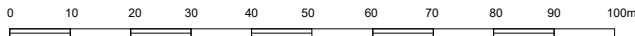
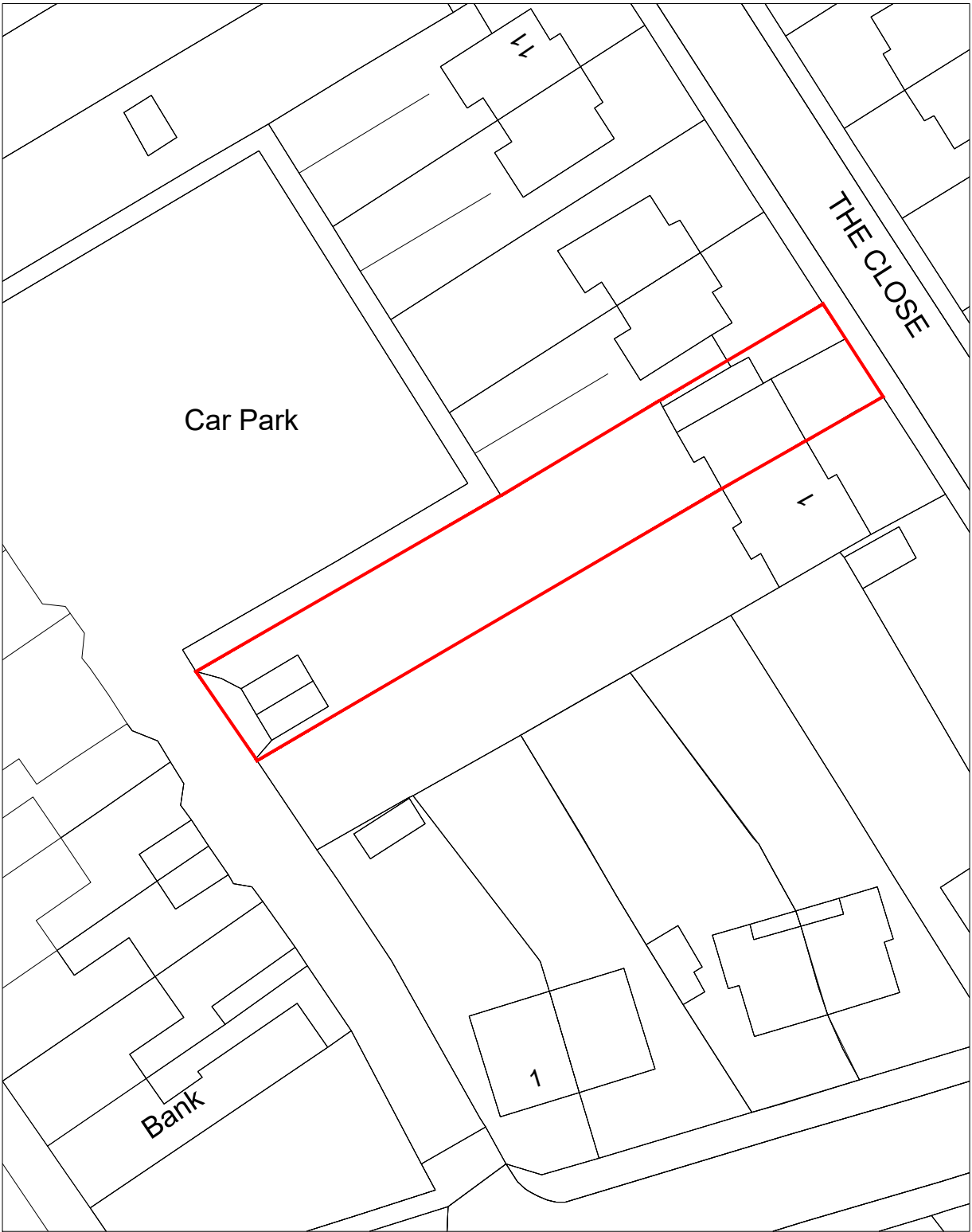
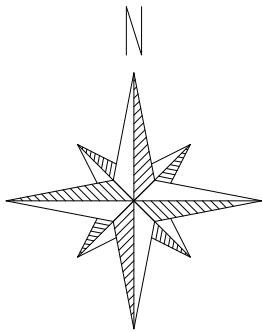


LOCATION PLAN
SCALE 1:1250



APPLICATION SITE



BLOCK PLAN
SCALE 1:500



DRAWING NOTES

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REVISIONS

REV	DATE	DESCRIPTION	BY	CH

PROJECT TITLE

3 The Close, Eastcote, Pinner

DRAWING TITLE

Location Plan

CLIENT

Michael Porter

DRAWING No.

