

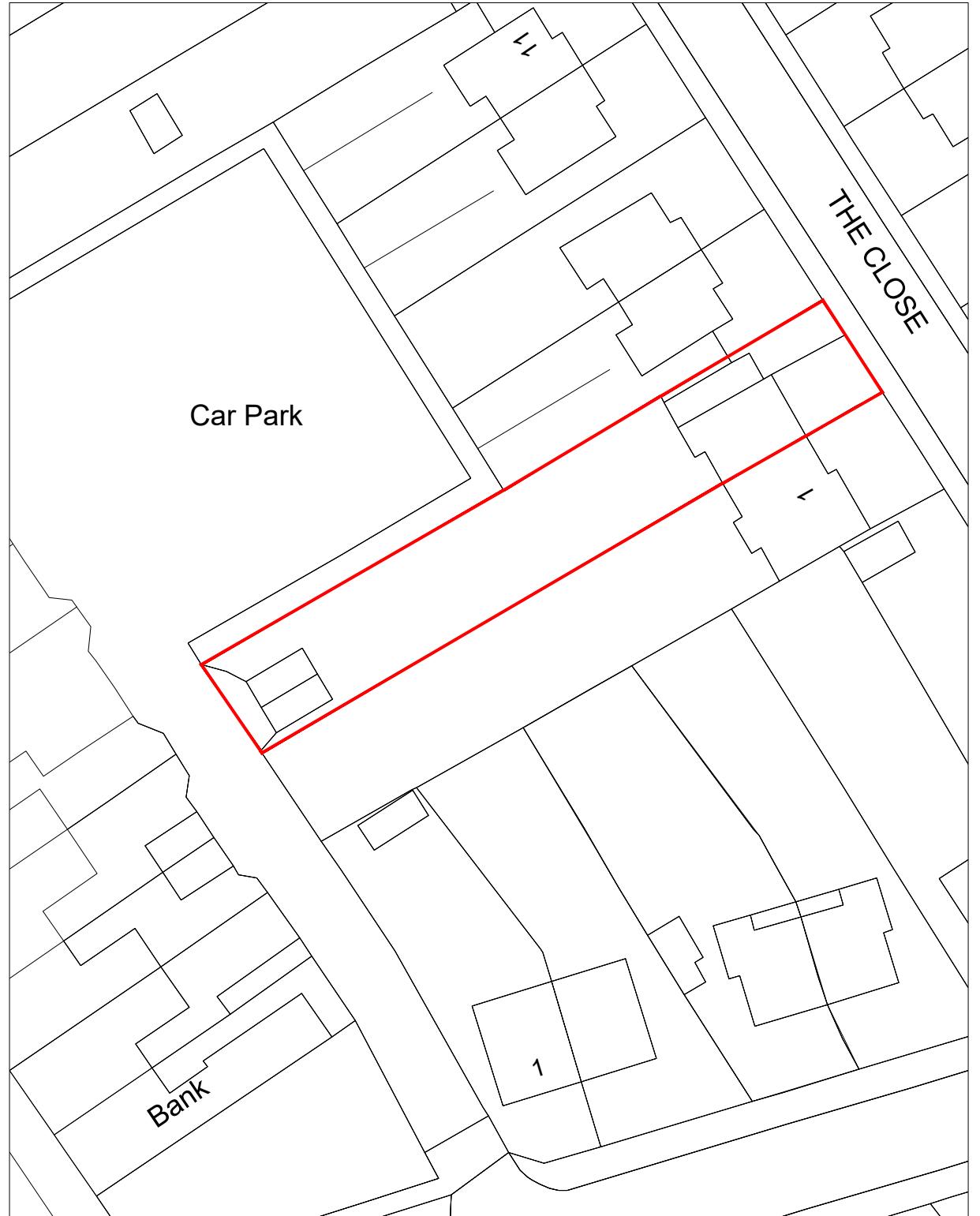
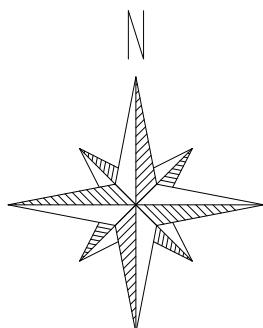


LOCATION PLAN

SCALE 1:1250

0 10 20 30 40 50 60 70 80 90 100m

APPLICATION SITE



BLOCK PLAN

SCALE 1:500

0 10 20 30 40 50m

DRAWING NOTES

Dimensions Written dimensions to be taken in preference to scaled dimensions. The Contractor is responsible for checking all dimensions before work starts.

