

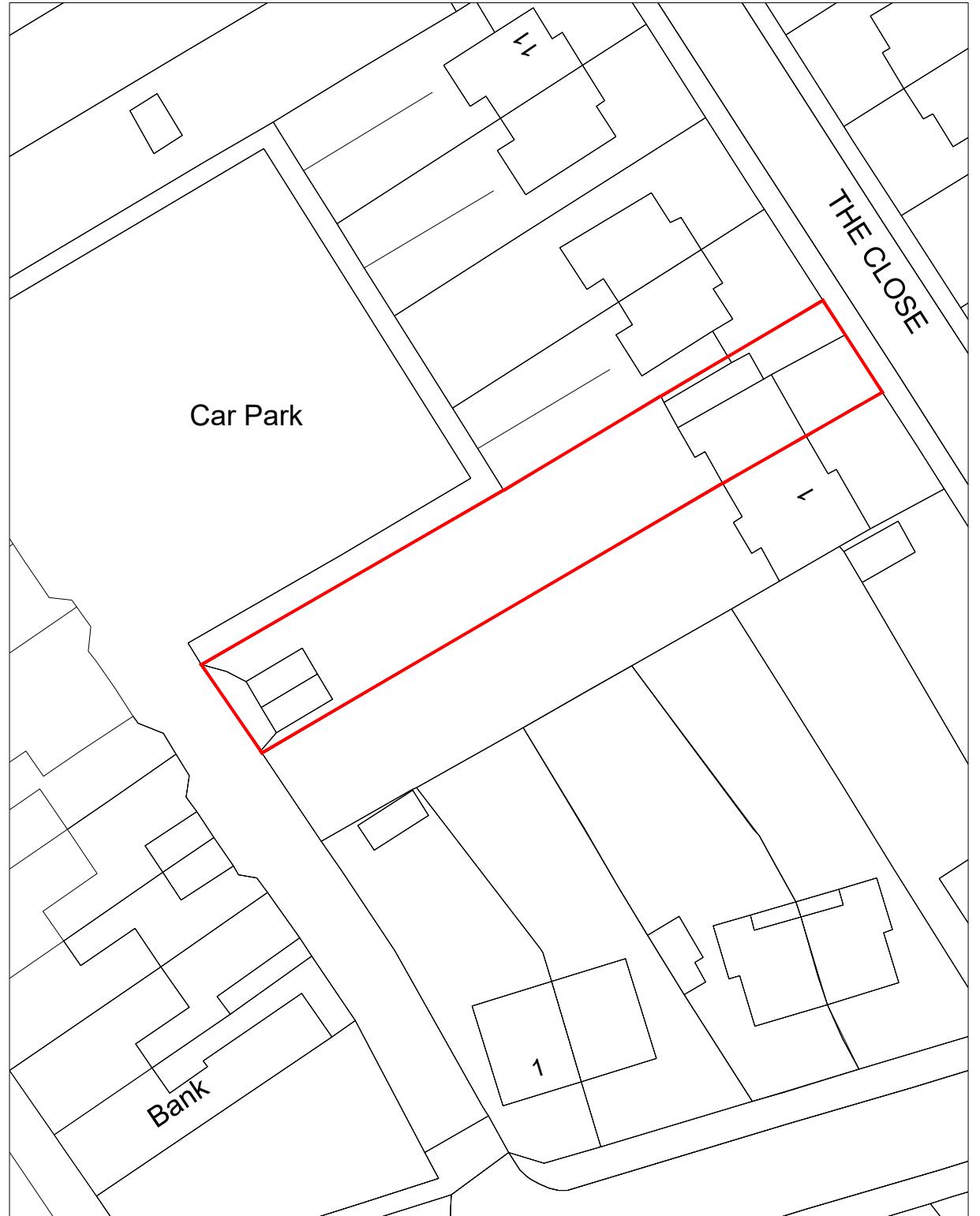
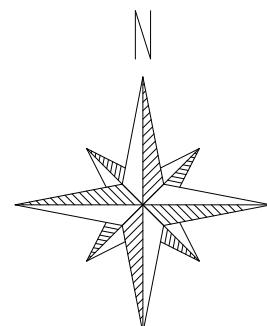


LOCATION PLAN

SCALE 1:1250

0 10 20 30 40 50 60 70 80 90 100m

APPLICATION SITE



EXISTING BLOCK PLAN

SCALE 1:500

0 10 20 30 40 50m

DRAWING NOTES

Dimensions Written dimensions to be taken in preference to scaled dimensions. The Contractor is responsible for checking all dimensions before work starts.

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Discrepancies Any discrepancies to be brought to the attention of HCL immediately.

