is responsible for checking all dimensions before work starts.

All work is to be carried out to the requirements, and to the satisfaction of the Local Authority.  
These drawings are for planning purposes only.  
Any discrepancies to be brought to the attention of 4D Planning Consultants immediately.

Description

Rev	Date	Description	by	chk

**4D PLANNING™**  
Chartered Town Planners & Architectural Technicians  
  
Architecture | Town Planning  
  
T: 0203 1500 183 [www.GetMePlanning.com](http://www.GetMePlanning.com)

[www.GetMePlanning.com](http://www.GetMePlanning.com)

Client  
John Mathers/ Jackie Millis

Project  
56 Ivy House Road, Ickenham,  
Middlesex, UB10 8NG

Title  
**EXISTING DRAWINGS  
FLOOR PLANS**

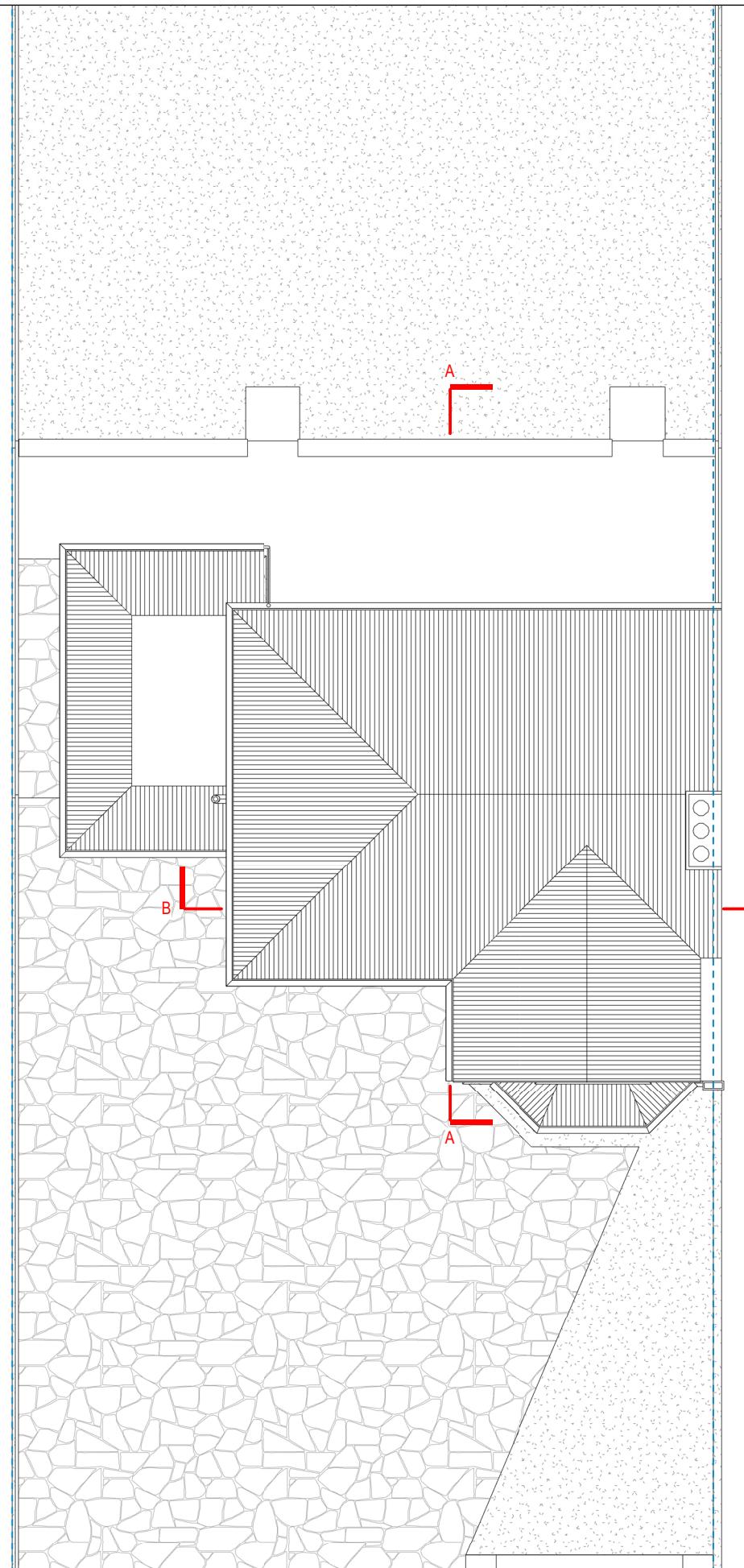
Date: 06.06.2025

Rev:

