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Any discrepancies to be brought to the attention of 4D Planning Consultants immediately.

Description

Rev	Date	Description	by	chk

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Client
John Mathers/ Jackie Millis

Project
56 Ivy House Road, Ickenham,
Middlesex, UB10 8NG

Title
EXISTING DRAWINGS
FLOOR PLANS

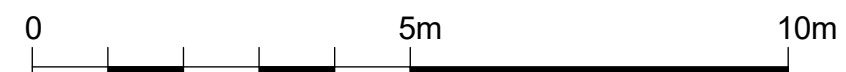
Date:	06.06.2025
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Date:	30/09/2020
Scale:	1:100@A3

Drawing No.4D-490A E 01

Drawn by : MAX

Rev:





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- 2• The wooden side gate to the side of the property to be replaced in a similar style to existing
- 3• The cement render at the base of the side (kitchen) extension which needs repair, to be replaced as per the existing cement render
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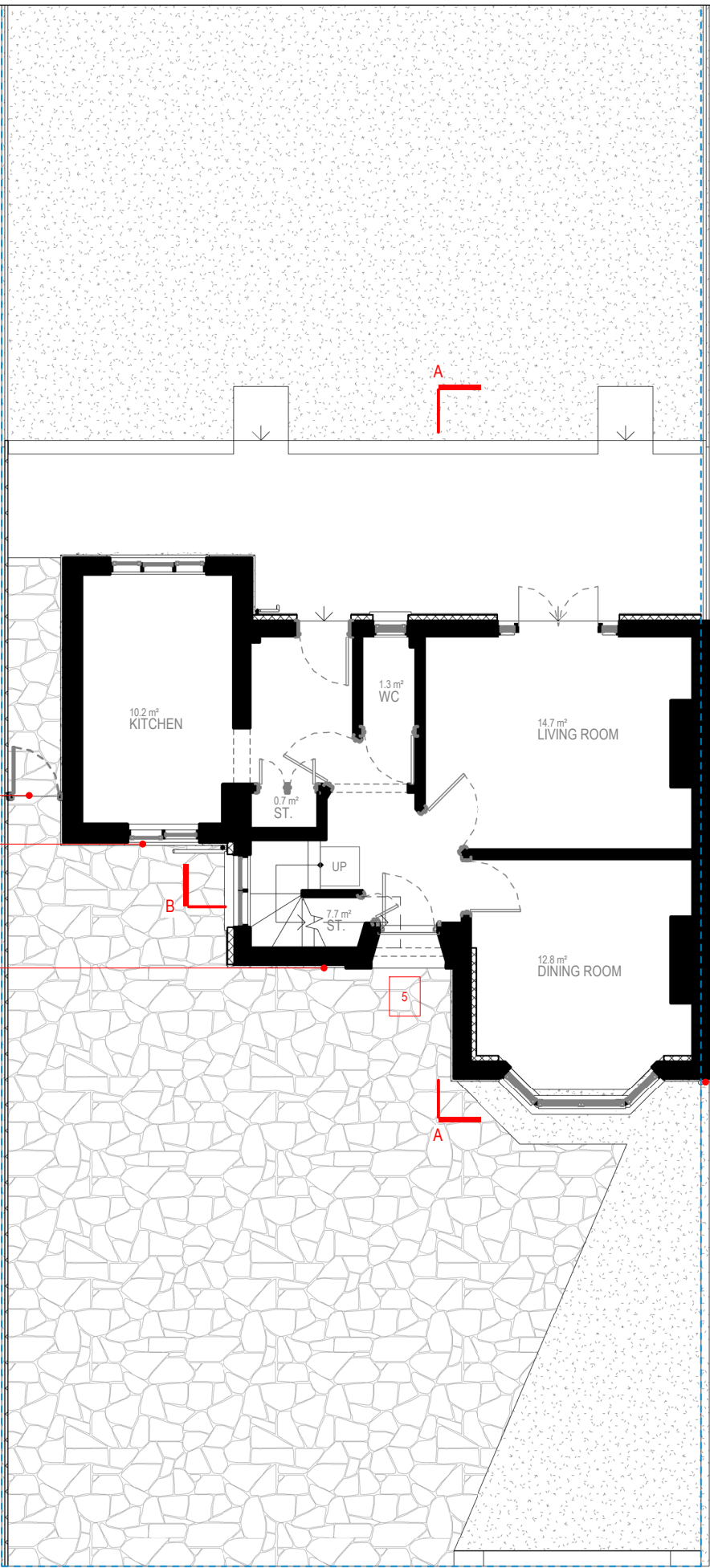
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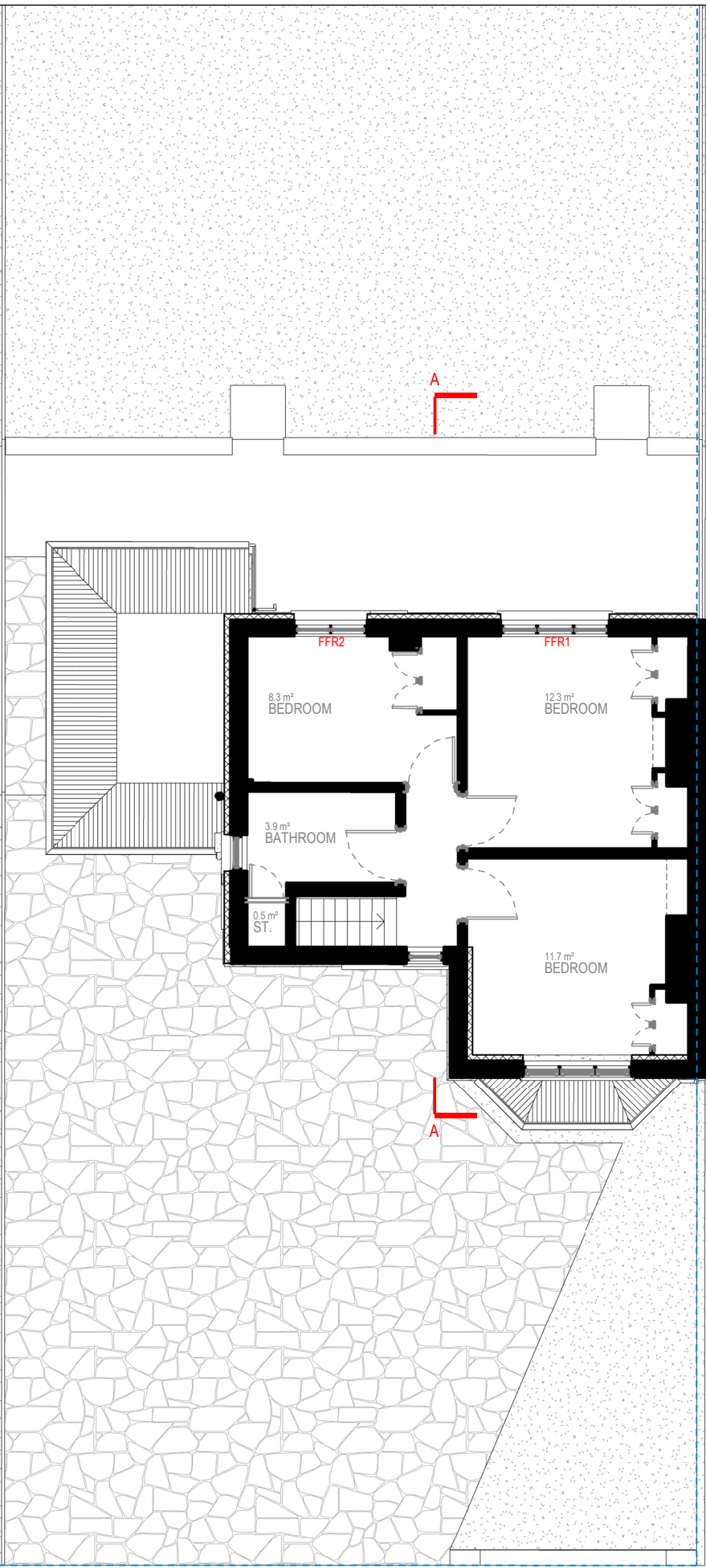
Client
John Mathers/ Jackie Millis