100

REV

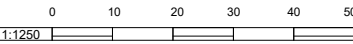
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DATE

07/06/22

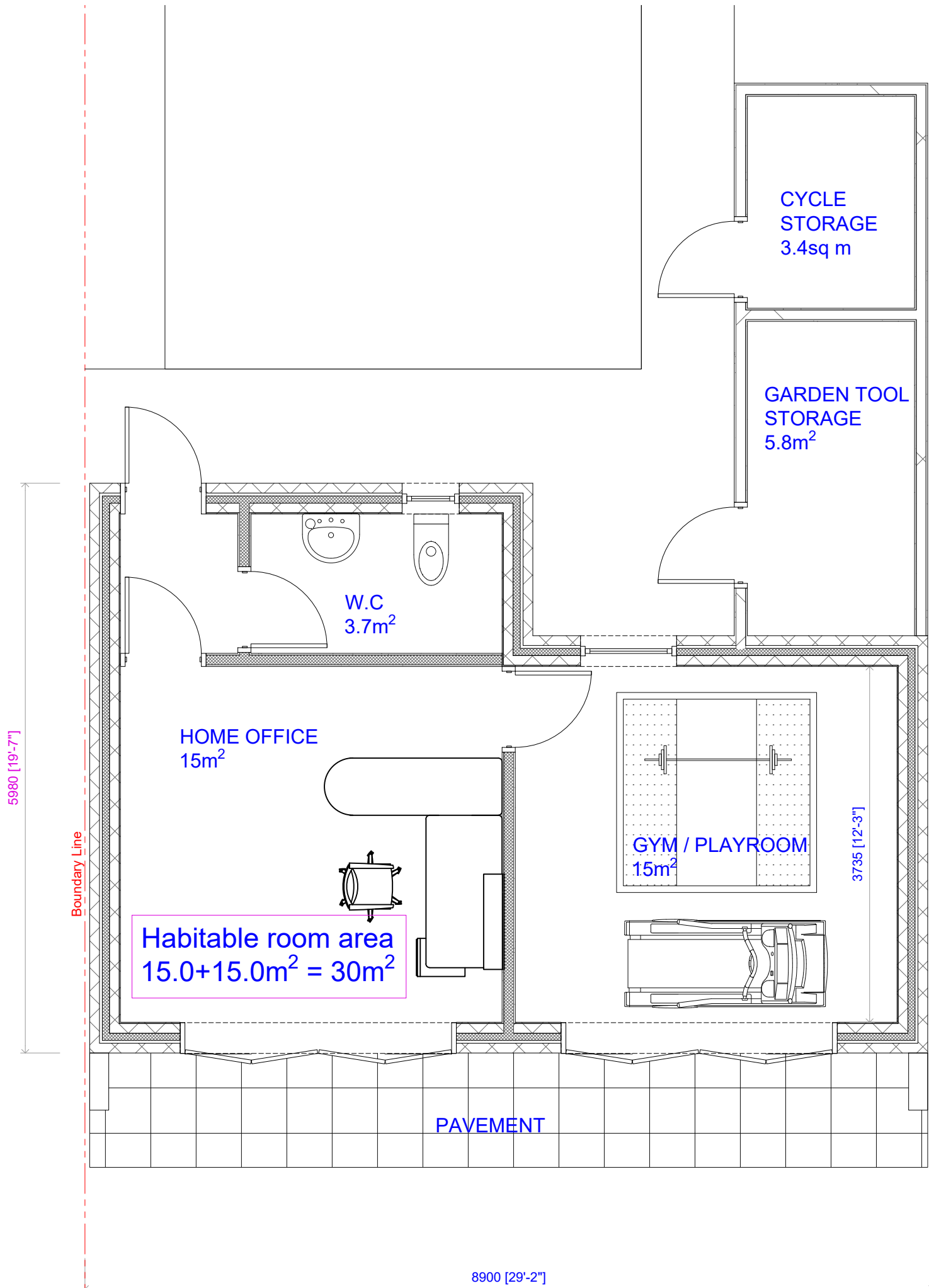
DRAWING STATUS

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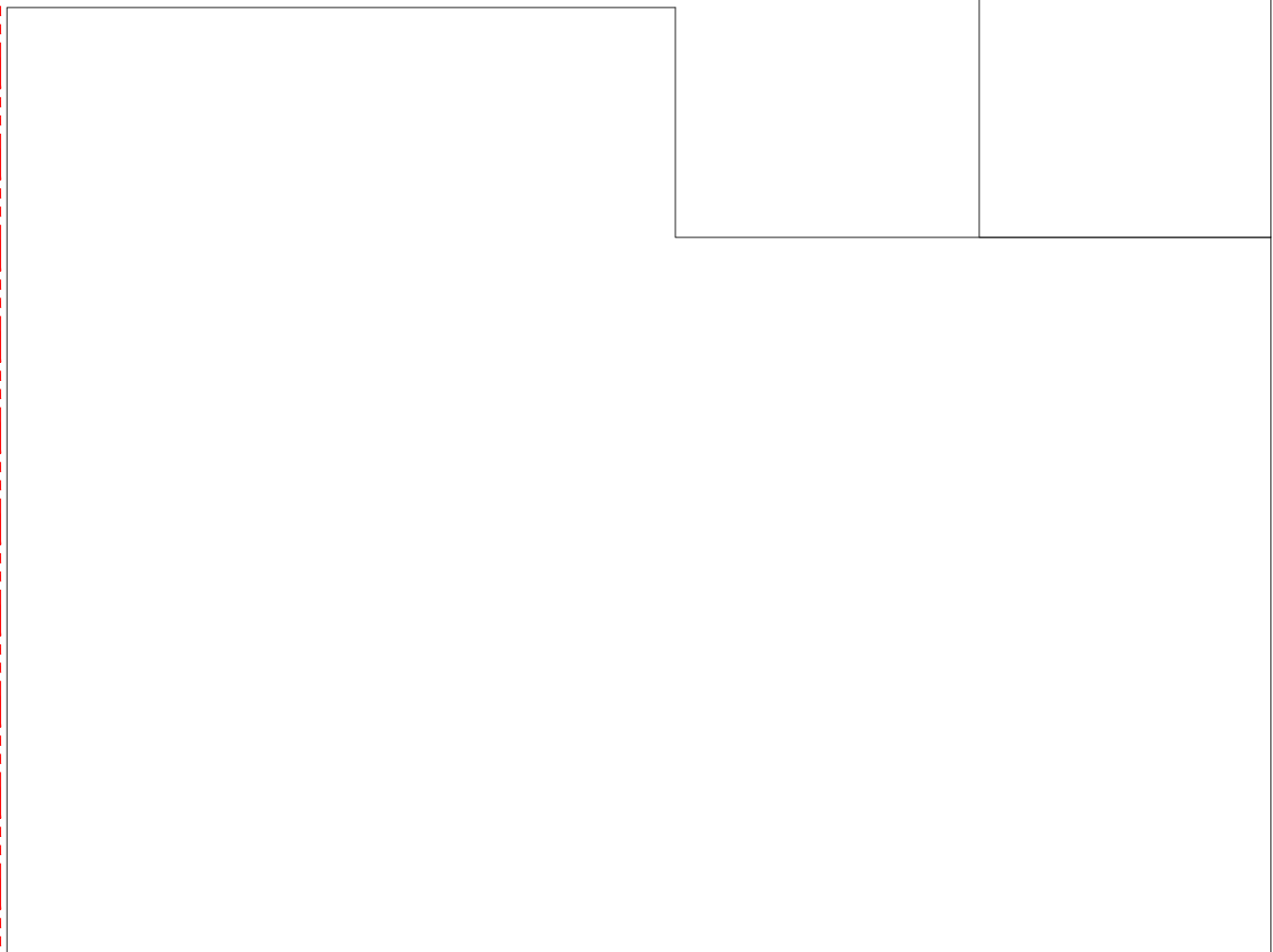
PROPOSED FLOOR PLAN

Proposed single storey outbuilding (external covered area = 57m²)

GENERAL CONSTRUCTION

- Timber Frame(Tanalised)with 50mm Rockwool Insulated Cavity Incorporating breathable Foiled photon wrap
- Internal High Density particle board with washable Surface
- 80mm Interlocking Insulated Floor Panels sit on top of Concrete Pile Foundation
- Roof Kingspan 65 -95mm Thick Insulated Composite Panels - Olive Green Finish
- Shiplap T & G Cladding Constructed in Tanalised Redwood to all Elevations
- UPVC Doors & Window Frames, In Graphite Grey with Pilkington Glass

PROPOSED OUTBUILDING TO BE USED
ANCILLARY TO THE MAIN DWELLING
(GYM / OFFICE)



ROOF PLAN

Development and other buildings cover more than 50% of ground area around original dwelling? No

(a)Existing plot area: 540 sq.m
(b)Existing Dwelling, Extension and garage: 97.5 sq.m
(a)-(b)= 442.5sq.m

(c)Proposed Annex: 46.3sq.m
(d)Proposed Cycle/Garden storage: 11.7sq.m
= 58 sq.m (13%)

384.5 Sq. m free area retained after development is more than 50% of 442.5 Sq. m total original free area of plot, therefore proposal complies with Hillingdon Council policy HDAS SPD Residential Extensions:- 60 square metres for a 3 bedroom house

Why CLD should be granted?