Local Authority All work is to be carried out to the requirements, and to the satisfaction of the Local Authority. These drawings are for planning purposes only.

Discrepancies Any discrepancies to be brought to the attention of HCL immediately.

REVISIONS

REV	DATE	DESCRIPTION	BY	CH

PROJECT TITLE

3 The Close, Eastcote, Pinner

DRAWING TITLE

Location Plan

CLIENT

Michael Porter

DRAWING No. REV

100

SCALE @ A3 - 1:1250/1:500

DATE	DRAWING STATUS
07/06/22	PLANNING

0 10 20 30 40 50  
1:1250

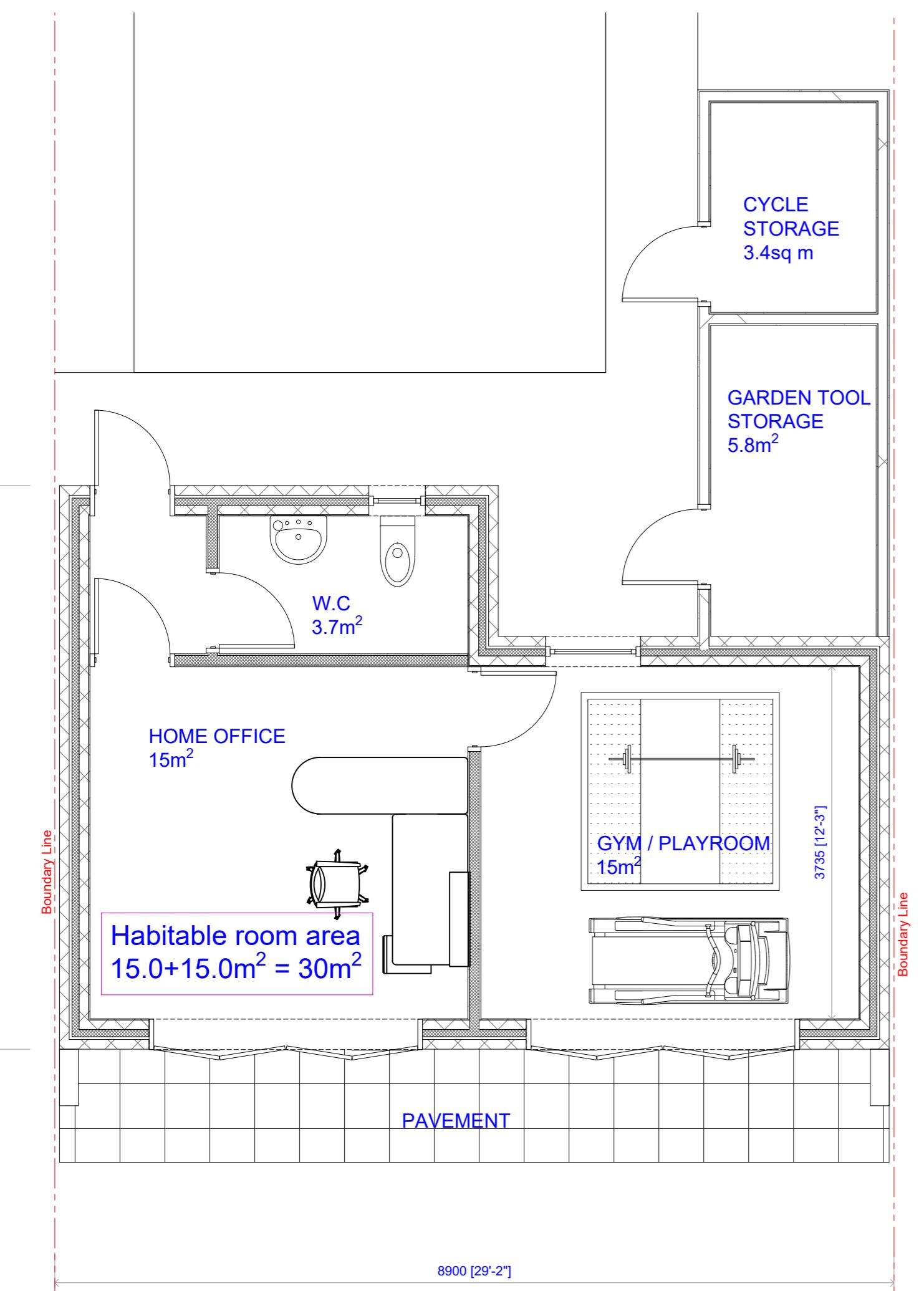
www.hexafarm.co.uk  
email: info@hexafarm.co.uk  
mobile: 07366006666