REVISIONS

REV	DATE	DESCRIPTION	BY	CH

PROJECT TITLE

3 The Close, Eastcote, Pinner

DRAWING TITLE

Location Plan

CLIENT

Michael Porter

DRAWING No. REV

100

SCALE @ A3 - 1:1250/1:500

DATE	DRAWING STATUS
09/02/23	PLANNING

0 10 20 30 40 50m

1:1250

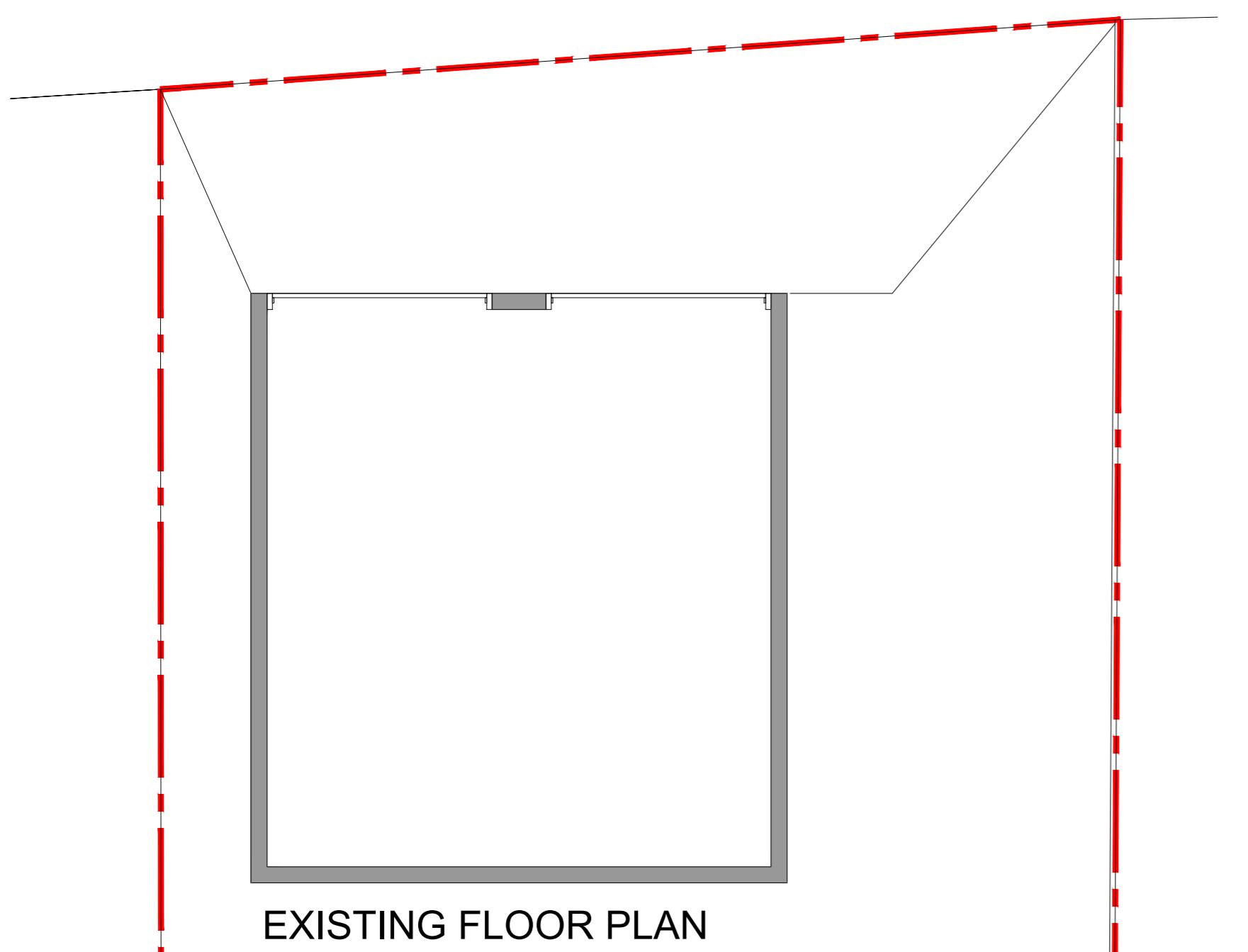
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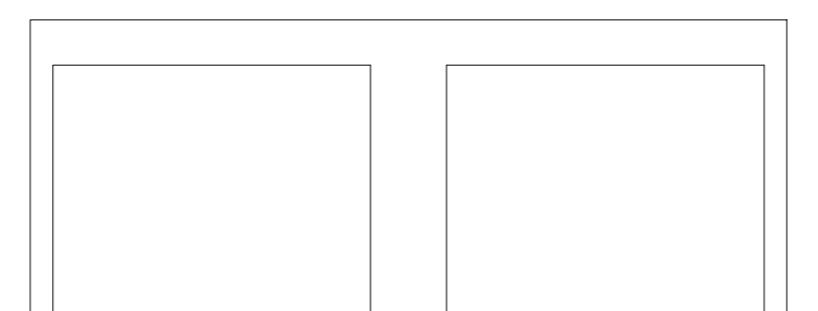
DESIGN AND BUILD