Project
56 Ivy House Road, Ickenham,
Middlesex, UB10 8NG

Title PROPOSED DRAWINGS FLOOR PLANS		
Date:	06.06.2025	Rev:
Scale:	1:100@A3	
Drawing No.	4D-490A P 01	
Drawn by : MAX		

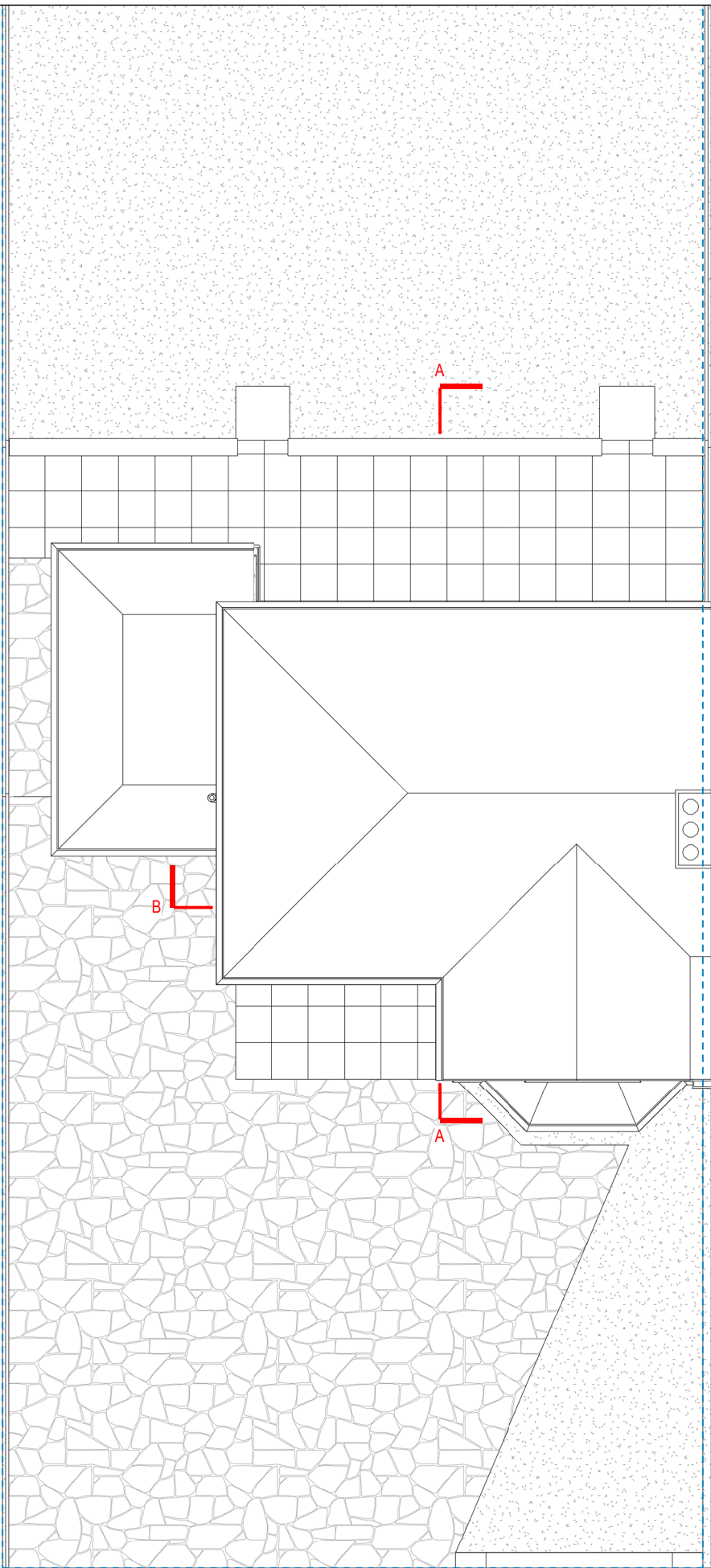


GROUND FLOOR

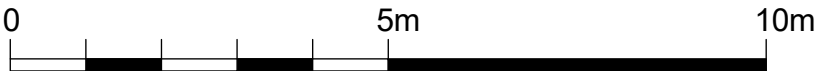


FIRST FLOOR





ROOF LEVEL



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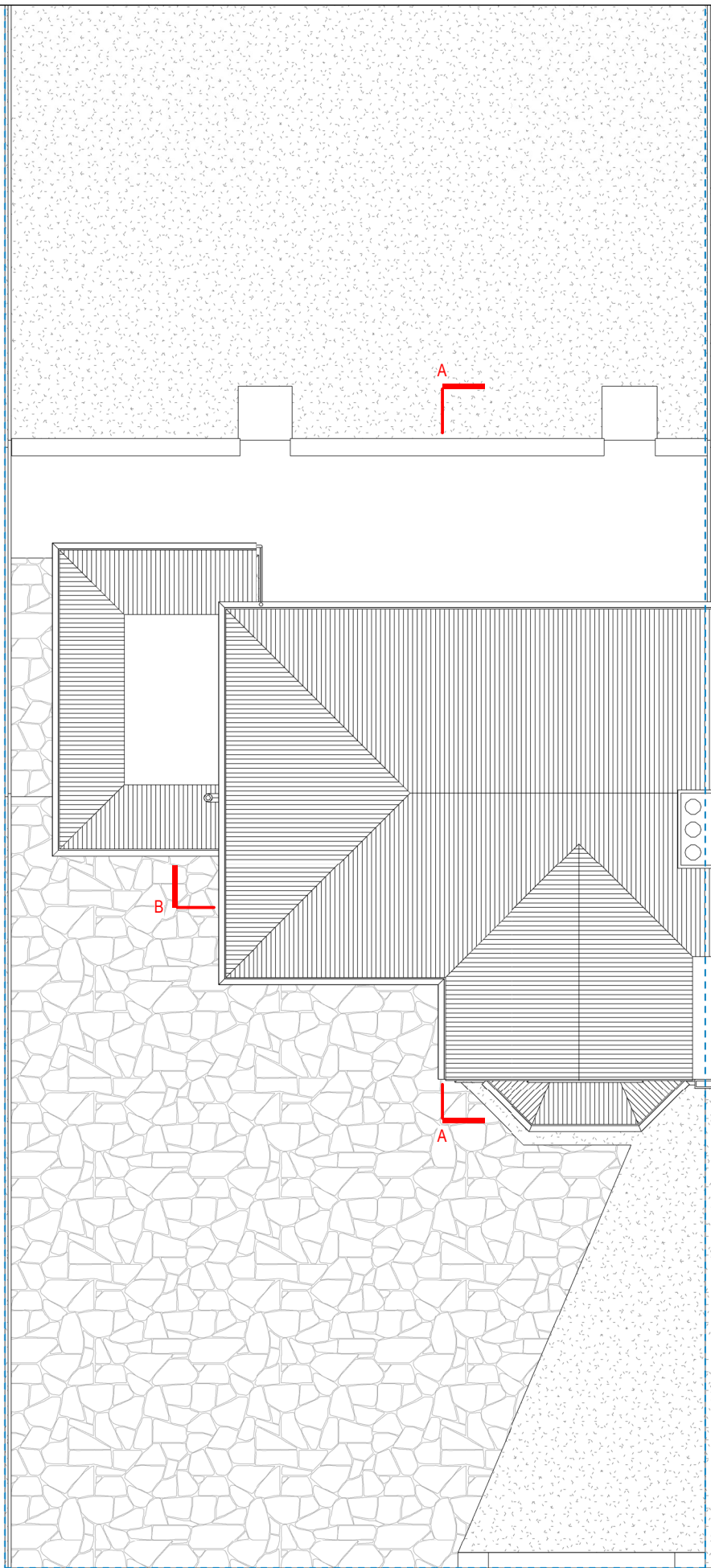
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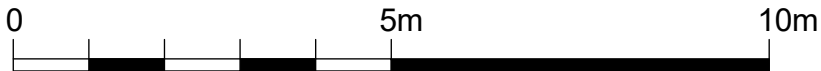
Drawing No.4D-490A **E 02**