HEXA FARM  
DESIGN AND BUILD

## DRAWING NOTES

Dimensions	Written dimensions to be taken in preference to scaled dimensions. The Contractor is responsible for checking all dimensions before work starts.
Local Authority	All work is to be carried out to the requirements, and to the satisfaction of the Local Authority. These drawings are for planning purposes only
Discrepancies	Any discrepancies to be brought to the attention of HCL immediately.



## PROPOSED FLOOR PLAN

PROPOSED OUTBUILDING TO BE USED  
ANCILLARY TO THE MAIN DWELLING  
(GYM / OFFICE)

## ROOF PLAN

Development and other buildings cover more than 50% of ground area around original dwelling? No

(a) Existing plot area: 540 sq.m  
(b) Existing Dwelling, Extension and garage: 97.5 sq.m  
(a)-(b) = 442.5sq.m

(c) Proposed Annex: 46.3sq.m  
(d) Proposed Cycle/Garden storage: 11.7sq.m  
= 58 sq.m (13%)

384.5 Sq. m free area retained after development is more than 50% of 442.5 Sq. m total original free area of plot, therefore proposal complies with Hillingdon Council policy HDAS SPD Residential Extensions:- 60 square metres for a 3 bedroom house

Why CLD should be granted?

The proposed complies with the guidelines set out in the following:  
Under Class E (Jan 2013) subsection  
E.1(a) All existing & proposed development occupies 36% of the curtilage which is less than the specified 50% limit  
(b) the development does not breach forward of the principal elevation  
(c) proposed is single storey  
(d) maximum height is 2.5m (as defined above)  
(e) eaves height is less than 3.0m (as defined above)  
(f) existing building is not listed  
(g) no balconies, verandas or raised platforms  
(h) not an extension to the main building nor an antenna  
(i) not a container. Furthermore, the proposed is sited far greater than 5m away from the nearest part of the existing building.

The use of the outbuilding would be ancillary to the main dwelling house. It would include exercise and relaxation area, office and WC, which based on the nature of the rooms and proximity to the main building would be used on an occasional

REVISIONS			
REV	DATE	DESCRIPTION	BY CH

PROJECT TITLE  
3 The Close, Eastcote, Pinner

DRAWING TITLE  
PROPOSED FLOOR PLAN

CLIENT  
Michael Porter

DRAWING No.	REV
HA-03	

DATE	DRAWING STATUS
07/06/22	PLANNING

SCALE @ A2 - 1:50

SCALE BAR 1:50  
0 1 2 3(m)

