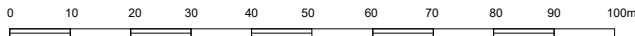
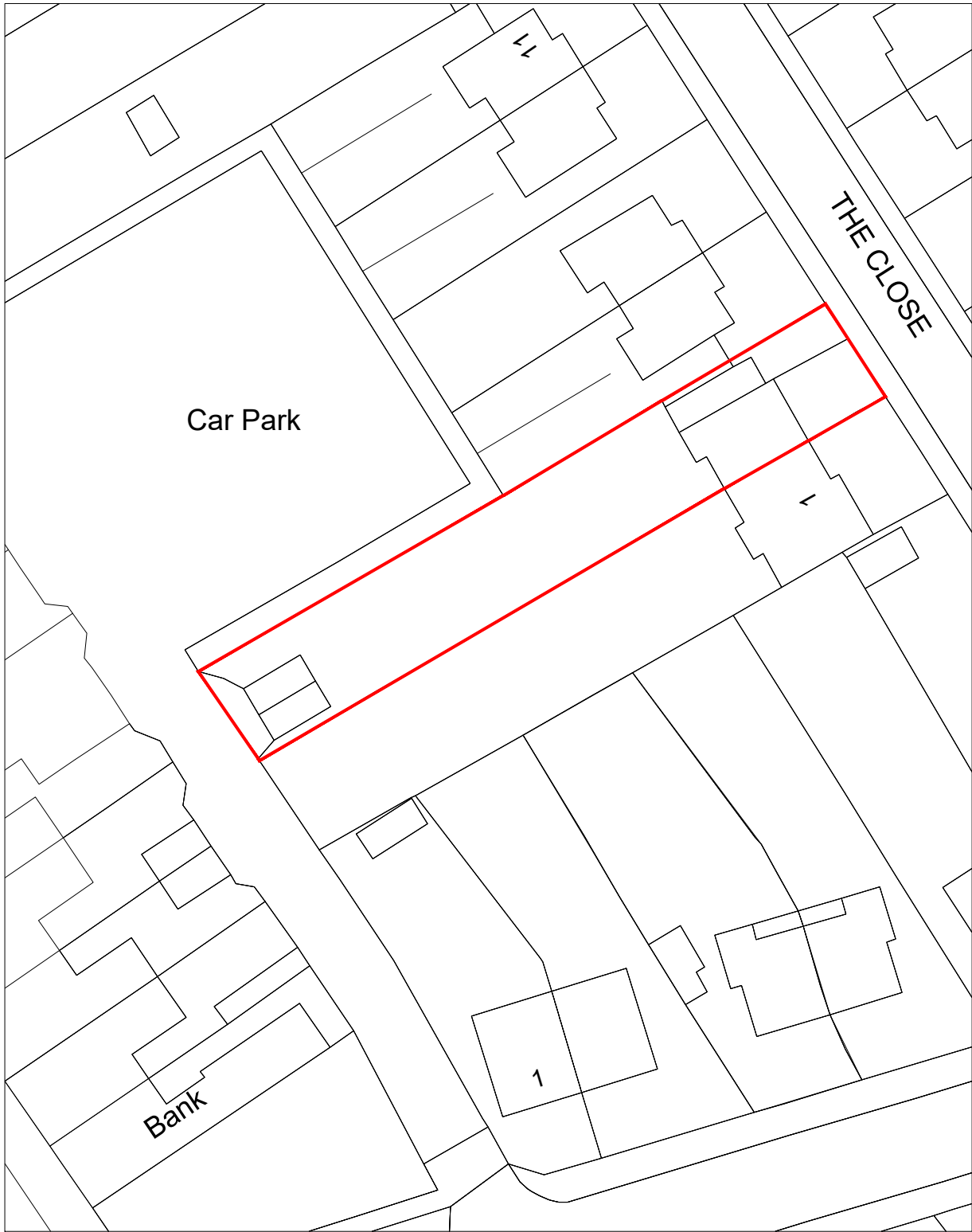
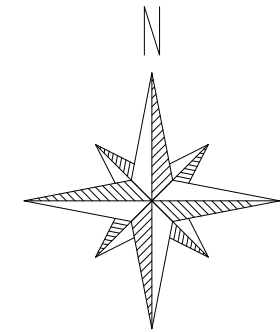


LOCATION PLAN  
SCALE 1:1250



APPLICATION SITE



EXISTING BLOCK P L A N  
SCALE 1:500



DRAWING NOTES

Dimensions	Written dimensions to be taken in preferences to scaled dimensions. The Contractor is responsible for checking all dimensions before work starts.
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Discrepancies	Any discrepancies to be brought to the attention of HCL immediately.