Drawn by : MAX

Rev:



ROOF LEVEL



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PROPOSED DRAWINGS
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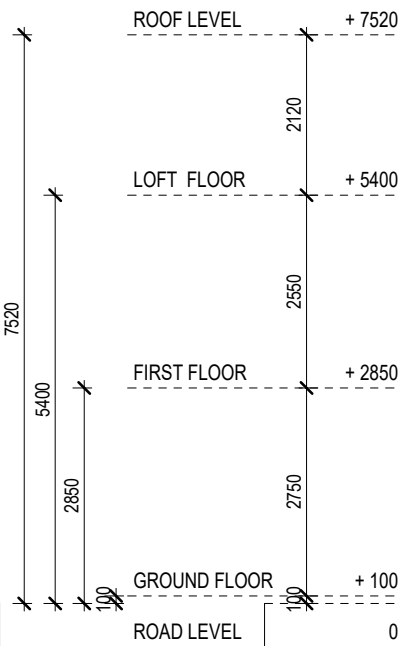
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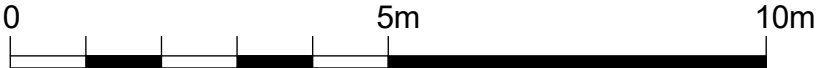
Rev:



FRONT ELEVATION



REAR ELEVATION



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Title
**EXISTING DRAWINGS
ELEVATIONS**

Date: 06.06.2025

Scale: 1:100@A3

Drawing No. 4D-490A **E 03**

Drawn by : MAX

Rev:



FRONT ELEVATION

Modifications to the front elevation are as follows:

- Removal of existing render and re-render.
- A pebbledash finish will be added to match the pebbledash finish on the side and rear elevations. The walls will be painted in the same white or off-white breathable paint as the side (including the side extension) and rear elevations.
- The lower section of brick plinth at the front elevation will not be changed.



REAR ELEVATION

Modifications to the rear elevation are as follows:

- Removal of existing render from the rear elevation of the house. (This excludes the side extension where the existing render remains).
- Installation of external wall insulation to the full height of the house (down to the damp proof course) with a render finish. The External Wall insulation material proposed is 90mm Mineral Fibre insulation board with a total system depth not exceeding 110mm.
- Brick slips will be added to the side and rear elevations to match the lower section of the walls.
- A pebble dash finish will be added to the render on the upper section of the walls.
- XPS insulating board will be added below the DPC level.
- The rear walls (including the side extension) will be painted in a white (or off-white) breathable paint.

Side extension

- The external walls will be painted in the same paint [white (or off -white)] as the external walls on the front, side and rear elevations.

- Two existing bedroom windows at the rear of the house will be replaced with white uPVC double glazed windows in the same or similar style like for like, and in the same position, as the existing windows.



