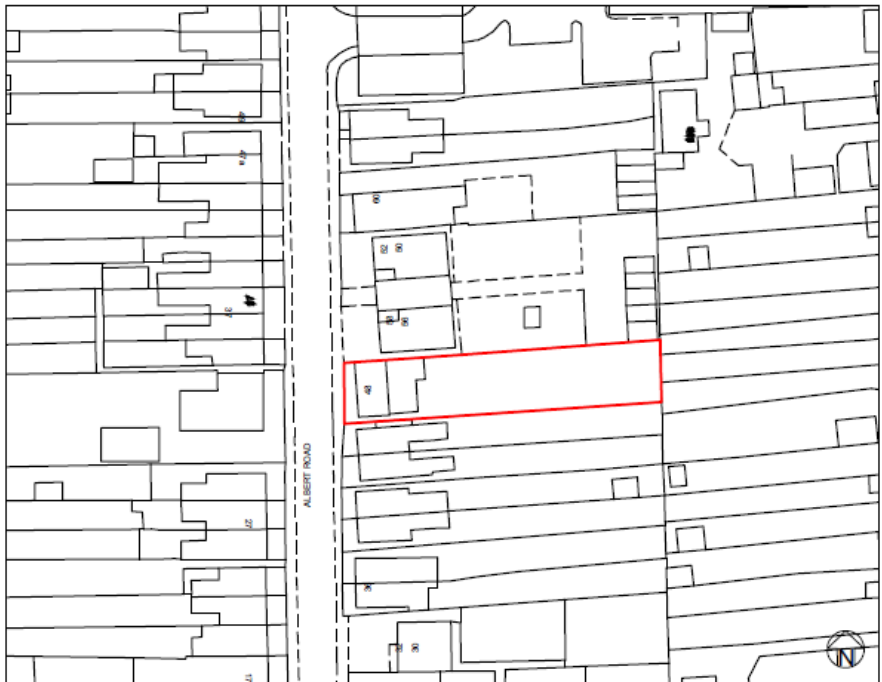


48 ALBERT ROAD, YIEWSLEY, WEST DRAYTON HILLINGDON UB7 8ES

LBH App. No: 40335/APP/2020/4175 Date of Decision 04/05/2021 - London Borough of Hillingdon

Demolition of existing dwelling and erection of two storey detached block with accommodation in the roof and basement comprising 4 flats, with associated parking, amenity space and landscaping.

Condition No 4 - Landscaping

Description	<p>3. Living Walls and Roofs</p> <p>3.a Details of the inclusion of living walls and roofs</p> <p>3.b Justification as to why no part of the development can include living walls and roofs</p>
Justification	<p>Site Location Plan</p>  <p>The site lies between 2 neighbouring buildings located to the North and South. The new building sits directly on the Northern boundary with a 1m gap to the neighbouring building. This is also true of the Southern boundary where the neighbouring building is equal distance and height of No 48.</p> <p>The east and west elevations of the proposed building provide areas for windows with limited free wall space.</p> <p>Throughout summer and winter there would be very limited sunlight to the southern gable wall as No 46 casts a shadow over No. 48.</p> <p>Access for maintenance to the Northern boundary would not be possible as this is outside of the Clients ownership. Access to the south is restricted as there is only a 1m wide footpath.</p> <p>The area of flat roof is minimal with limited access.</p> <p>To conclude it is not viable to provide a living wall or roof as maintenance should be regarded just as important as any other</p>

	service required to a building. Maintenance would be monthly and involve the inspection of irrigation, drainage, plants, and light condition. For these reasons and the site constraints we do not consider it provide a long term surviving living wall or roof.
--	---