REVISIONS

REV	DATE	DESCRIPTION	BY	CH

PROJECT TITLE

3 The Close, Eastcote, Pinner

DRAWING TITLE

Location Plan

CLIENT

Michael Porter

DRAWING No.

100

REV

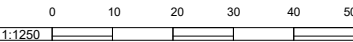
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DATE

09/02/23

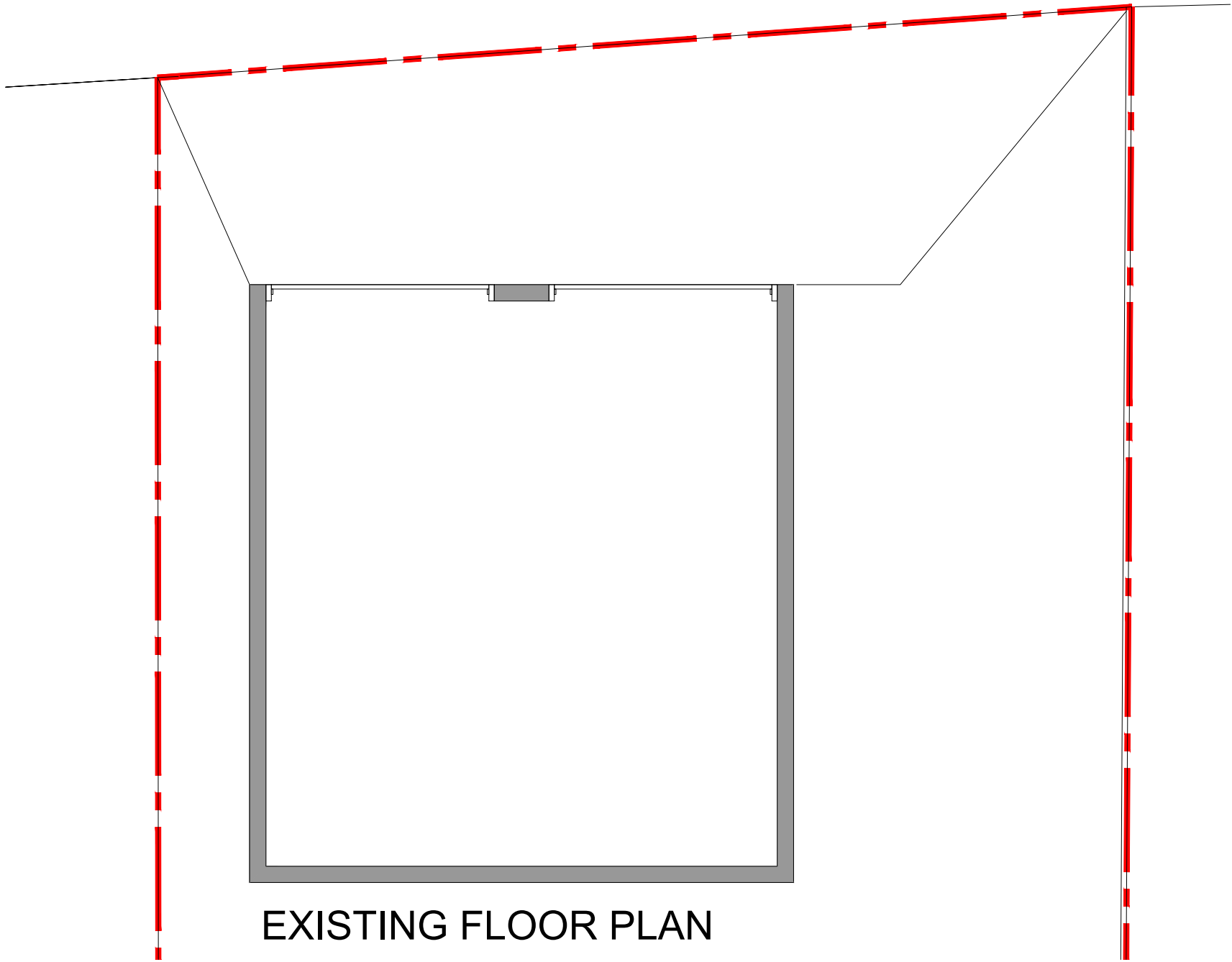
DRAWING STATUS

PLANNING

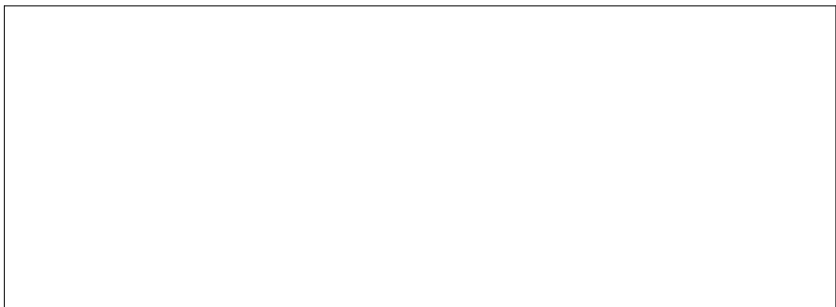


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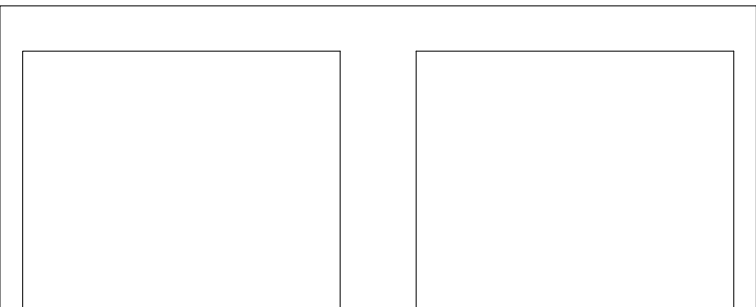




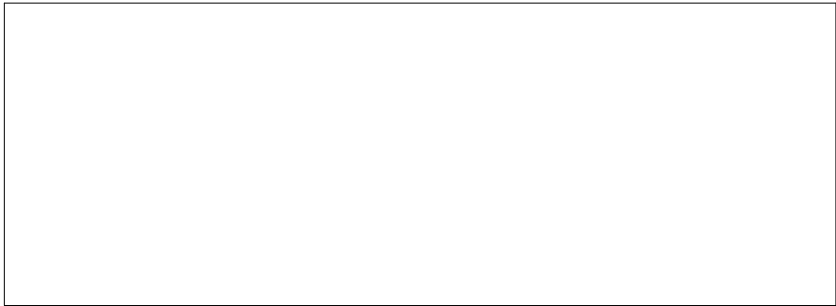
EXISTING FLOOR PLAN



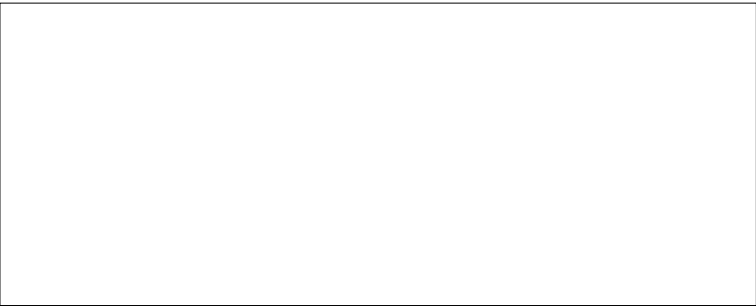
EXISTING RIGHT SIDE ELEVATION



EXISTING REAR ELEVATION



EXISTING LEFT SIDE ELEVATION



EXISTING FRONT ELEVATION

DRAWING NOTES

Dimensions Written dimensions to be taken in preferences to scaled dimensions. The Contractor is responsible for checking all dimensions before work starts.

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REVISIONS

REV	DATE	DESCRIPTION	BY	CH

PROJECT TITLE

3 The Close, Eastcote, Pinner

DRAWING TITLE

EXISTING FLOOR PLAN/ELEVATION

CLIENT

Michael Porter

DRAWING No.

HA-01

REV

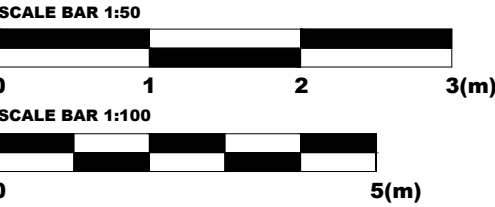
DATE

09/02/23

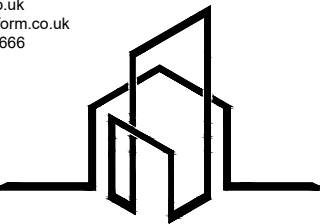
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PLANNING