EXISTING FLOOR PLAN



EXISTING RIGHT SIDE ELEVATION



EXISTING REAR ELEVATION



EXISTING LEFT SIDE ELEVATION



EXISTING FRONT ELEVATION

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REV	DATE	DESCRIPTION	BY	CH

PROJECT TITLE

3 The Close, Eastcote, Pinner

DRAWING TITLE

EXISTING FLOOR PLAN/ELEVATION

CLIENT

Michael Porter

DRAWING No.	REV
HA-01	
DATE	DRAWING STATUS
09/02/23	PLANNING

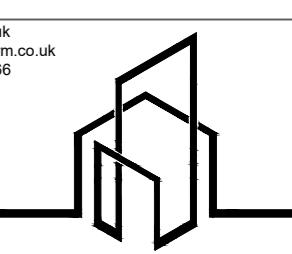
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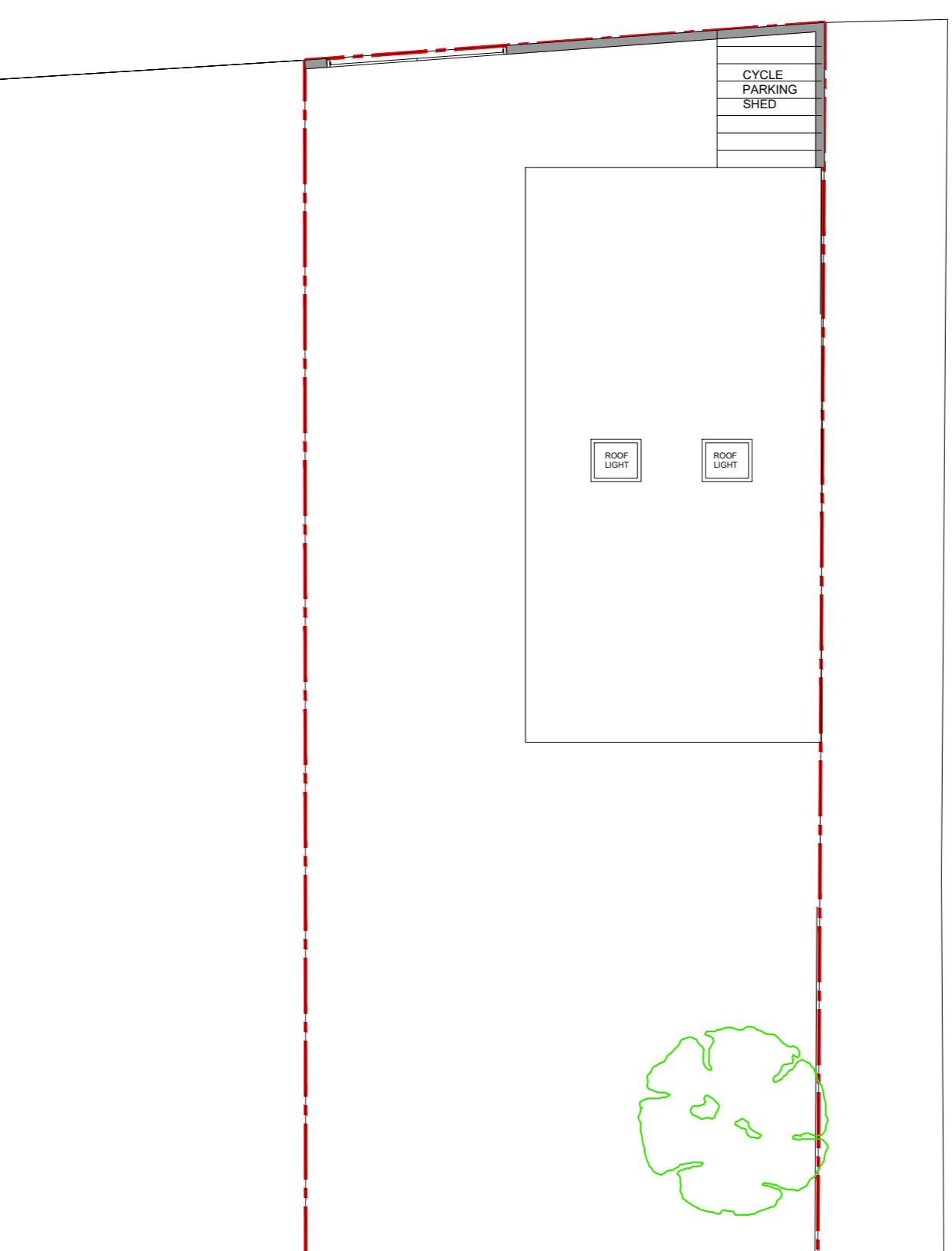
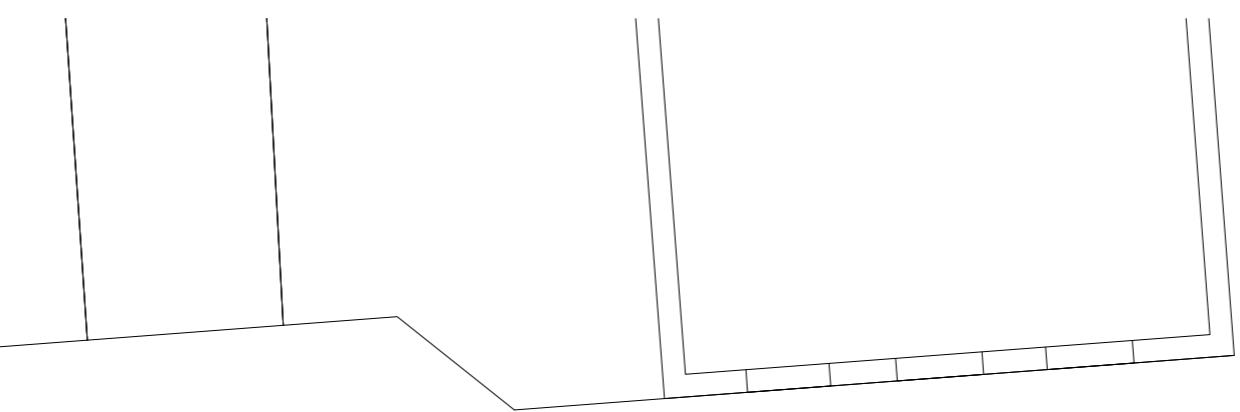
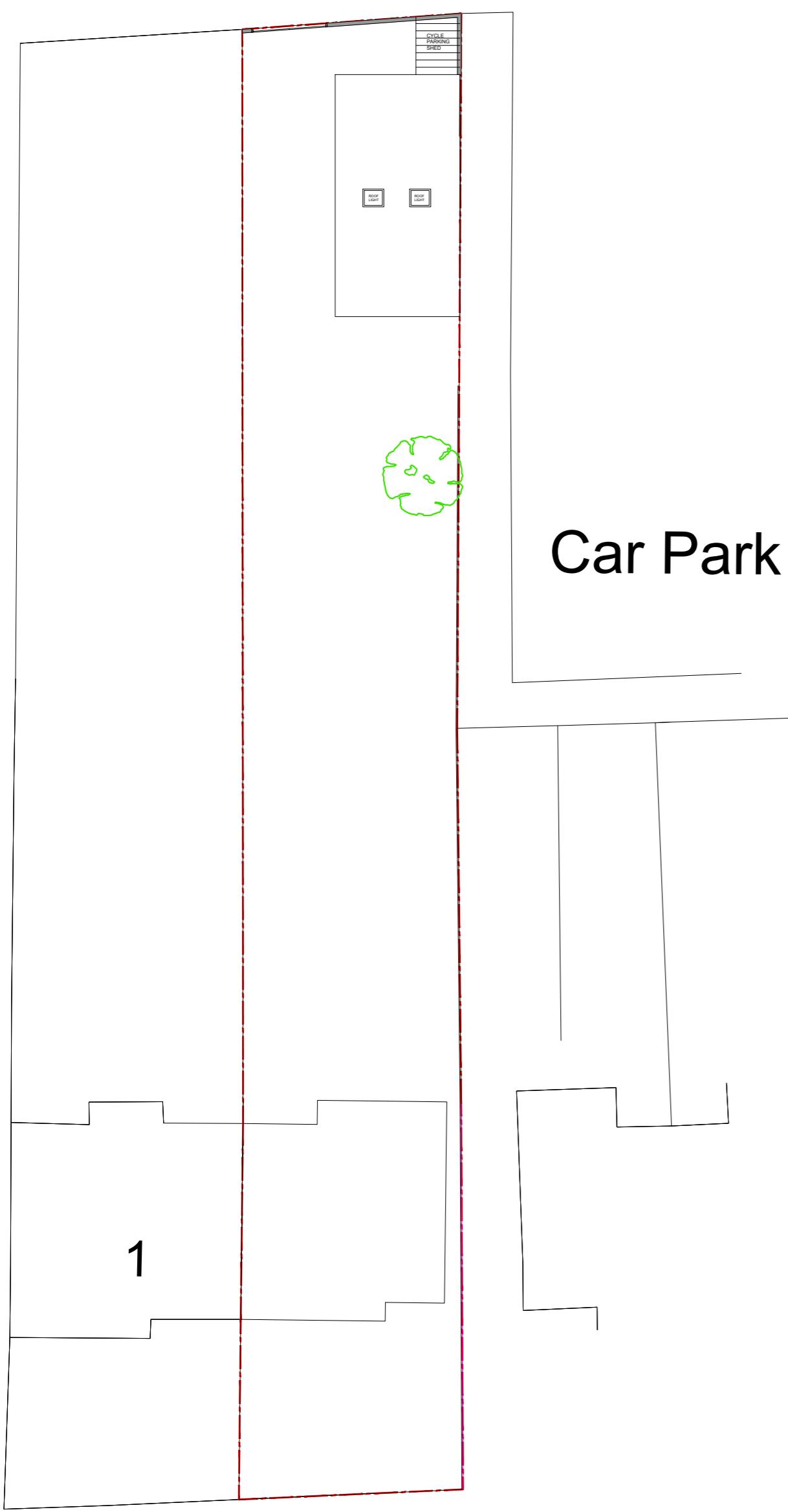
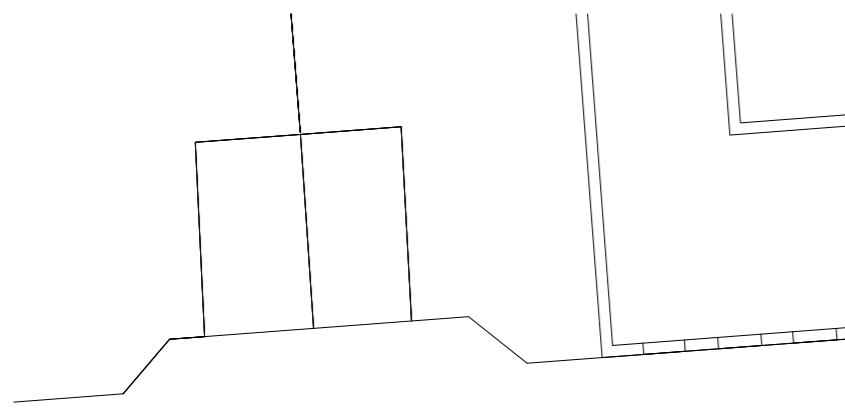
SCALE BAR 1:100