SCALE BAR 1:100  
0 5(m)

www.hexaform.co.uk  
email:info@hexaform.co.uk  
mobile:07366006666

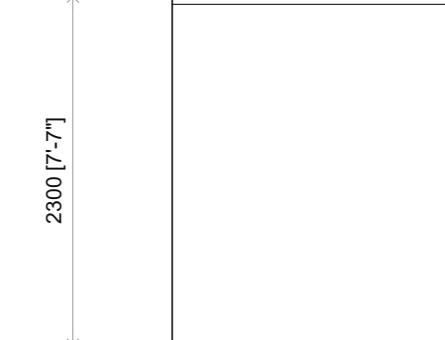


HEXAFORM  
DESIGN AND BUILD

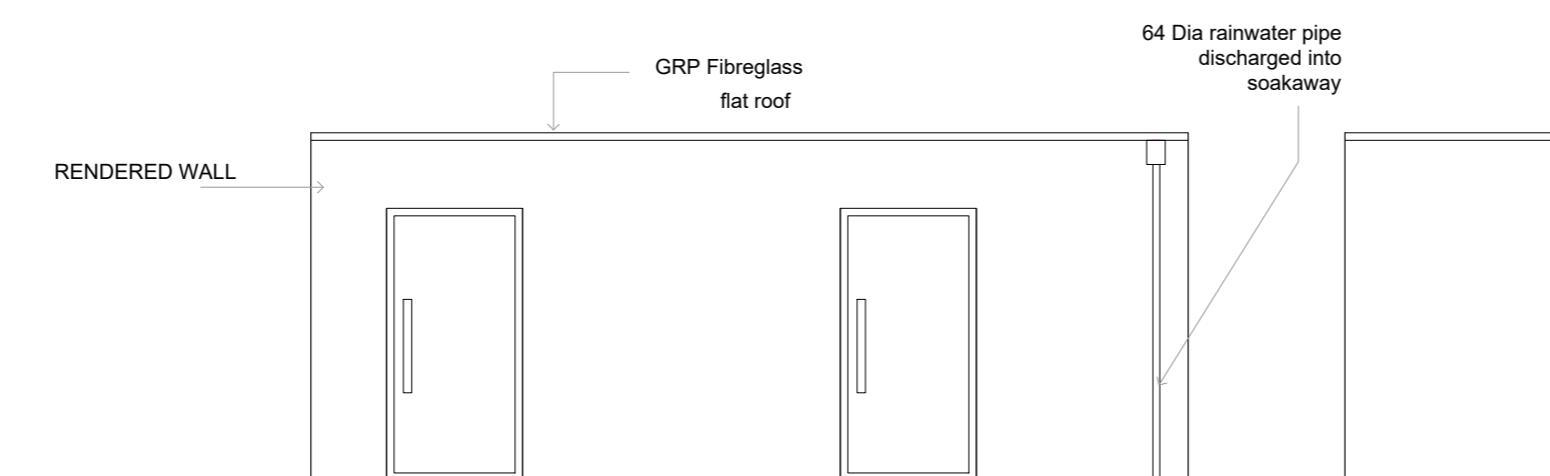
## DRAWING NOTES

Dimensions	Written dimensions to be taken in preferences to scaled dimensions. The Contractor is responsible for checking all dimensions before work starts.
Local Authority	All work is to be carried out to the requirements, and to the satisfaction of the Local Authority. These drawings are for planning purposes only
Discrepancies	Any discrepancies to be brought to the attention of HCL immediately.

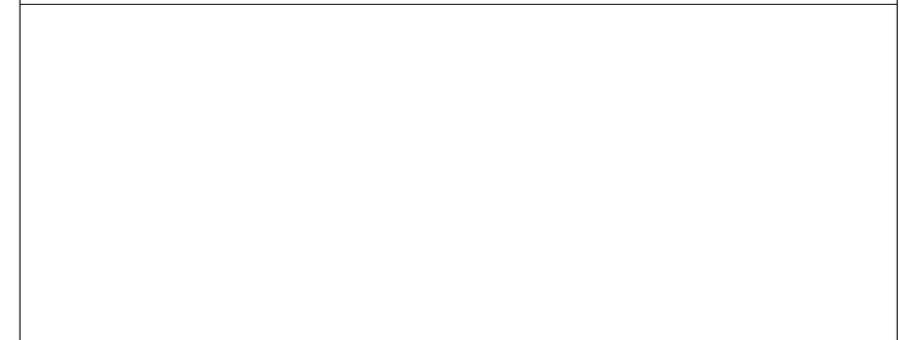
Proposed Annex(outbuilding)