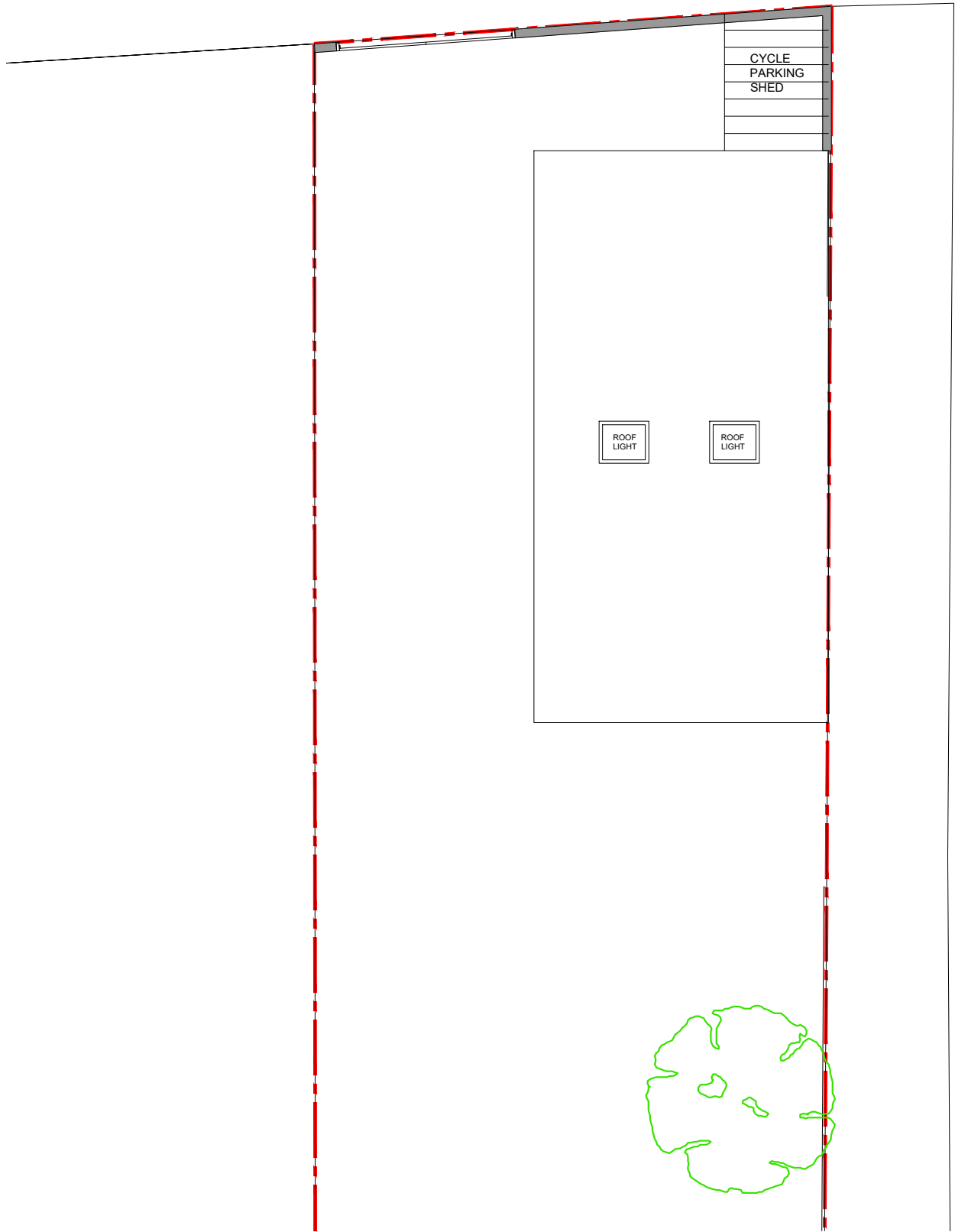
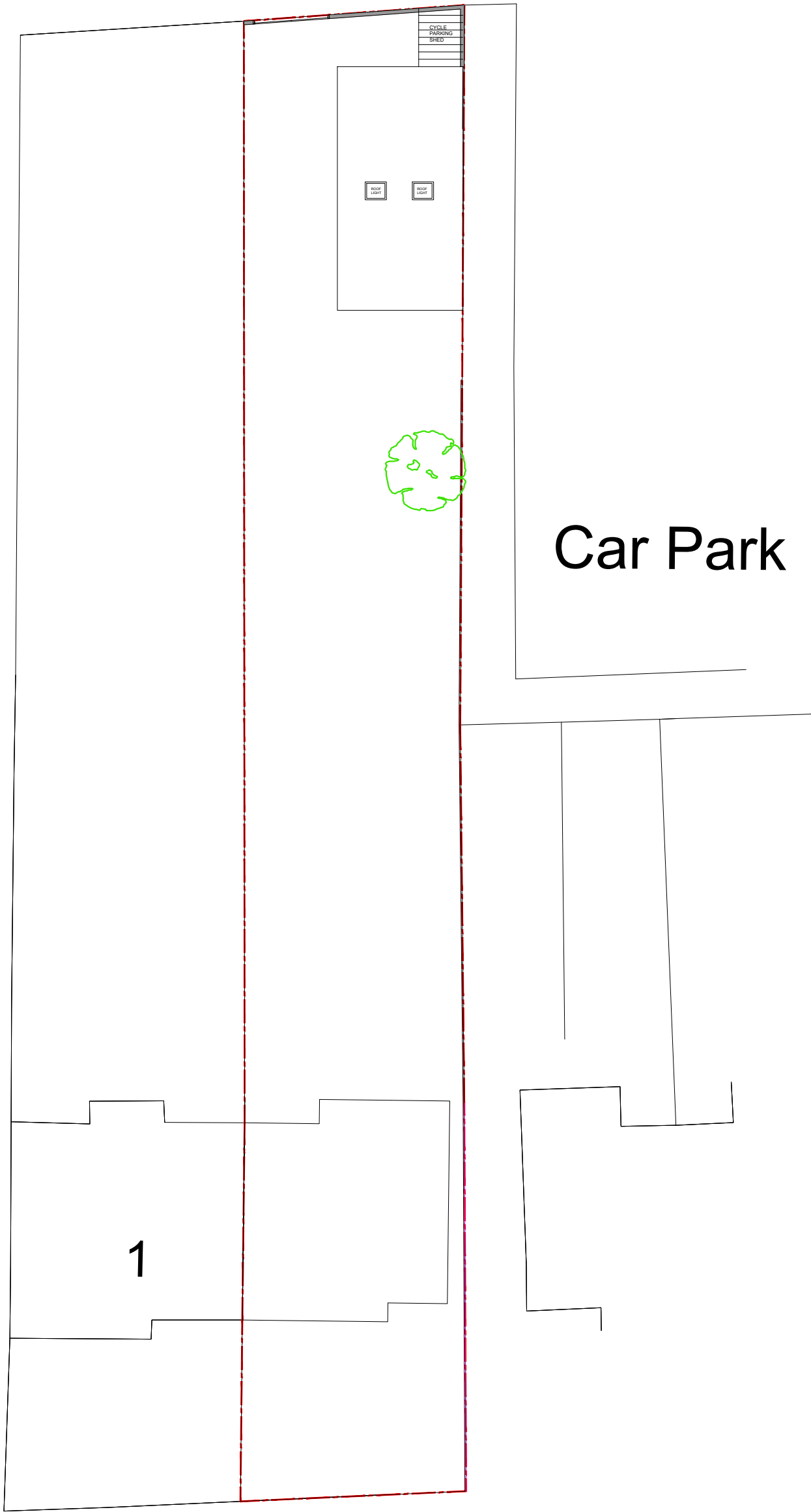
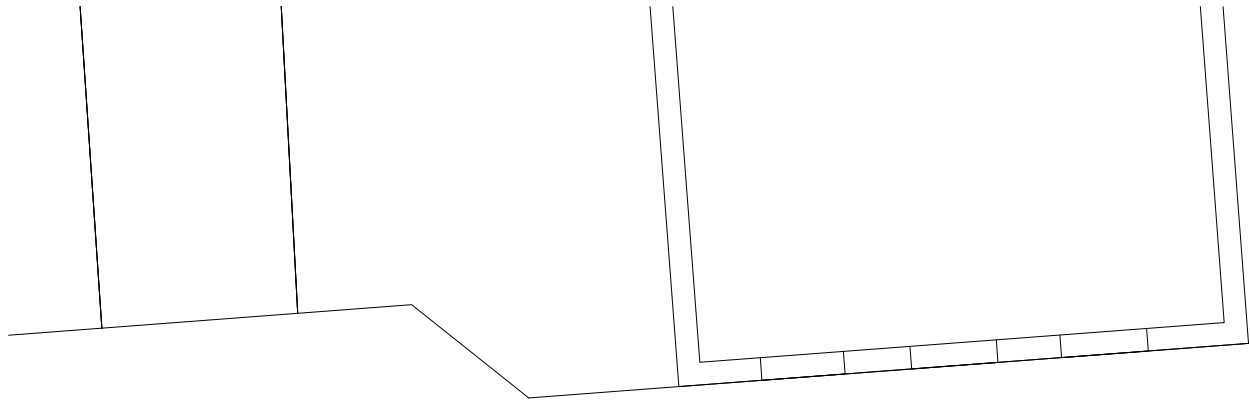
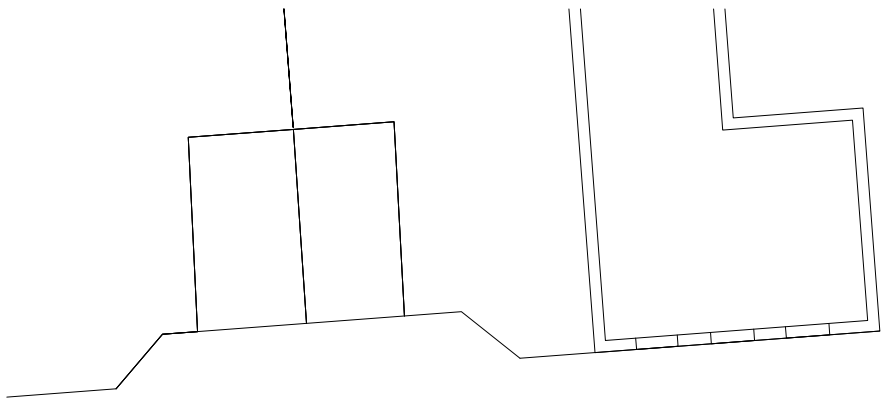
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HEXAFORM  
DESIGN AND BUILD