Scale: 1:100@A3

Drawing No.4D-490A **E 02**

Drawn by : MAX



**ROOF LEVEL**

0 5m 10m



Written dimensions to be taken in preference to scaled dimensions. The Contractor is responsible for checking all dimensions before work starts.

All work is to be carried out to the requirements, and to the satisfaction of the Local Authority.  
These drawings are for planning purposes only.  
Any discrepancies to be brought to the attention of 4D Planning Consultants immediately.

**Description**

Rev	Date	Description	by	chk

**4D PLANNING™**  
Chartered Town Planners & Architectural Technicians  
  
Architecture | Town Planning  
  
T: 0203 1500 183 [www.GetMePlanning.com](http://www.GetMePlanning.com)

[www.GetMePlanning.com](http://www.GetMePlanning.com)

Client  
John Mathers/ Jackie Millis

Project  
56 Ivy House Road, Ickenham,  
Middlesex, UB10 8NG

Title  
**PROPOSED DRAWINGS  
FLOOR PLANS**

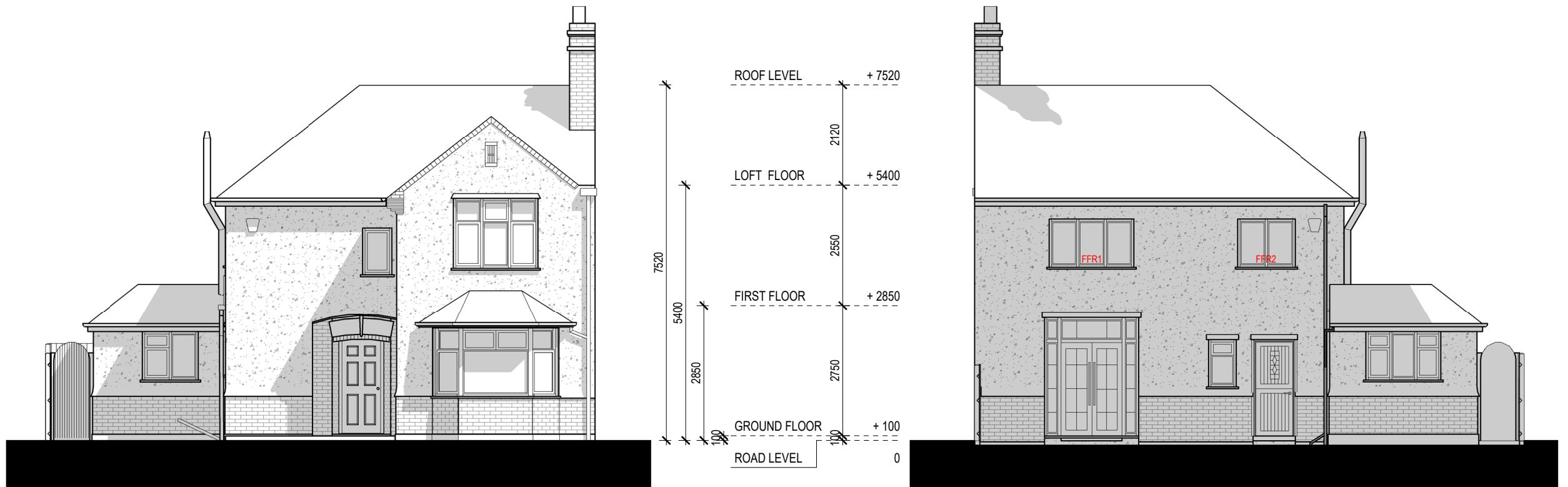
Date: 06.06.2025

Rev:

Scale: 1:100@A3

Drawing No.4D-490A P 02

Drawn by : MAX



FRONT ELEVATION

REAR ELEVATION



Written dimensions to be taken in preference to scaled dimensions. The Contractor is responsible for checking all dimensions before work starts.