PROPOSED REAR ELEVATION



PROPOSED LEFT SIDE ELEVATION

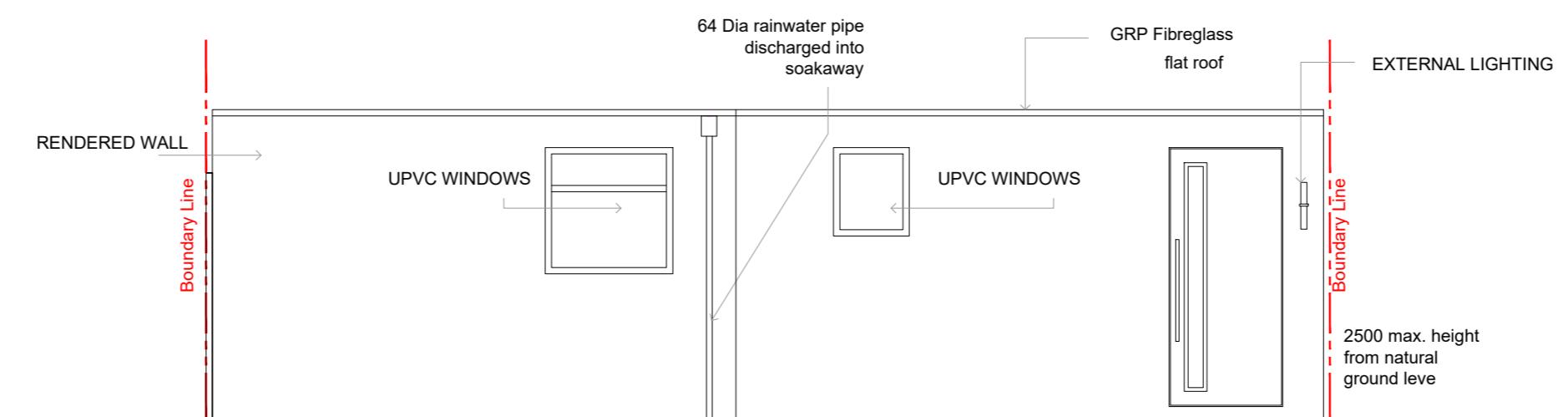


PROPOSED RIGHT SIDE ELEVATION

Proposed Cycle/Garden storage(outbuilding)