BLOCK PLAN- PROPOSED

DRAWING NOTES

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REVISIONS

REV	DATE	DESCRIPTION	BY	CH

PROJECT TITLE

3 The Close, Eastcote, Pinner

DRAWING TITLE

BLOCK PLAN

CLIENT

Michael Porter

DRAWING No.

HA-02

REV

DATE

09/02/23

DRAWING STATUS

PLANNING

SCALE @ A2 - 1:100 / 1:200

SCALE BAR 1:100



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6(m)

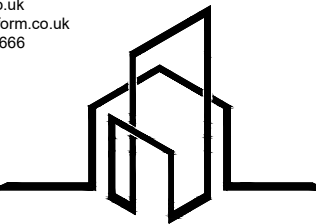
SCALE BAR 1:200



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10(m)

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HEXAFORM  
DESIGN AND BUILD

Asbestos can cause great harm to human health, and existing garages cannot be used as habitable spaces. Therefore, the existing asbestos garage will be demolished.

NEW BRICK BOUNDARY WALL  
MAX 2m HEIGHT

ELECTRIC VEHICLE  
CHARGING POINTS

CYCLE  
PARKING

GYM / PLAYROOM  
25.5m<sup>2</sup>

HOME OFFICE  
15.5m<sup>2</sup>

8948 [29'-4"]

## PROPOSED FLOOR PLAN

Proposed single storey outbuilding (external covered area = 50m<sup>2</sup>)

### GENERAL CONSTRUCTION

- Timber Frame(Tanalised)with 50mm Rockwool Insulated Cavity Incorporating breathable Foiled photon wrap
- Internal High Density particle board with washable Surface
- 80mm Interlocking Insulated Floor Panels sit on top of Concrete Pile Foundation
- Roof Kingspan 65 -95mm Thick Insulated Composite Panels - Olive Green Finish
- Shiplap T & G Cladding Constructed in Tanalised Redwood to all Elevations
- UPVC Doors & Window Frames, In Graphite Grey with Pilkington Glass

CYCLE  
PARKING  
SHED

ROOF  
LIGHT

ROOF  
LIGHT

## ROOF PLAN

Development and other buildings cover more than 50% of ground area around original dwelling? No

- (a)Existing plot area: 540 sq.m  
(b)Existing Dwelling: 70 sq.m  
(a)-(b)=470sq.m  
(c)Existing outbuilding: 27.5sq.m  
(d)Proposed Annex: 50sq.m

423 Sq. m free area retained after development is more than 50% of 470 Sq. m total original free area of plot, therefore proposal complies with Hillingdon Council policy HDAS SPD Residential Extensions:- 60 square metres for a 3 bedroom house

Why CLD should be granted?

The proposed complies with the guidelines set out in the following;  
Under Class E (Jan 2013) subsection E.1(a) All existing & proposed development occupies 36% of the cartilage which is less than the specified 50% limit  
(b) the development does not breech forward of the principal elevation  
(c) proposed is single storey  
(d) maximum height is 2.5m (as defined above)  
(e) eaves height is less than 3.0m (as defined above)  
(f) existing building is not listed  
(g) no balconies, verandas or raised platforms  
(h) not an extension to the main building nor an antenna  
(i) not a container. Furthermore, the proposed is sited far greater than 5m away from the nearest part of the existing building.

The use of the outbuilding would be ancillary to the main dwelling house. It would include exercise and relaxation area, office and WC, which based on then nature of the rooms and proximity to the main building would be used on an occasional

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### REVISIONS

REV	DATE	DESCRIPTION	BY	CH

### PROJECT TITLE

3 The Close, Eastcote, Pinner

### DRAWING TITLE

### PROPOSED FLOOR PLAN

### CLIENT

Michael Porter

DRAWING No.