All work is to be carried out to the requirements, and to the satisfaction of the Local Authority. These drawings are for planning purposes only.

Any discrepancies to be brought to the attention of 4D Planning Consultants immediately.

Description

Rev	Date	Description	by	chk

**4D PLANNING™**

Chartered Town Planners & Architectural Technicians

Architecture | Town Planning

T: 0203 1500 183 [www.GetMePlanning.com](http://www.GetMePlanning.com)

[www.GetMePlanning.com](http://www.GetMePlanning.com)

Client  
John Mathers/ Jackie Millis

Project  
56 Ivy House Road, Ickenham,  
Middlesex, UB10 8NG

Title  
**EXISTING DRAWINGS  
ELEVATIONS**

Date: 06.06.2025

Rev:

Scale: 1:100@A3

Drawing No. 4D-490A E 03

Drawn by : MAX



## FRONT ELEVATION

Modifications to the front elevation are as follows:

- Removal of existing render and re-render.
- A pebbledash finish will be added to match the pebbledash finish on the side and rear elevations. The walls will be painted in the same white or off-white breathable paint as the side (including the side extension) and rear elevations.
- The lower section of brick plinth at the front elevation will not be changed.



## REAR ELEVATION

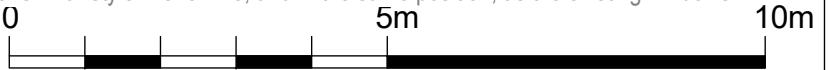
Modifications to the rear elevation are as follows:

- Removal of existing render from the rear elevation of the house. (This excludes the side extension where the existing render remains).
- Installation of external wall insulation to the full height of the house (down to the damp proof course) with a render finish. The External Wall insulation material proposed is 90mm Mineral Fibre insulation board with a total system depth not exceeding 110mm.
- Brick slips will be added to the side and rear elevations to match the lower section of the walls.
- A pebble dash finish will be added to the render on the upper section of the walls.
- XPS insulating board will be added below the DPC level.
- The rear walls (including the side extension) will be painted in a white (or off-white) breathable paint.

### Side extension

- The external walls will be painted in the same paint [white (or off -white)] as the external walls on the front, side and rear elevations.

- Two existing bedroom windows at the rear of the house will be replaced with white uPVC double glazed windows in the same or similar style like for like, and in the same position, as the existing windows.



Written dimensions to be taken in preferences to scaled dimensions. The Contractor is responsible for checking all dimensions before work starts.

All work is to be carried out to the requirements, and to the satisfaction of the Local Authority. These drawings are for planning purposes only. Any discrepancies to be brought to the attention of 4D Planning Consultants immediately.

### Description

- The metal rainwater downpipe at the front of the house between no 56 and 54 to be replaced with a black plastic rainwater downpipe.
- The wooden side gate to the side of the property to be replaced in a similar style to existing.
- The cement render at the base of the side (kitchen) extension which needs repair, to be replaced as per the existing cement render.
- Cement rendered plinth at the base of the house to the front elevation to be repaired to match existing.
- The flagstones to the front of the property, in front of the front door (18 in total) to be removed and crazy paving to be laid, to match the rest of the drive. This is to free up the air bricks by the front door.

Rev	Date	Description	by	chk

**4D PLANNING™**

Chartered Town Planners & Architectural Technicians

Architecture | Town Planning

T: 0203 1500 183 [www.GetMePlanning.com](http://www.GetMePlanning.com)

[www.GetMePlanning.com](http://www.GetMePlanning.com)

Client  
John Mathers/ Jackie Millis

Project  
56 Ivy House Road, Ickenham,  
Middlesex, UB10 8NG

Title  
**PROPOSED DRAWINGS  
ELEVATIONS**

Date: 06.06.2025

Rev:

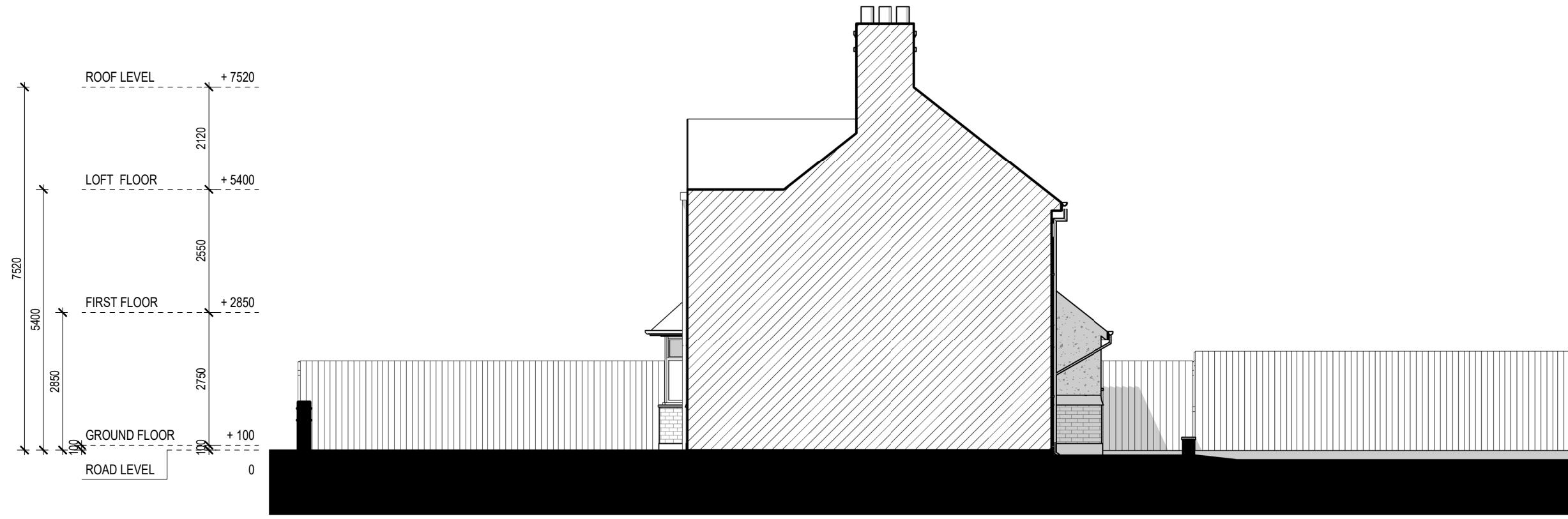
Scale: 1:100@A3

Drawing No.4D-490A P 03

Drawn by : MAX



LEFT SIDE ELEVATION



RIGHT SIDE ELEVATION

0 5m 10m

Written dimensions to be taken in preference to scaled dimensions. The Contractor is responsible for checking all dimensions before work starts.

All work is to be carried out to the requirements, and to the satisfaction of the Local Authority. These drawings are for planning purposes only.

Any discrepancies to be brought to the attention of 4D Planning Consultants immediately.

Description

Rev	Date	Description	by	chk

**4D PLANNING™**

Chartered Town Planners & Architectural Technicians

Architecture | Town Planning

T: 0203 1500 183 www.GetMePlanning.com

www.GetMePlanning.com

Client  
John Mathers/ Jackie Millis

Project  
56 Ivy House Road, Ickenham,  
Middlesex, UB10 8NG

Title  
EXISTING DRAWINGS  
ELEVATIONS

Date: 06.06.2025 Rev:

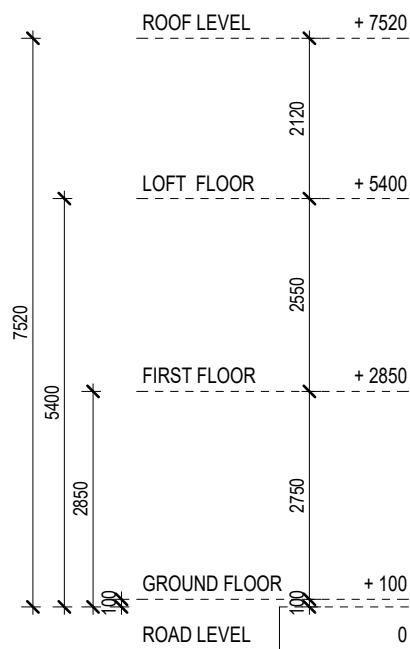
Scale: 1:100@A3

Drawing No.4D-490A E 04

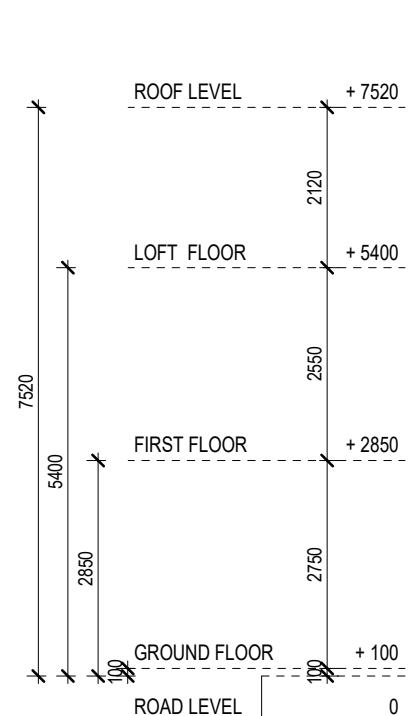
Drawn by : MAX

Modifications to the side elevation are as follows:

- Removal of existing render from the side elevation of the house. (This excludes the side extension where the existing render remains).
- Installation of external wall insulation to the full height of the house (down to the damp proof course) with a render finish. The External Wall insulation material proposed is 90mm Mineral Fibre insulation board with a total system depth not exceeding 110mm.
- Brick slips will be added to the side and rear elevations to match the lower section of the walls.
- A pebble dash finish will be added to the render on the upper section of the walls.
- XPS insulating board will be added below the DPC level.
- The side walls (including the side extension) will be painted in a white (or off-white) breathable paint.



LEFT SIDE ELEVATION



RIGHT SIDE ELEVATION



Written dimensions to be taken in preferences to scaled dimensions. The Contractor is responsible for checking all dimensions before work starts.

All work is to be carried out to the requirements, and to the satisfaction of the Local Authority. These drawings are for planning purposes only.

Any discrepancies to be brought to the attention of 4D Planning Consultants immediately.

Description

Rev	Date	Description	by	chk

**4D PLANNING™**

Chartered Town Planners & Architectural Technicians

Architecture | Town Planning

T: 0203 1500 183 | www.GetMePlanning.com

[www.GetMePlanning.com](http://www.GetMePlanning.com)

Client  
John Mathers/ Jackie Millis

Project  
56 Ivy House Road, Ickenham,  
Middlesex, UB10 8NG

Title  
**PROPOSED DRAWINGS  
ELEVATIONS**

Date: 06.06.2025 | Rev:

Scale: 1:100@A3

Drawing No.4D-490A P 04

Drawn by : MAX

Written dimensions to be taken in preference to scaled dimensions. The Contractor is responsible for checking all dimensions before work starts.