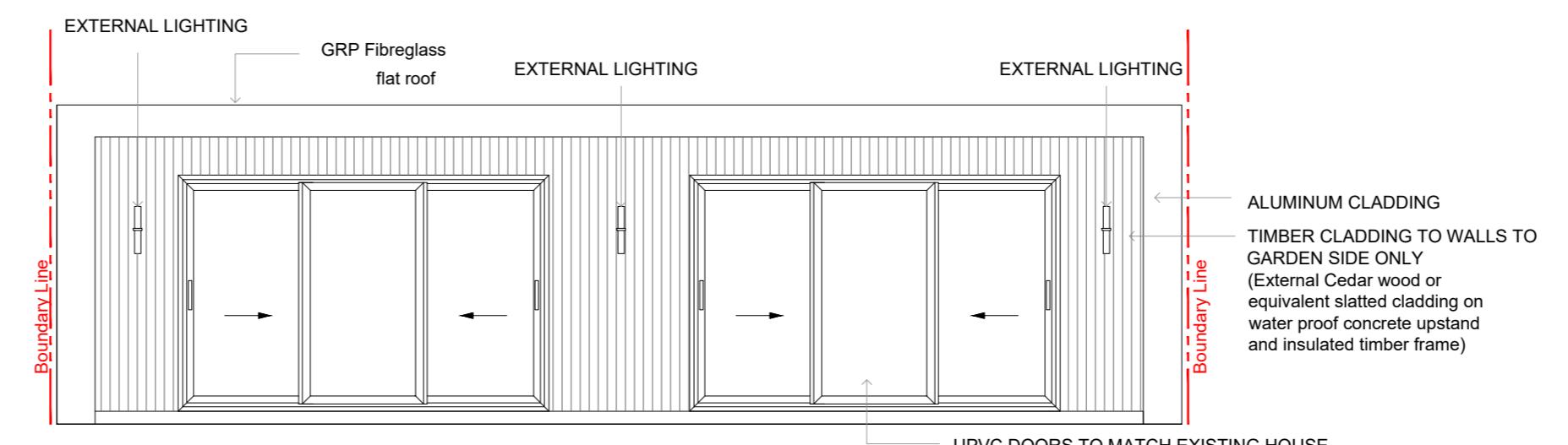
PROPOSED RIGHT SIDE ELEVATION



PROPOSED REAR ELEVATION



PROPOSED LEFT SIDE ELEVATION



PROPOSED FRONT ELEVATION

## REVISIONS

REV	DATE	DESCRIPTION	BY	CH

## PROJECT TITLE

3 The Close, Eastcote, Pinner

## DRAWING TITLE

PROPOSED ELEVATION

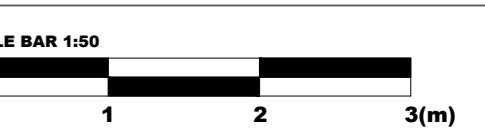
## CLIENT

Michael Porter

DRAWING No.	REV
HA-04	

DATE	DRAWING STATUS
07/06/22	PLANNING

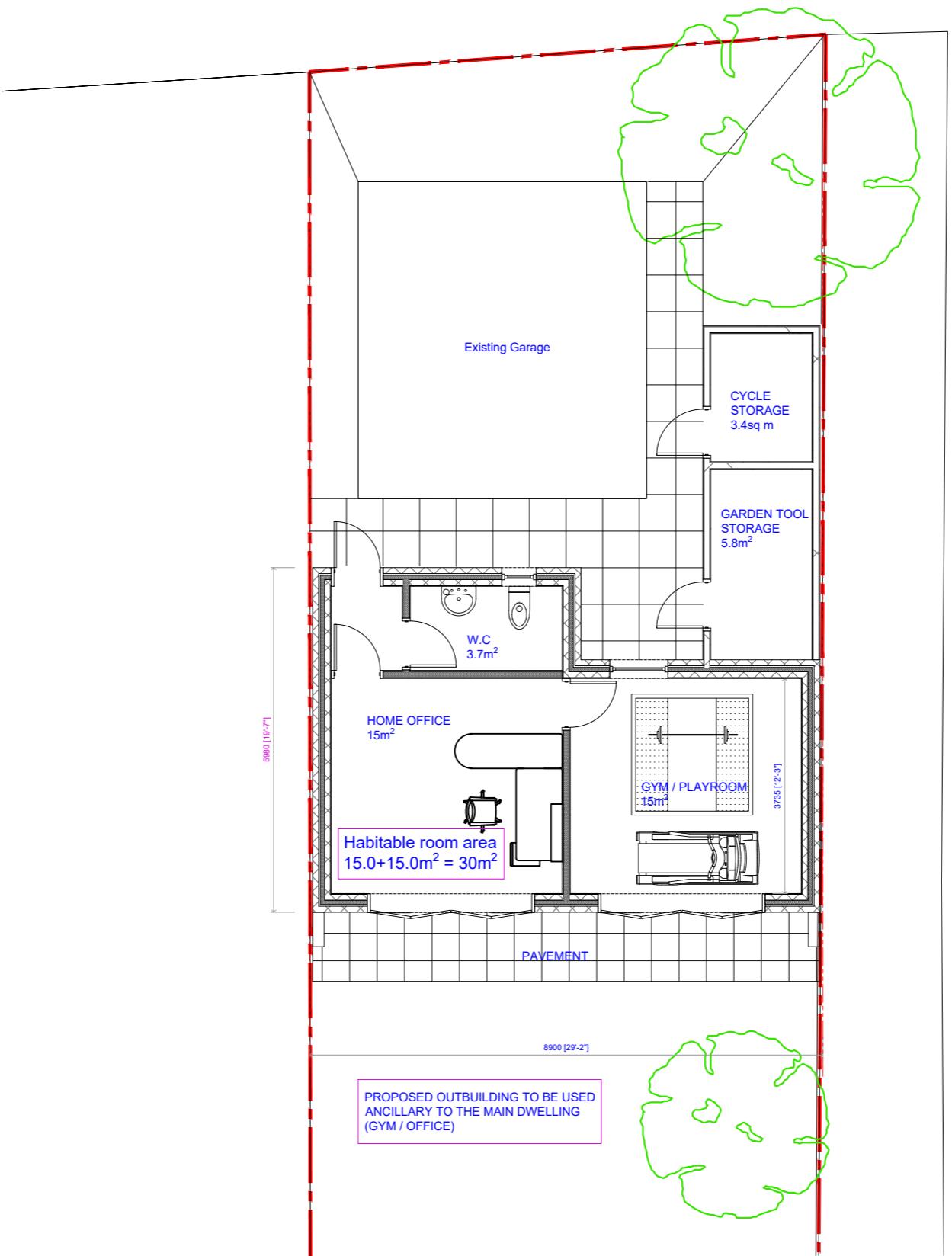
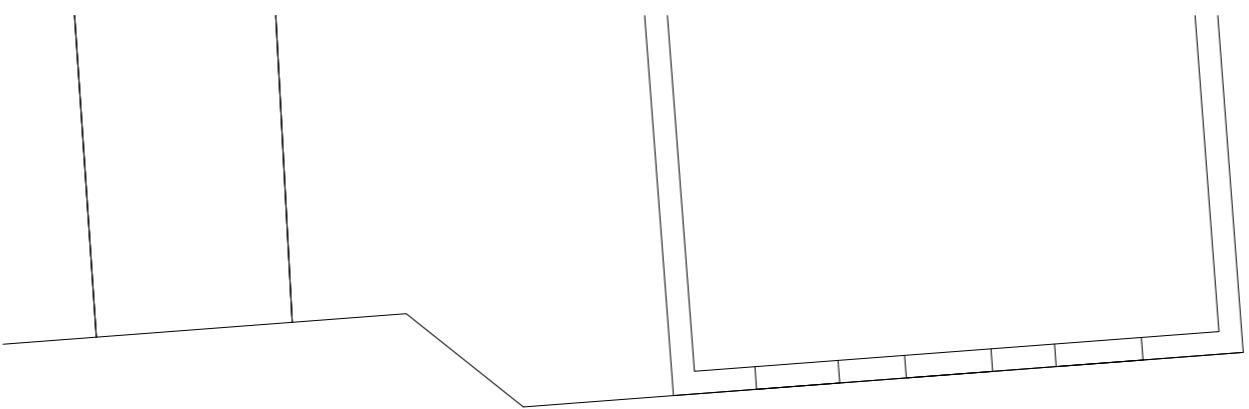
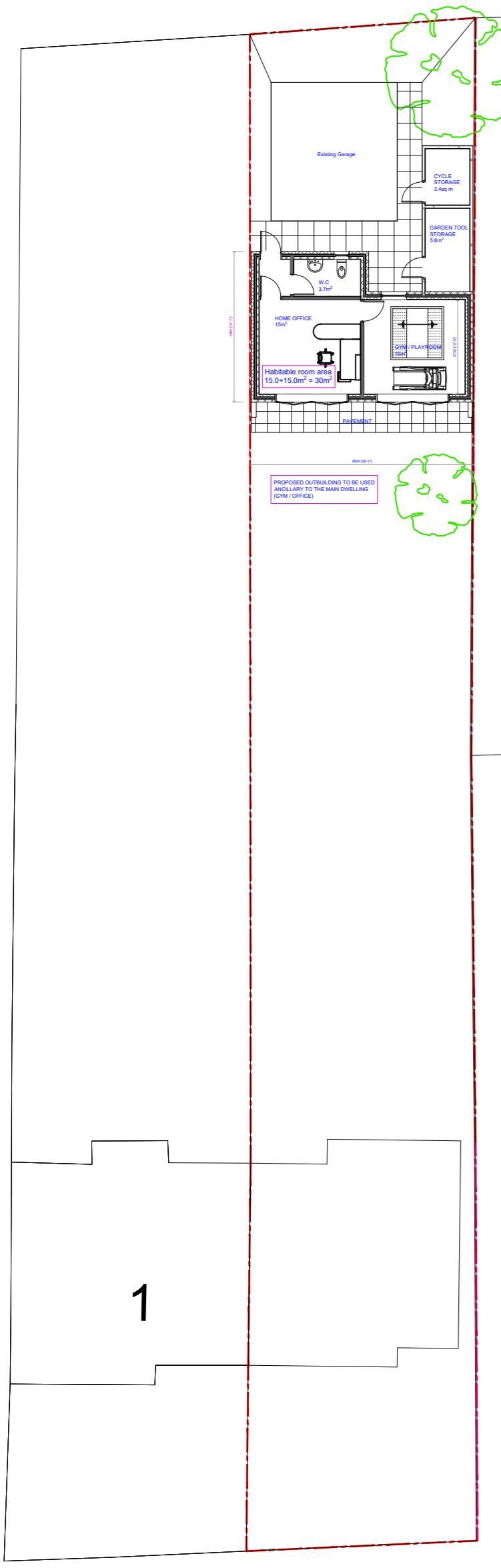