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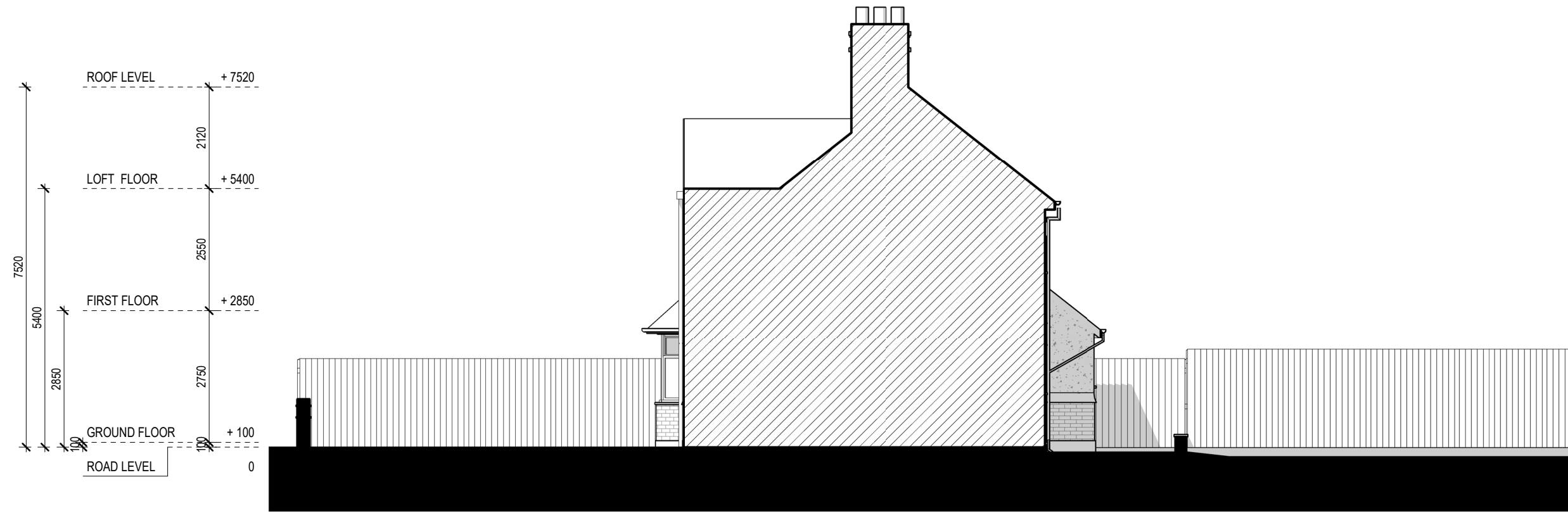
Project
**56 Ivy House Road, Ickenham,
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Title
**PROPOSED DRAWINGS
ELEVATIONS**

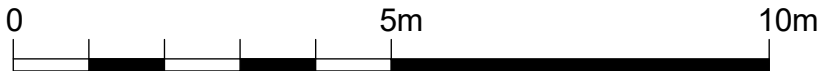
Date:	06.06.2025	Rev:
Scale:	1:100@A3	
Drawing No.	4D-490A P 03	
Drawn by :	MAX	



LEFT SIDE ELEVATION



RIGHT SIDE ELEVATION



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Title
EXISTING DRAWINGS
ELEVATIONS

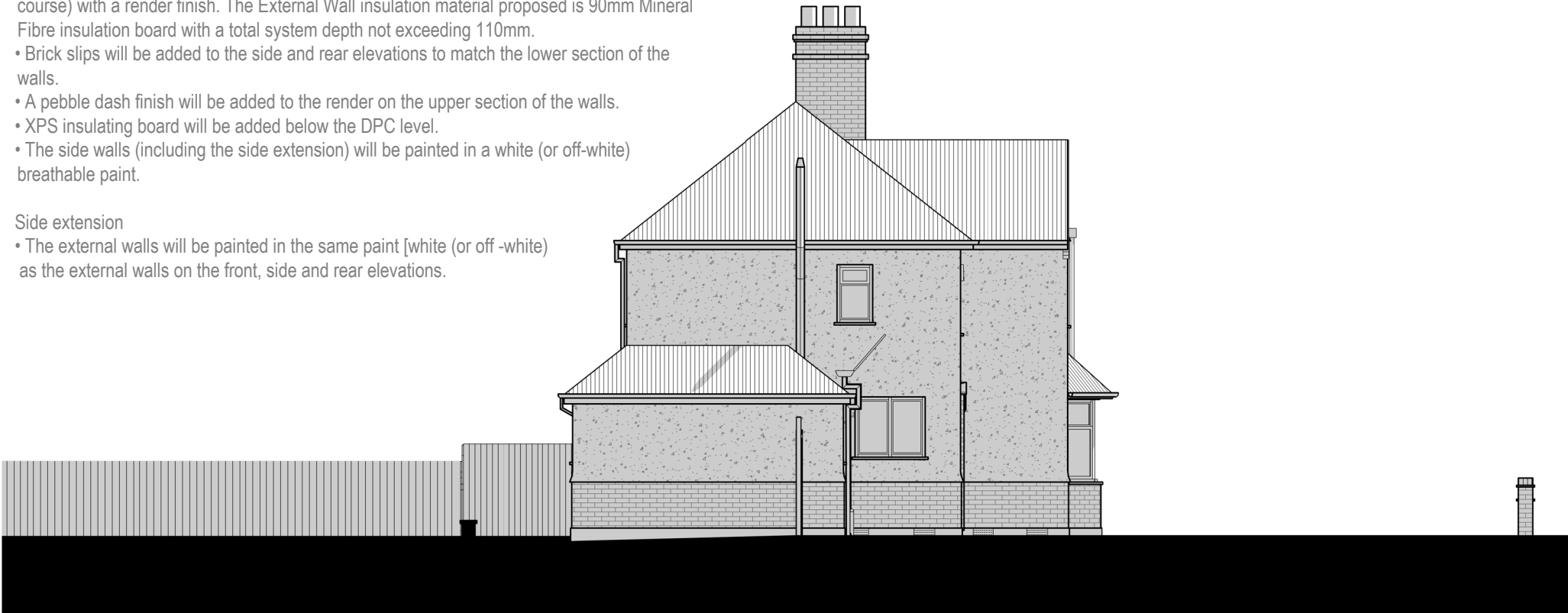
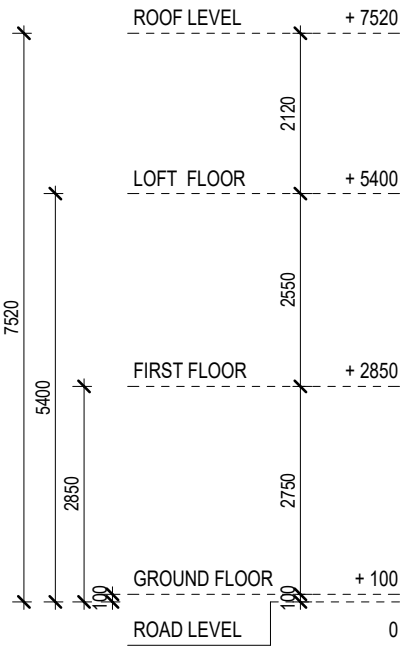
Date: 06.06.2025	Rev:
Scale: 1:100@A3	
Drawing No.4D-490A E 04	
Drawn by : MAX	