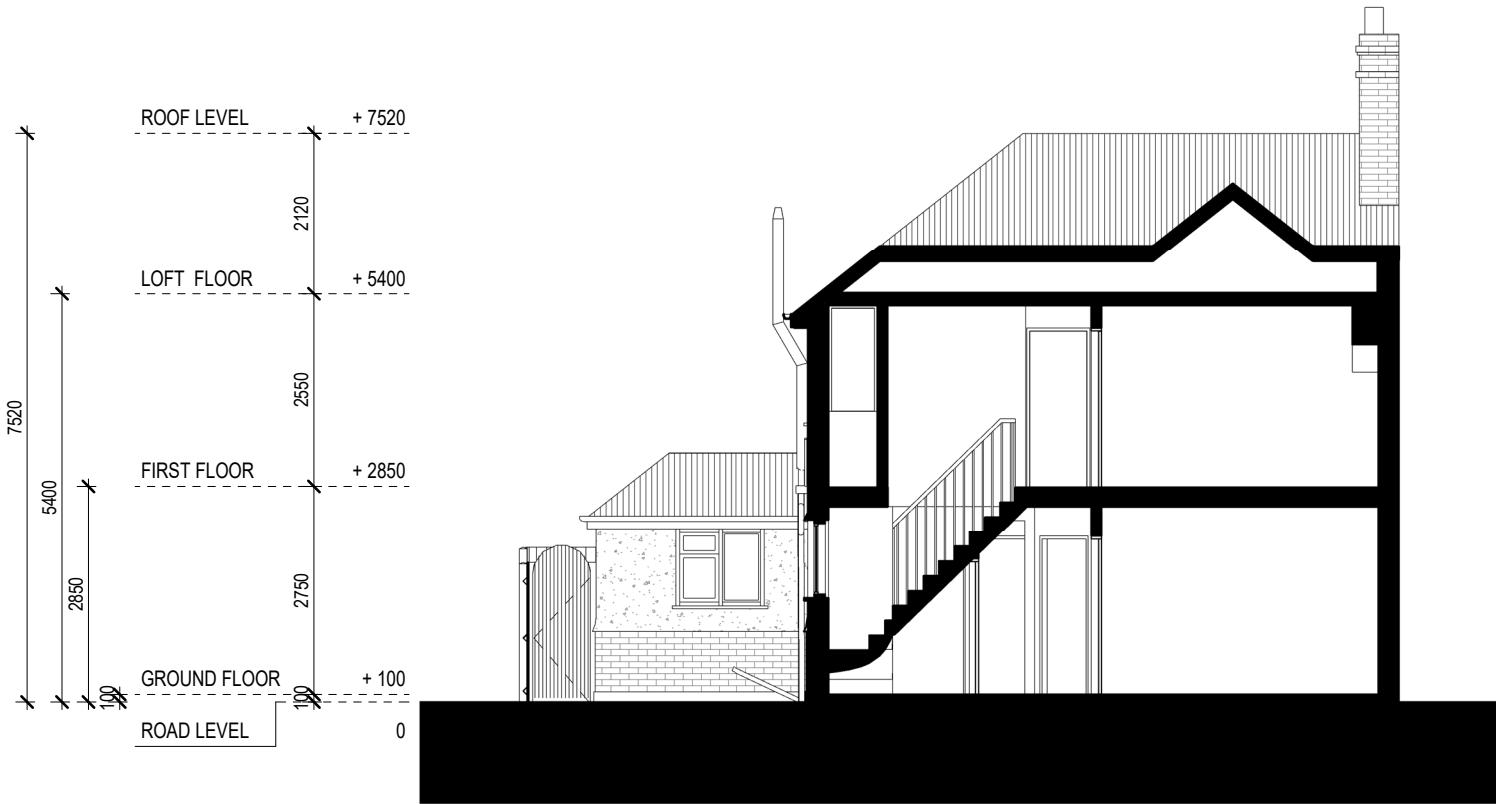
All work is to be carried out to the requirements, and to the satisfaction of the Local Authority.  
These drawings are for planning purposes only

Any discrepancies to be brought to the attention of 4D Planning Consultants immediately.

Description



SECTION AA



SECTION BB

0 5m 10m

Rev	Date	Description	by	chk

**4D PLANNING™**  
Chartered Town Planners & Architectural Technicians

Architecture | Town Planning

T: 0203 1500 183 www.GetMePlanning.com

[www.GetMePlanning.com](http://www.GetMePlanning.com)

Client  
John Mathers/ Jackie Millis

Project  
56 Ivy House Road, Ickenham,  
Middlesex, UB10 8NG

Title  
EXISTING DRAWINGS  
SECTIONS

Date: 06.06.2025 Rev:

Scale: 1:100@A3

Drawing No.4D-490A E 05

Drawn by : MAX

Written dimensions to be taken in preference to scaled dimensions. The Contractor is responsible for checking all dimensions before work starts.