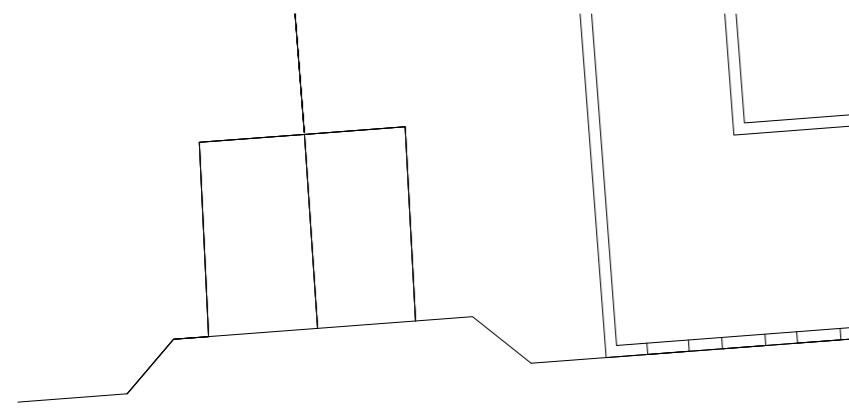
## SCALE @ A2 - 1:50



www.hexaform.co.uk  
email:info@hexaform.co.uk  
mobile:07366006666



HEXAFORM



DRAWING NOTES						
Dimensions	Written dimensions to be taken in preferences to scaled dimensions. The Contractor is responsible for checking all dimensions before work starts.					
Local Authority	All work is to be carried out to the requirements, and to the satisfaction of the Local Authority. These drawings are for planning purposes only					
Discrepancies	Any discrepancies to be brought to the attention of HCL immediately.					
REVISIONS						
REV	DATE	DESCRIPTION	BY CH			
PROJECT TITLE						
3 The Close, Eastcote, Pinner						
DRAWING TITLE						
BLOCK PLAN						
CLIENT						
Michael Porter						
DRAWING No.	REV					
HA-04						
DATE	DRAWING STATUS					
07/06/22	PLANNING					
SCALE @ A2 - 1:100 / 1:200						
SCALE BAR 1:100						
0	6(m)					
SCALE BAR 1:200						
0	10(m)					
www.hexaform.co.uk email:info@hexaform.co.uk mobile:07366006666						
HEXAFORM						
DESIGN AND BUILD						