The proposed complies with the guidelines set out in the following;
Under Class E (Jan 2013) subsection E.1(a) All existing & proposed development occupies 36% of the cartilage which is less than the specified 50% limit
(b) the development does not breech forward of the principal elevation
(c) proposed is single storey
(d) maximum height is 2.5m (as defined above)
(e) eaves height is less than 3.0m (as defined above)
(f) existing building is not listed
(g) no balconies, verandas or raised platforms
(h) not an extension to the main building nor an antenna
(i) not a container. Furthermore, the proposed is sited far greater than 5m away from the nearest part of the existing building.

The use of the outbuilding would be ancillary to the main dwelling house. It would include exercise and relaxation area, office and WC, which based on then nature of the rooms and proximity to the main building would be used on an occasional

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REVISIONS

REV	DATE	DESCRIPTION	BY	CH

PROJECT TITLE

3 The Close, Eastcote, Pinner

DRAWING TITLE

PROPOSED FLOOR PLAN

CLIENT

Michael Porter

DRAWING No.

REV

HA-03

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07/06/22

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SCALE @ A2 - 1:50

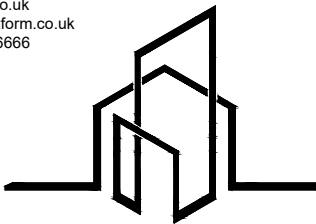
SCALE BAR 1:50



SCALE BAR 1:100

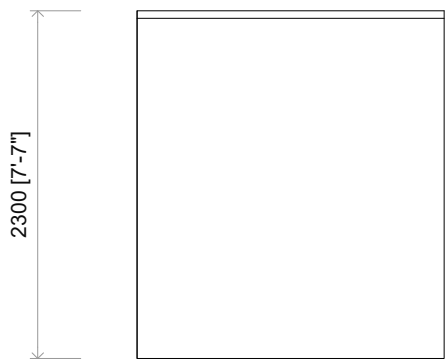


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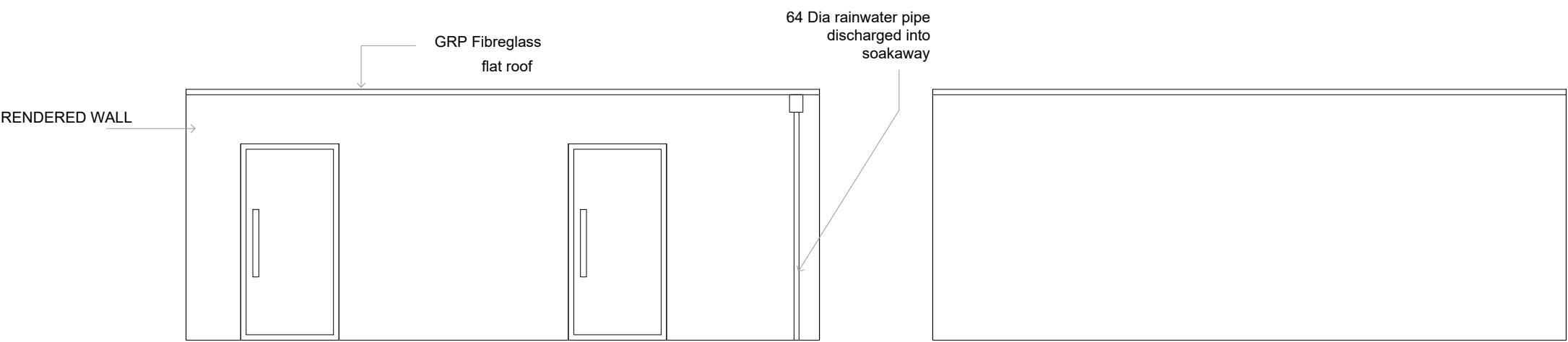


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Proposed Annex(outbuilding)