Modifications to the side elevation are as follows:

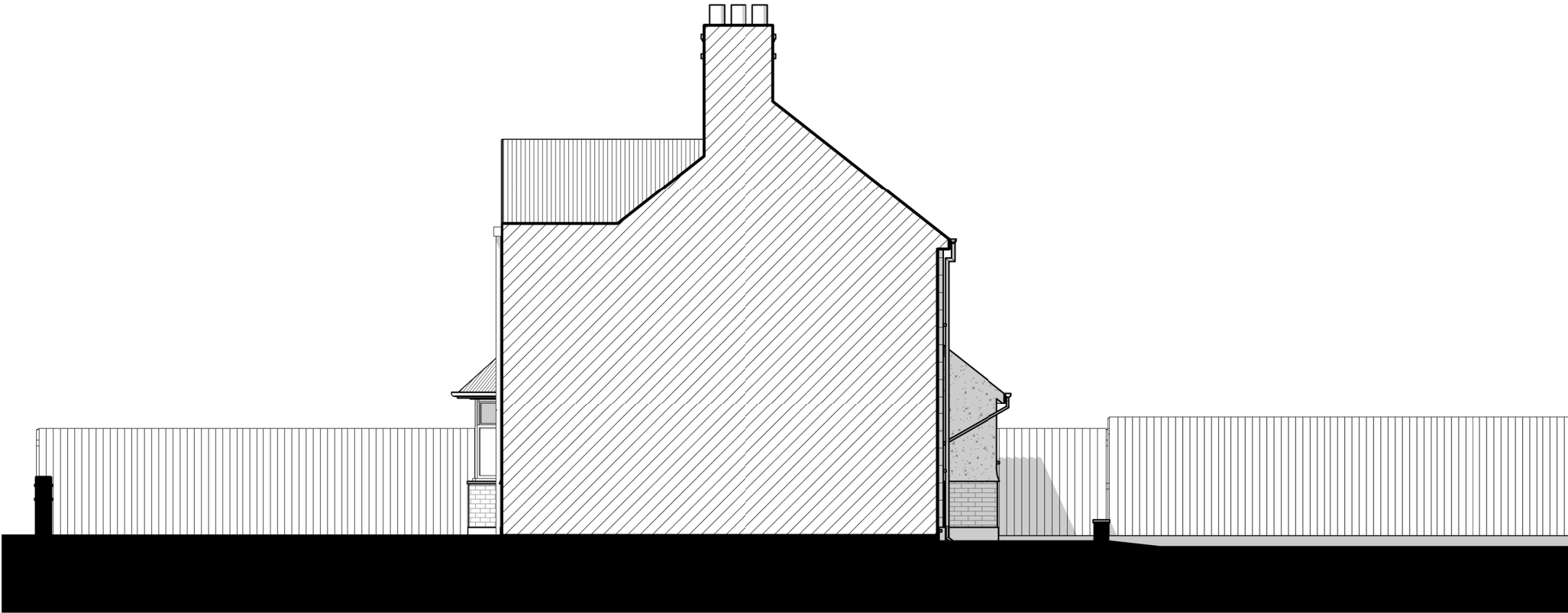
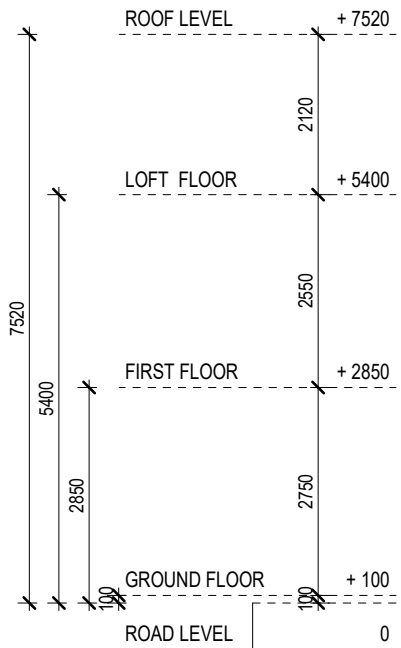
- Removal of existing render from the side elevation of the house. (This excludes the side extension where the existing render remains).
- Installation of external wall insulation to the full height of the house (down to the damp proof course) with a render finish. The External Wall insulation material proposed is 90mm Mineral Fibre insulation board with a total system depth not exceeding 110mm.
- Brick slips will be added to the side and rear elevations to match the lower section of the walls.
- A pebble dash finish will be added to the render on the upper section of the walls.
- XPS insulating board will be added below the DPC level.
- The side walls (including the side extension) will be painted in a white (or off-white) breathable paint.