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REVISIONS			
REV	DATE	DESCRIPTION	BY CH

PROJECT TITLE

3 The Close, Eastcote, Pinner

DRAWING TITLE

BLOCK PLAN

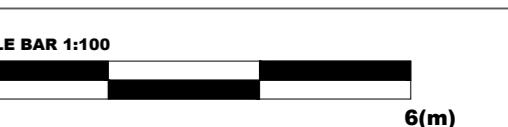
CLIENT

Michael Porter

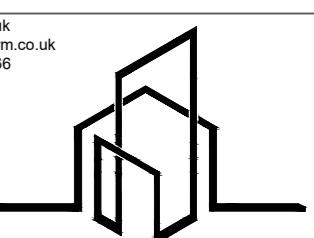
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HA-02	

DATE	DRAWING STATUS
09/02/23	PLANNING

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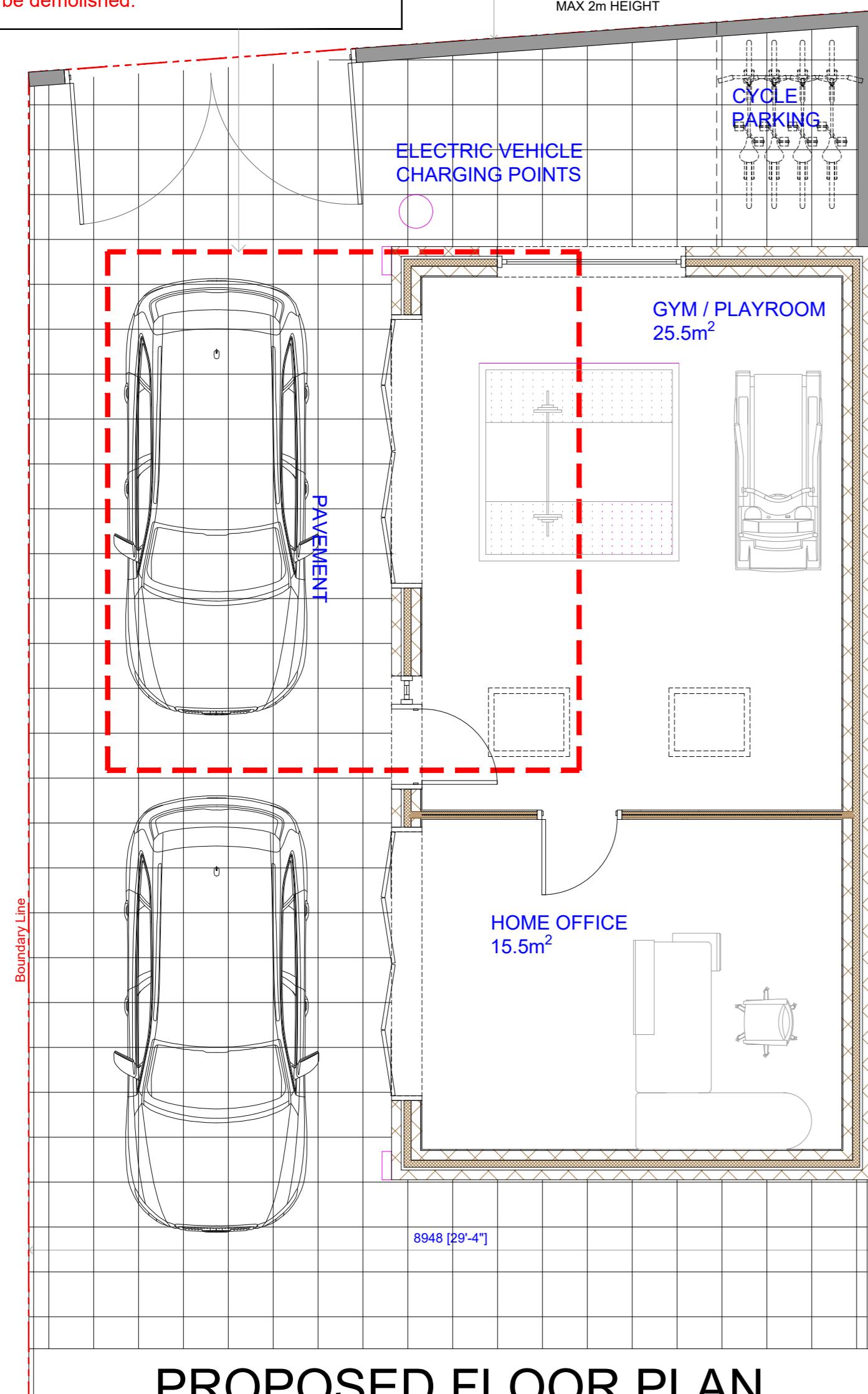
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Asbestos can cause great harm to human health, and existing garages cannot be used as habitable spaces.
Therefore, the existing asbestos garage will be demolished.