REV

HA-03

DATE

DRAWING STATUS

09/02/23

PLANNING

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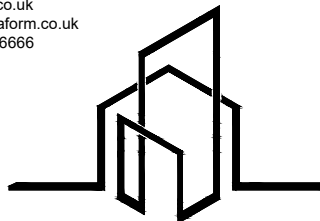
SCALE BAR 1:50



SCALE BAR 1:100



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HEXA FORM  
DESIGN AND BUILD

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REVISIONS

REV	DATE	DESCRIPTION	BY	CH

PROJECT TITLE

3 The Close, Eastcote, Pinner

DRAWING TITLE

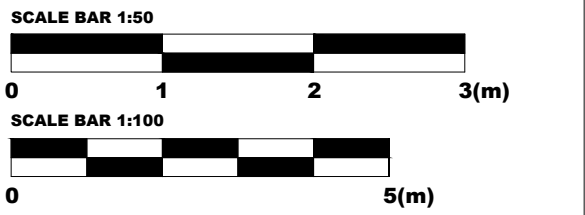
PROPOSED ELEVATION

CLIENT

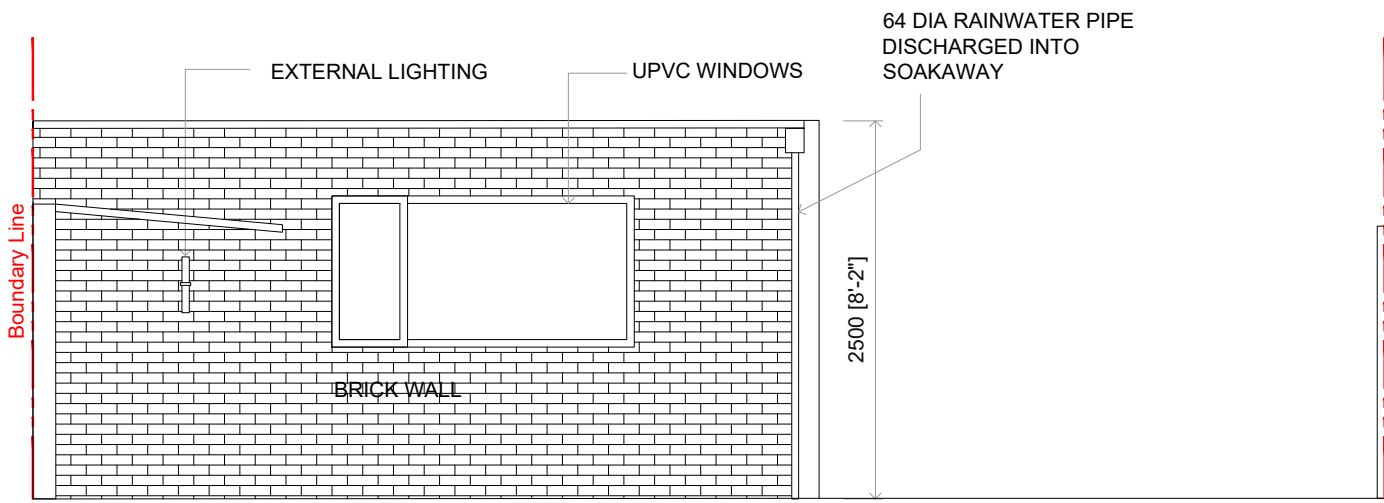
Michael Porter

DRAWING No.		REV
HA-04		
DATE	DRAWING STATUS	
09/02/23	PLANNING	

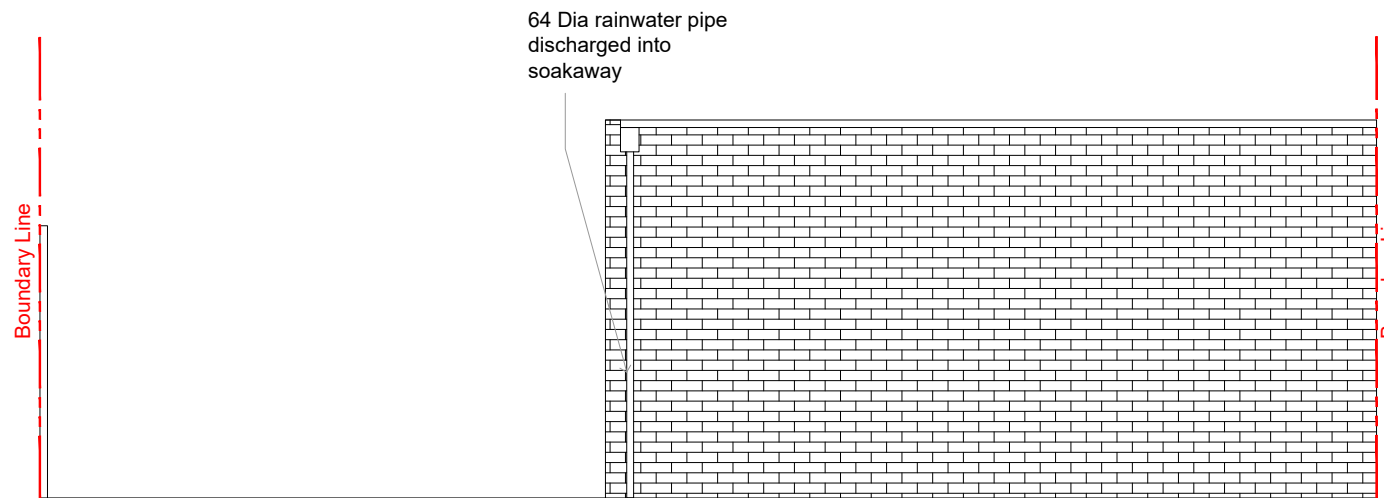
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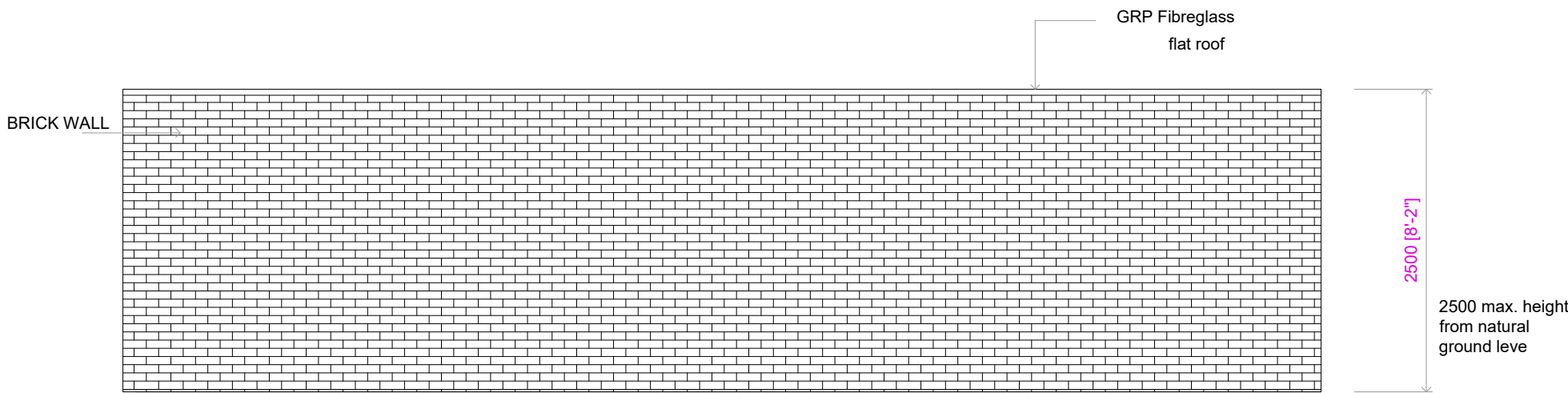
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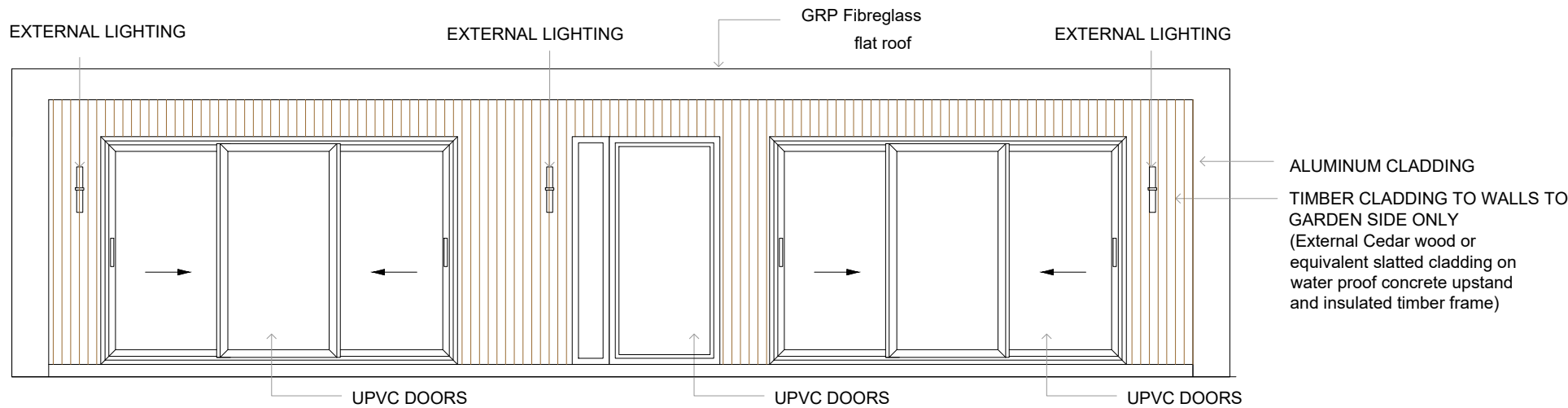
PROPOSED REAR ELEVATION



PROPOSED FRONT ELEVATION



PROPOSED RIGHT SIDE ELEVATION



PROPOSED LEFT SIDE ELEVATION