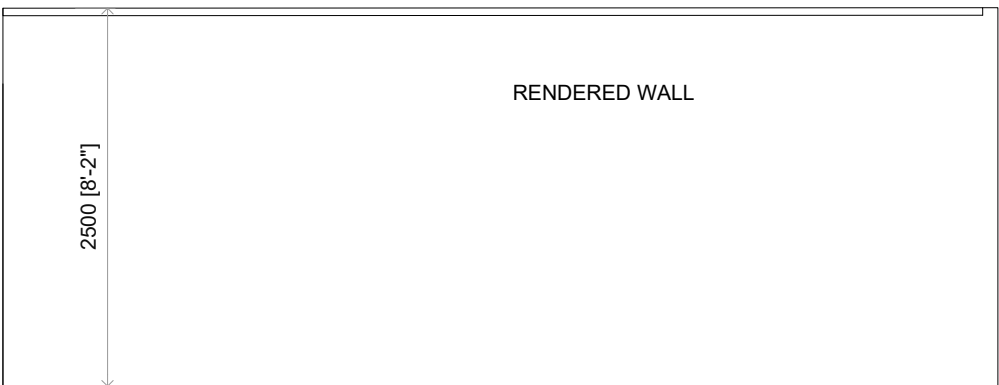
PROPOSED REAR ELEVATION



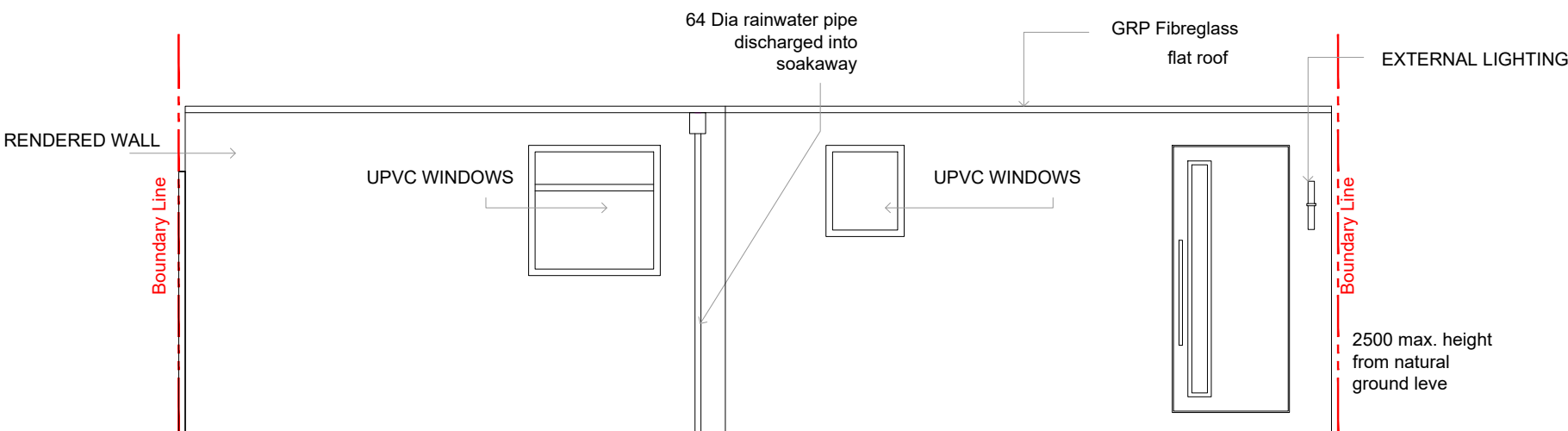
PROPOSED LEFT SIDE ELEVATION

PROPOSED RIGHT SIDE ELEVATION

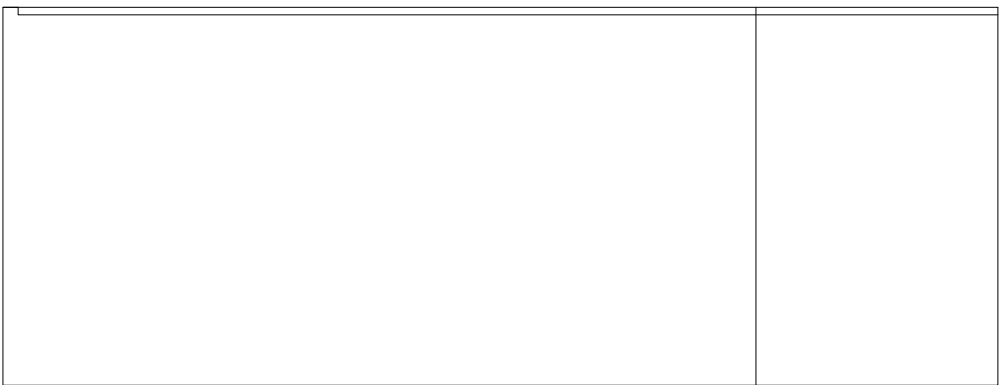
Proposed Cycle/Garden storage(outbuilding)