NEW BRICK BOUNDARY WALL
MAX 2m HEIGHT

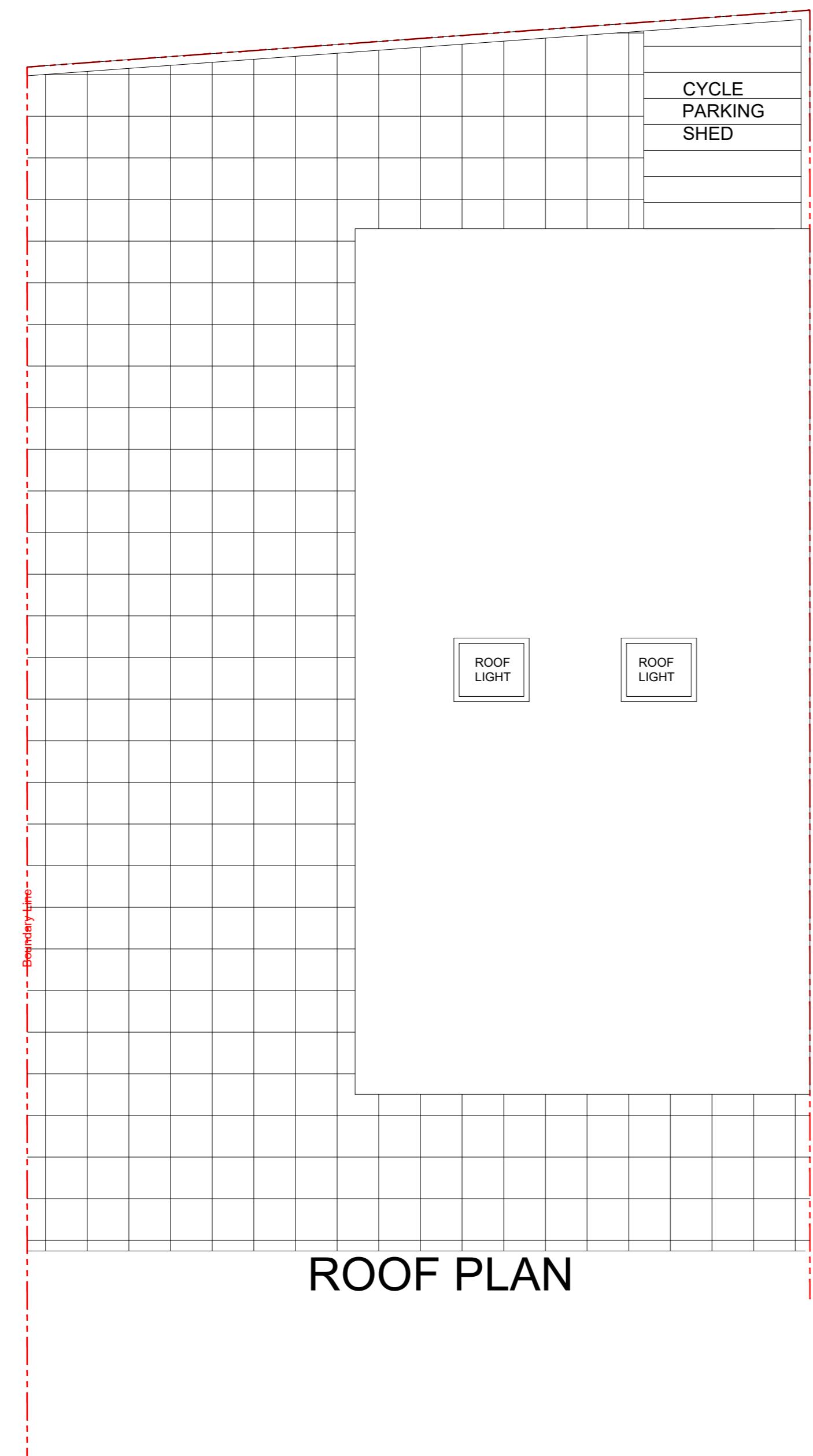


PROPOSED FLOOR PLAN

Proposed single storey outbuilding (external covered area = 50m²)

GENERAL CONSTRUCTION

- Timber Frame(Tanalised)with 50mm Rockwool Insulated Cavity Incorporating breathable Foiled photon wrap
- Internal High Density particle board with washable Surface
- 80mm Interlocking Insulated Floor Panels sit on top of Concrete Pile Foundation
- Roof Kingspan 65 -95mm Thick Insulated Composite Panels - Olive Green Finish
- Shiplap T & G Cladding Constructed in Tanalised Redwood to all Elevations
- UPVC Doors & Window Frames, In Graphite Grey with Pilkington Glass



ROOF PLAN

Development and other buildings cover more than 50% of ground area around original dwelling? No

(a) Existing plot area: 540 sq.m
(b) Existing Dwelling: 70 sq.m
(a)-(b)=470sq.m
(c) Existing outbuilding: 27.5sq.m
(d) Proposed Annex: 50sq.m
423 Sq. m free area retained after development is more than 50% of 470 Sq. m total original free area of plot, therefore proposal complies with Hillingdon Council policy HDAS SPD Residential Extensions:- 60 square metres for a 3 bedroom house

Why CLD should be granted?

The proposed complies with the guidelines set out in the following:
Under Class E (Jan 2013) subsection
E.1(a) All existing & proposed development occupies 36% of the curtilage which is less than the specified 50% limit
(b) the development does not breach forward of the principal elevation
(c) proposed is single storey
(d) maximum height is 2.5m (as defined above)
(e) eaves height is less than 3.0m (as defined above)
(f) existing building is not listed
(g) no balconies, verandas or raised platforms
(h) not an extension to the main building nor an antenna
(i) not a container. Furthermore, the proposed is sited far greater than 5m away from the nearest part of the existing building.