Side extension

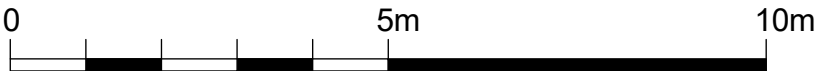
- The external walls will be painted in the same paint [white (or off -white)] as the external walls on the front, side and rear elevations.



LEFT SIDE ELEVATION



RIGHT SIDE ELEVATION



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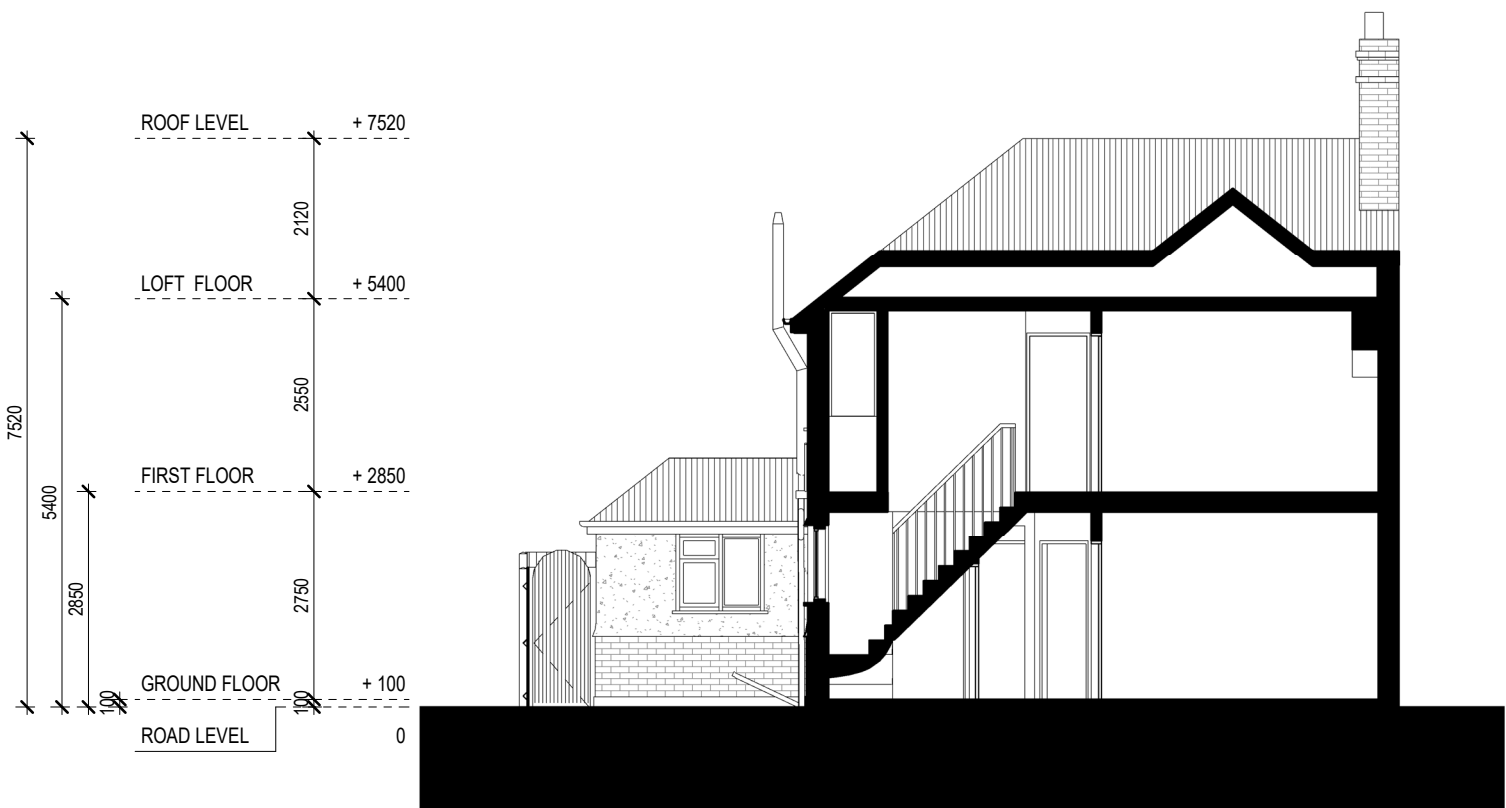
Project
56 Ivy House Road, Ickenham,
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Title
**PROPOSED DRAWINGS
ELEVATIONS**