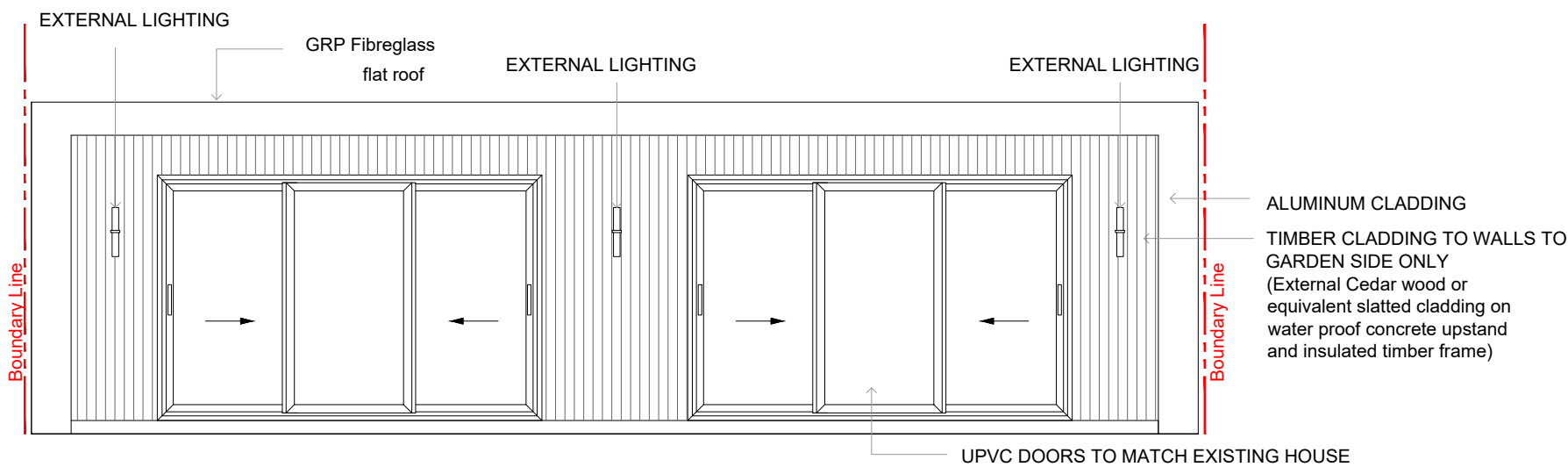
PROPOSED RIGHT SIDE ELEVATION



PROPOSED REAR ELEVATION



PROPOSED LEFT SIDE ELEVATION



PROPOSED FRONT ELEVATION

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REV	DATE	DESCRIPTION	BY	CH

PROJECT TITLE

3 The Close, Eastcote, Pinner

DRAWING TITLE

PROPOSED ELEVATION

CLIENT

Michael Porter

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HA-04

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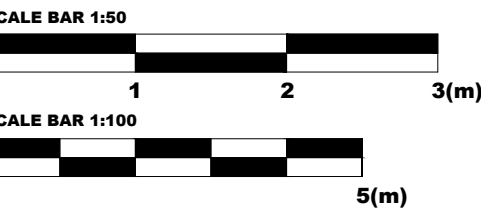
DATE