The use of the outbuilding would be ancillary to the main dwelling house. It would include exercise and relaxation area, office and WC, which based on the nature of the rooms and proximity to the main building would be used on an occasional

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REVISIONS

REV	DATE	DESCRIPTION	BY	CH

PROJECT TITLE

3 The Close, Eastcote, Pinner

DRAWING TITLE

PROPOSED FLOOR PLAN

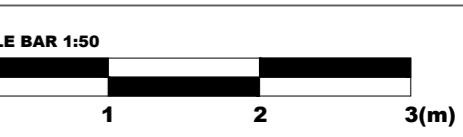
CLIENT

Michael Porter

DRAWING No.	REV
HA-03	

DATE	DRAWING STATUS
09/02/23	PLANNING

SCALE @ A2 - 1:50



SCALE BAR 1:100



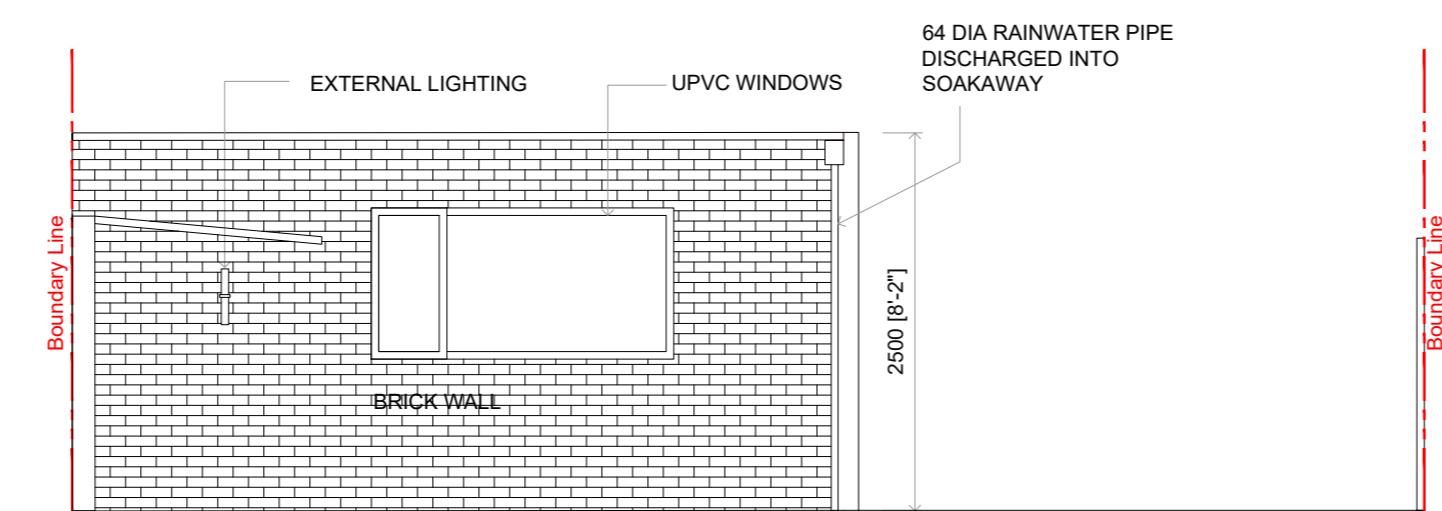
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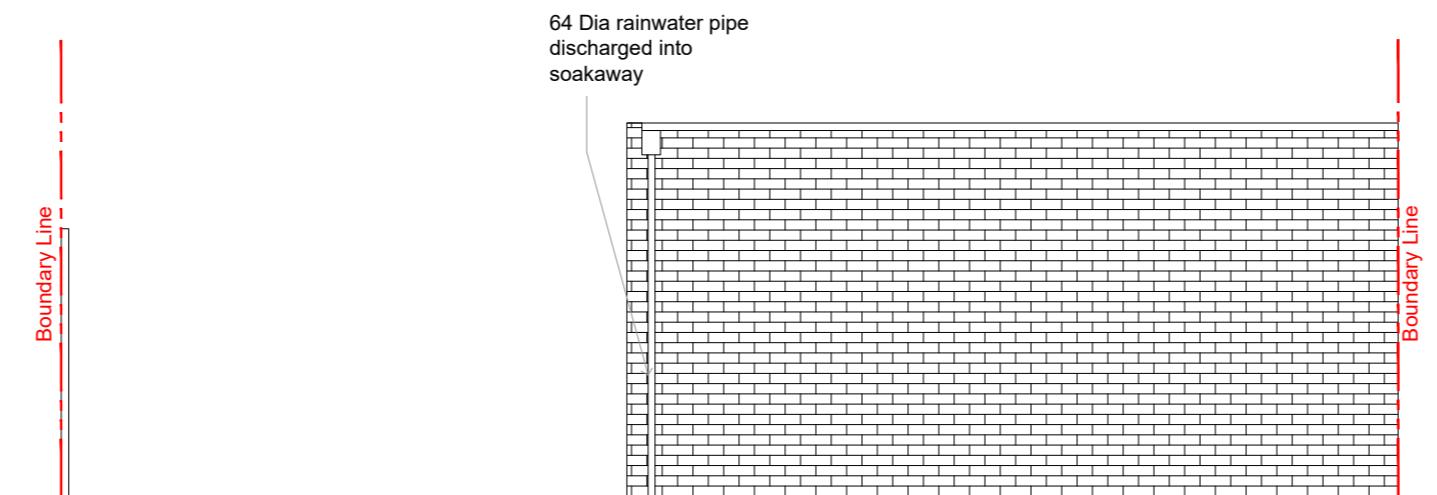
HEXAFORM
DESIGN AND BUILD