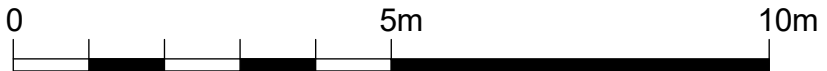
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SECTION AA



SECTION BB



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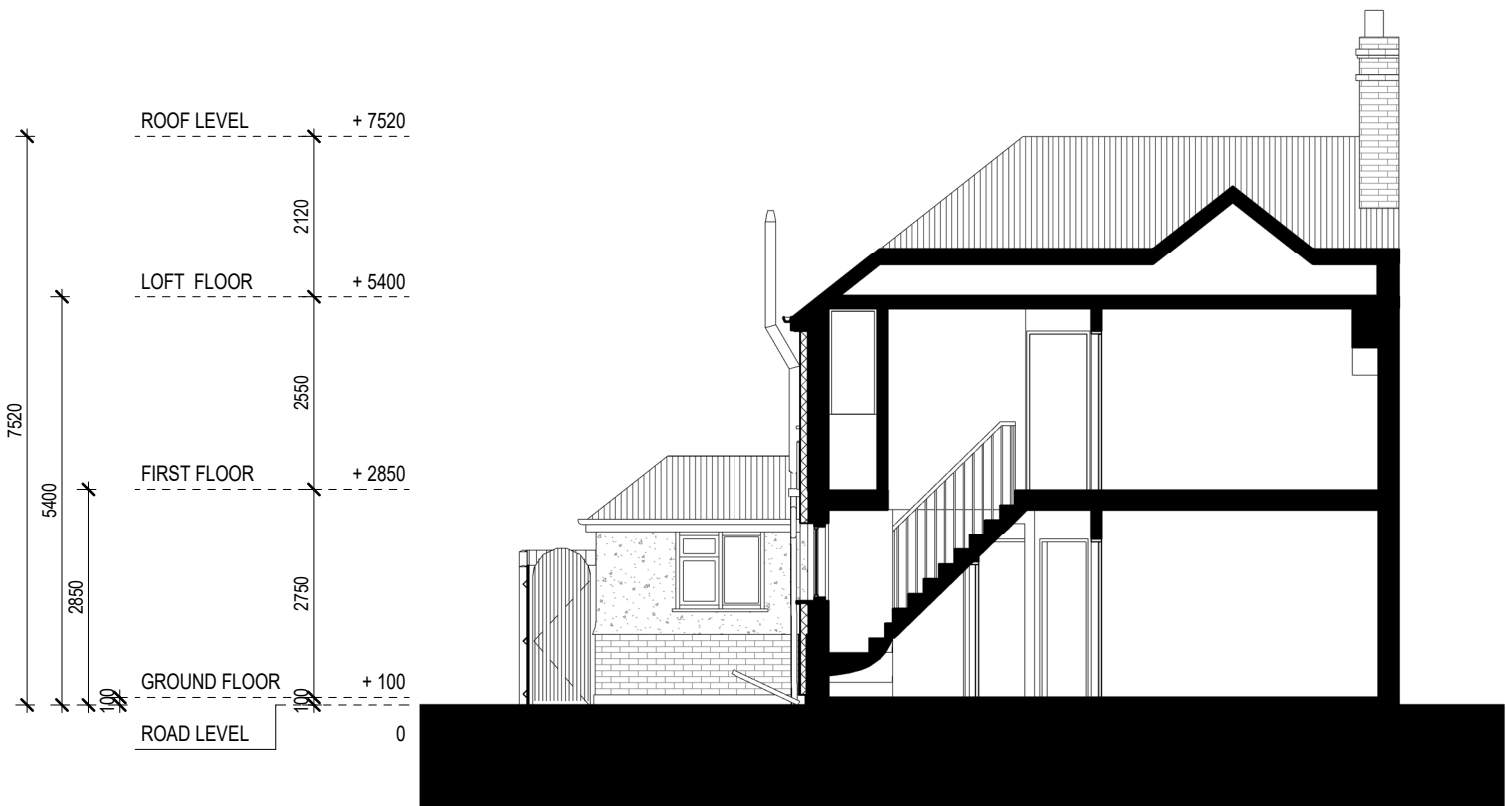
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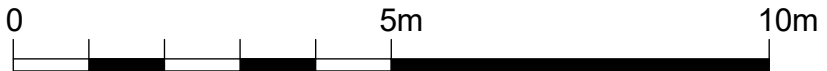
Title EXISTING DRAWINGS SECTIONS	
Date: 06.06.2025	Rev:
Scale: 1:100@A3	
Drawing No.4D-490A E 05	
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SECTION AA



SECTION BB



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