07/06/22

DRAWING STATUS

PLANNING

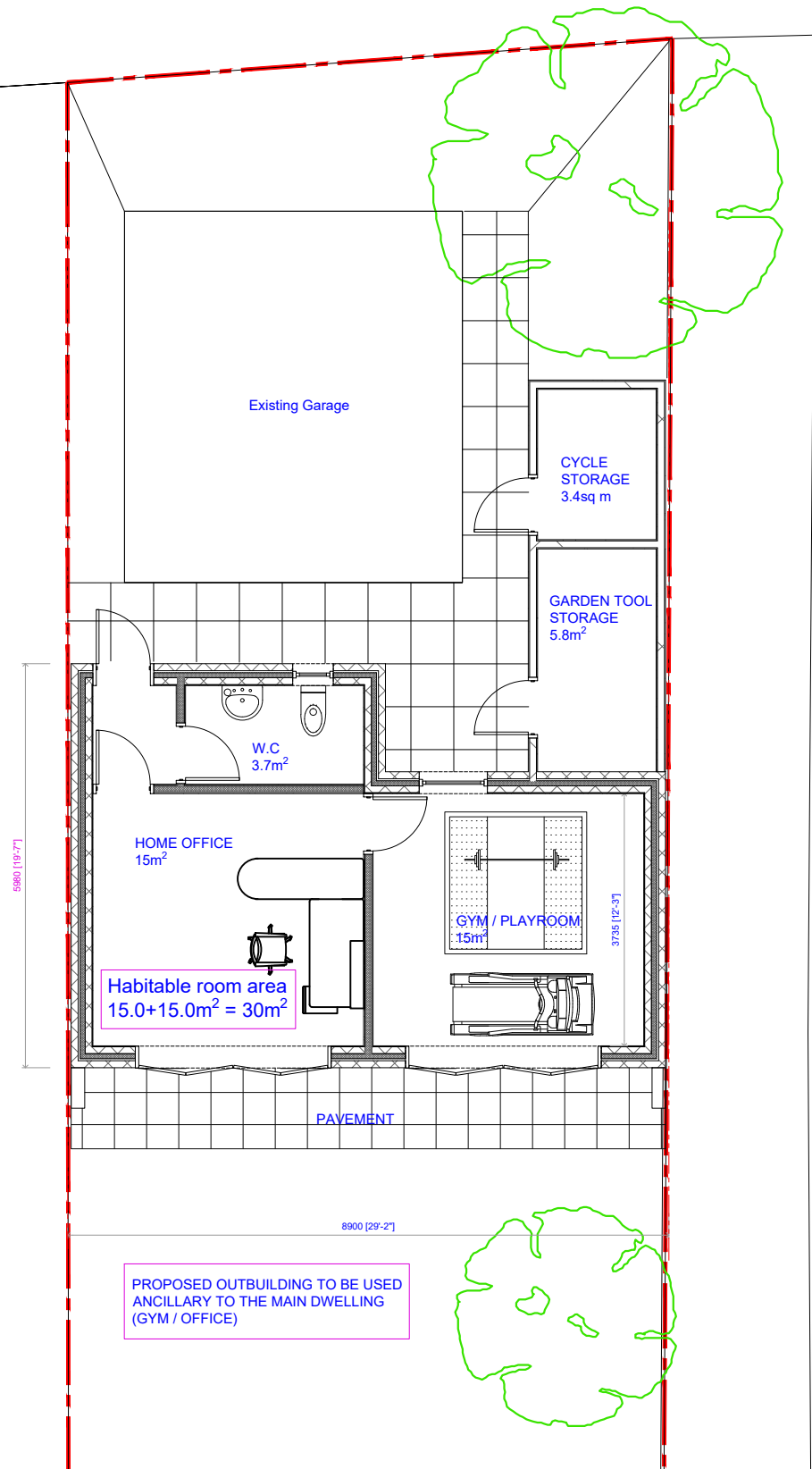
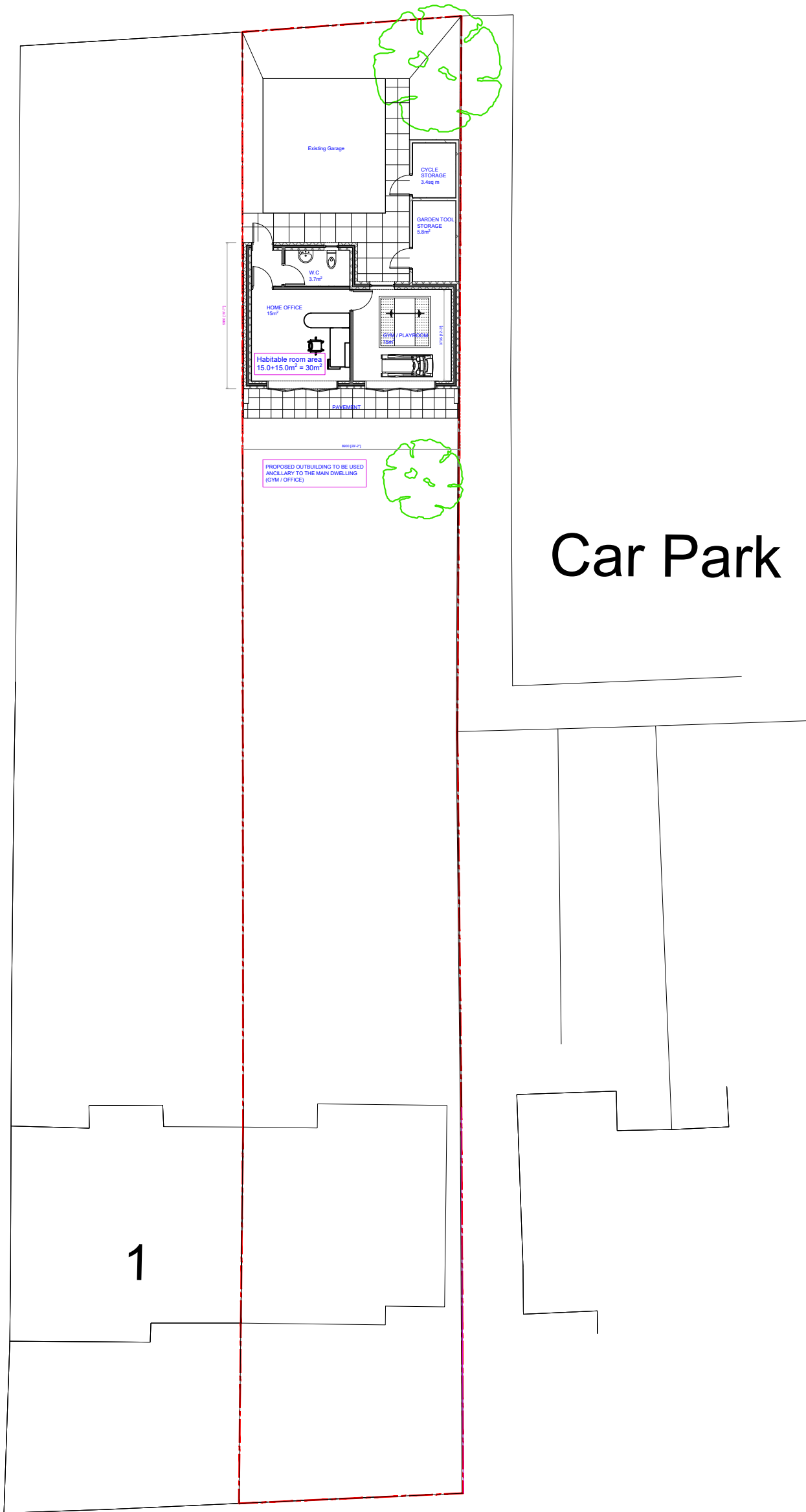
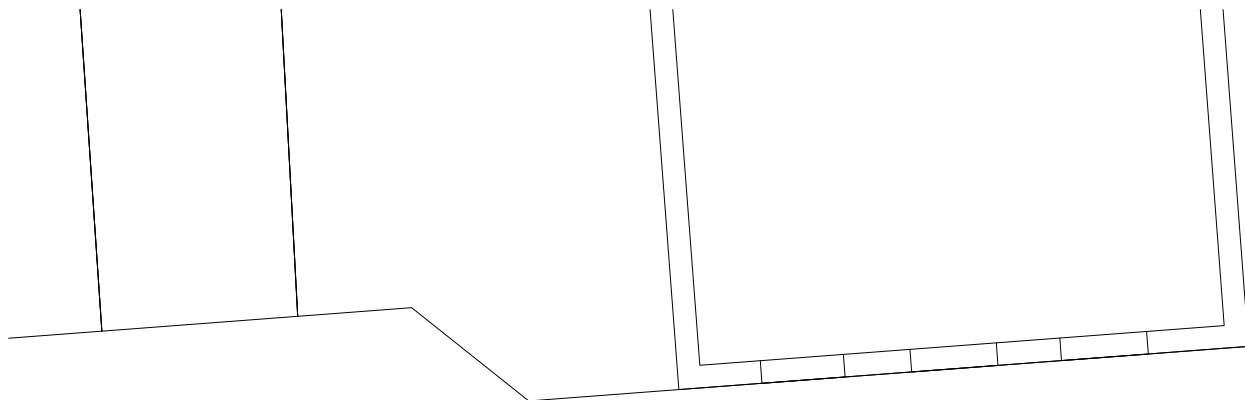
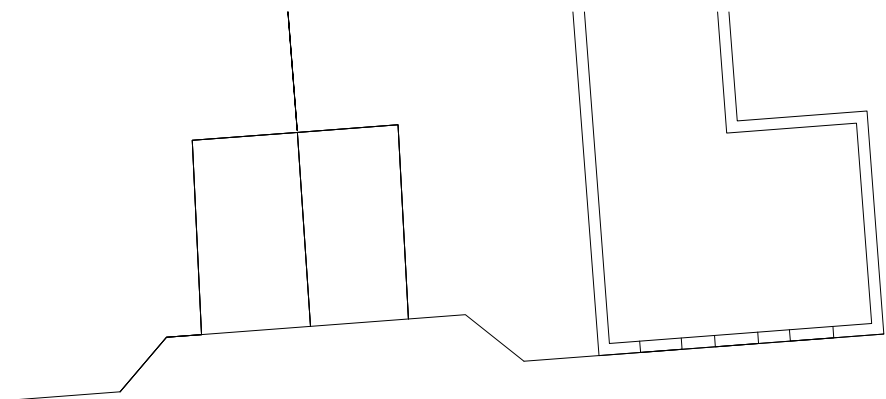
SCALE @ A2 - 1:50



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BLOCK PLAN- PROPOSED

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PROJECT TITLE

3 The Close, Eastcote, Pinner

DRAWING TITLE

BLOCK PLAN

CLIENT

Michael Porter

DRAWING No.

REV

HA-04

DATE

DRAWING STATUS

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SCALE @ A2 - 1:100 / 1:200

SCALE BAR 1:100

0 6(m)

SCALE BAR 1:200

0 10(m)

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