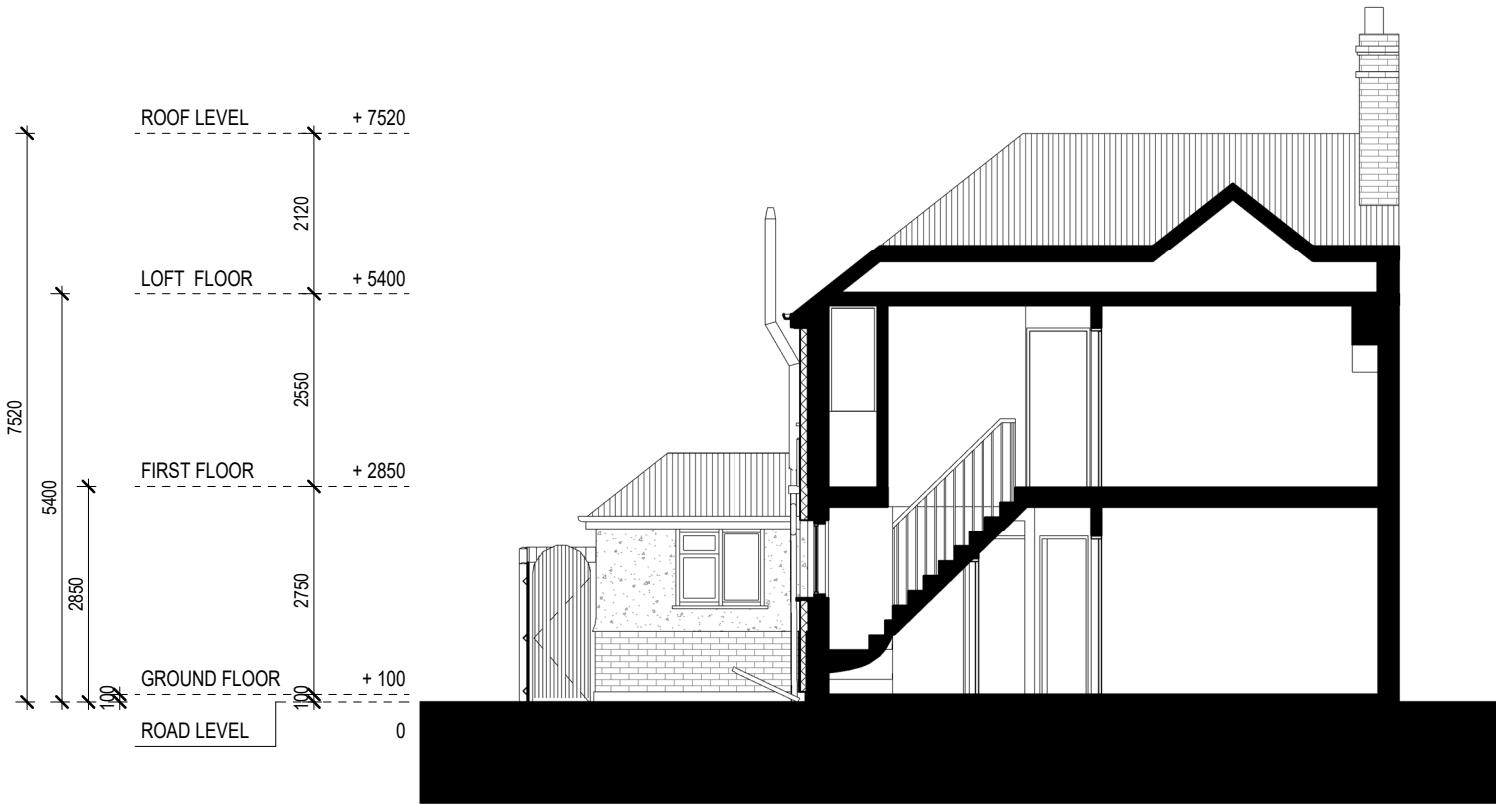
All work is to be carried out to the requirements, and to the satisfaction of the Local Authority.  
These drawings are for planning purposes only

Any discrepancies to be brought to the attention of 4D Planning Consultants immediately.

#### Description



**SECTION AA**



**SECTION BB**

0 5m 10m

Rev	Date	Description	by	chk

**4D PLANNING™**  
Chartered Town Planners & Architectural Technicians

Architecture | Town Planning

T: 0203 1500 183 www.GetMePlanning.com

[www.GetMePlanning.com](http://www.GetMePlanning.com)

Client  
John Mathers/ Jackie Millis

Project  
56 Ivy House Road, Ickenham,  
Middlesex, UB10 8NG

Title  
**PROPOSED DRAWINGS  
SECTIONS**

Date: 06.06.2025 Rev:

Scale: 1:100@A3

Drawing No.4D-490A P 05

Drawn by : MAX