DRAWING NOTES

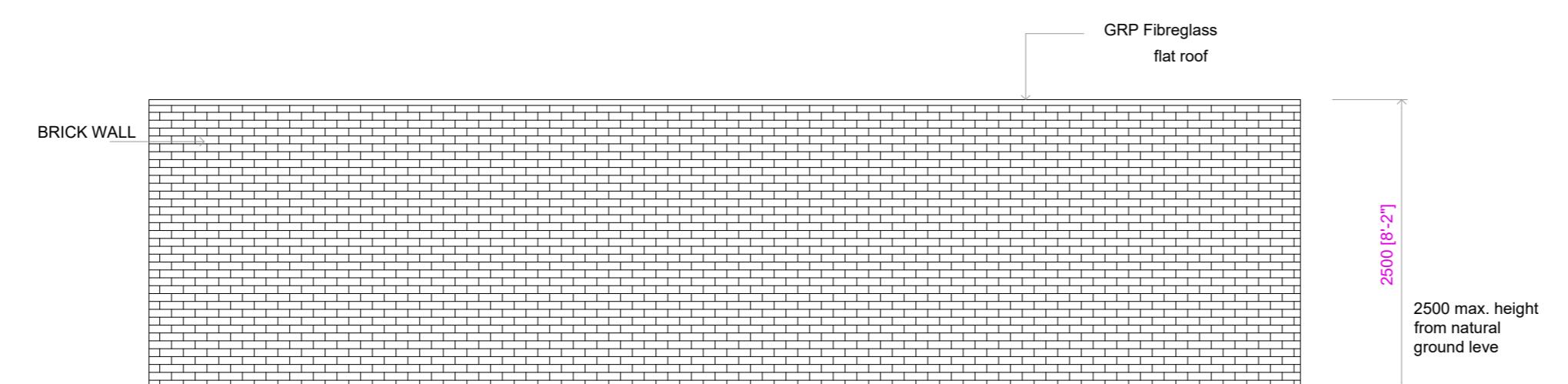
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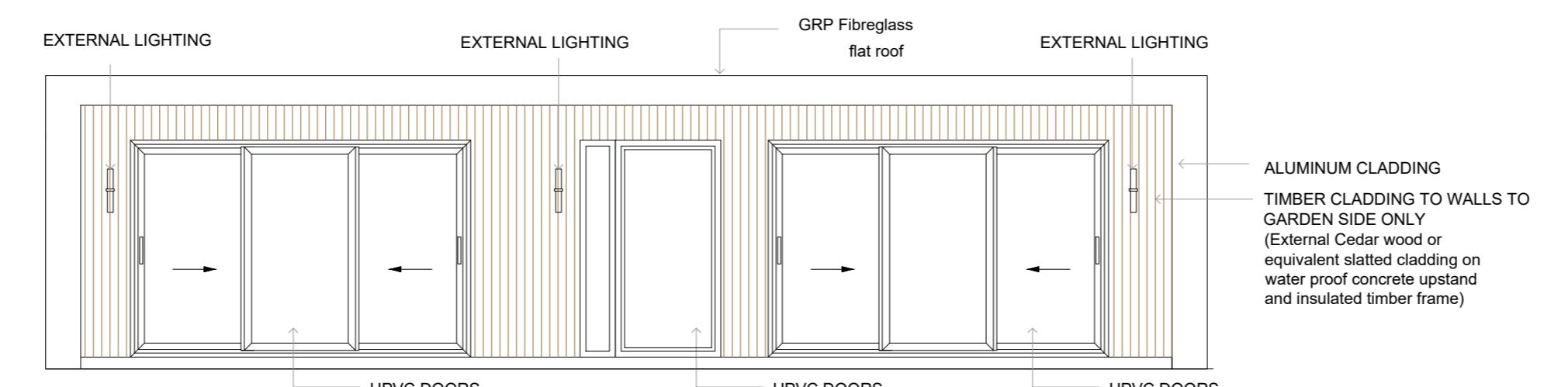
PROPOSED REAR ELEVATION



PROPOSED FRONT ELEVATION



PROPOSED RIGHT SIDE ELEVATION



PROPOSED LEFT SIDE ELEVATION

REVISIONS			
REV	DATE	DESCRIPTION	BY CH

PROJECT TITLE
3 The Close, Eastcote, Pinner

DRAWING TITLE

PROPOSED ELEVATION

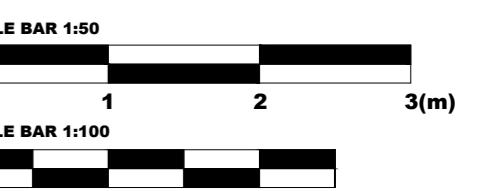
CLIENT

Michael Porter

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09/02/23	PLANNING

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