



INTRODUCTION

This Integrated Planning Document has been prepared for the benefit of Hillingdon Council, on behalf of our clients, and sets out the proposals for the land at Rushmoor Close (herein referred to as 'The Site') along with accompanying design justification.

The site consists of a vacant plot of land at the rear of the Client's property on High Road Eastcote, known as Brackenwood. It currently falls under the Client's property site boundary. This planning application proposes to build two new symmetrical, semi-detached dwellings consisting of two-storeys and three bedrooms. Each dwelling has dual aspect outlooks, with front and rear gardens and a connecting side passage.

The external appearance of the properties will be in fitting with the style of the local vicinity, much of which is characterised by 1930s Arts & Crafts style dwellings. The design takes inspiration from the local Arts & Crafts style architecture and is informed by neighbouring ridge heights, roof shapes, window proportions, eave heights, materials and datums. Further details of the proposals and the design concept can be found in the accompanying drawings and research analysis presented in this brochure.

This revised document reflects all previous discussions held between the design team and the Local Council in relation to the proposed development. The design has been carefully reviewed and amended in response to the officers' comments and reports, and these considerations have been fully integrated into the finalised scheme.

PART I | CONTEXT & SETTING

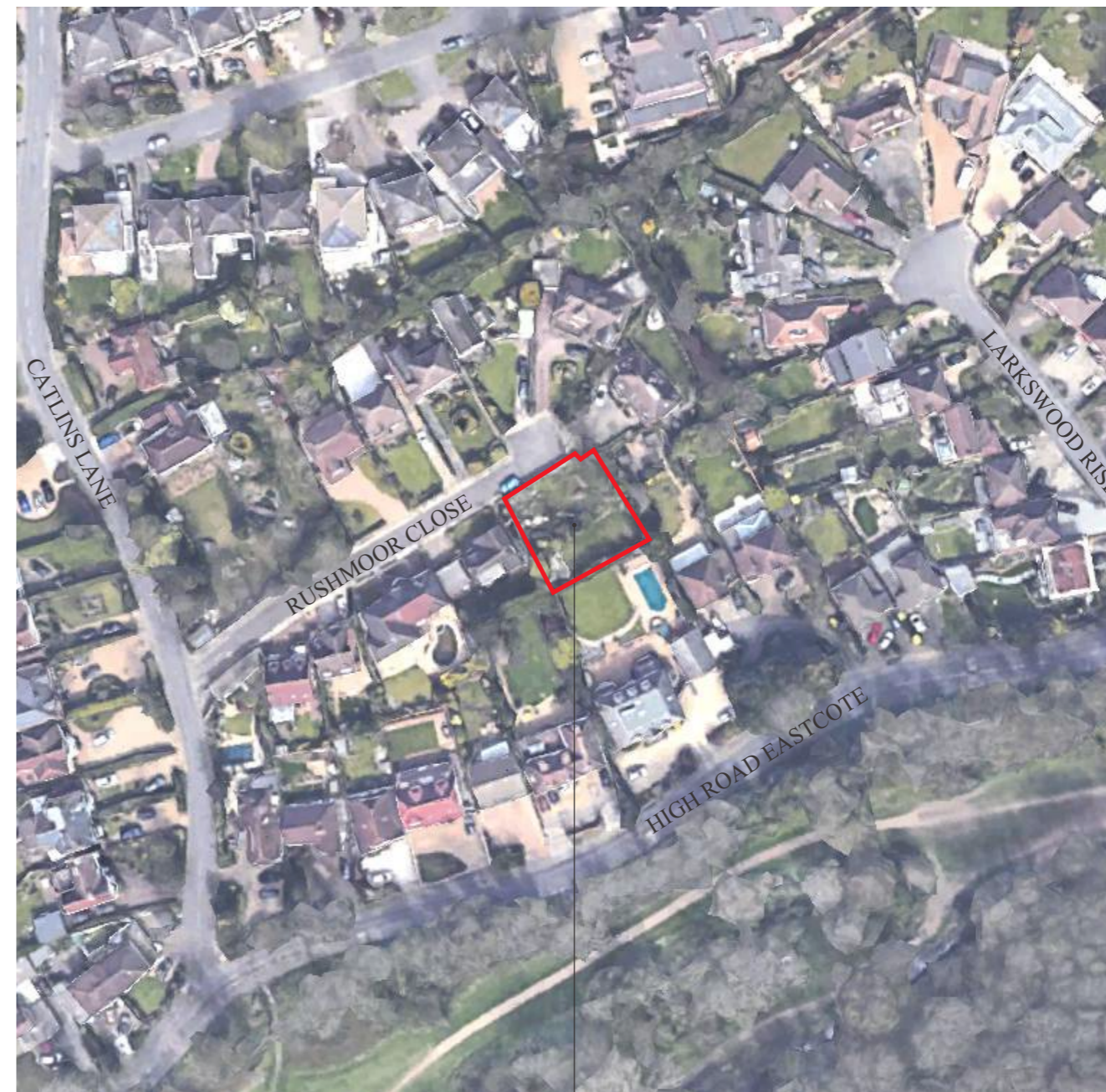


CONTEXT & SETTING

SITE LOCATION



S 'Site' - Rushmoor Close Pinner, HA5 2HF
 London Borough of Hillingdon



Site Location (indicative boundary)



Location

The site is located in North West London, within the London Borough of Hillingdon and sits just within Eastcote Village Conservation Area. The local authority is Hillingdon Council.



CONTEXT & SETTING

PROPOSAL SITE

- Site within ownership
- Proposed Site



Site Map



View looking North



View looking East



View looking South



View looking West



CONTEXT & SETTING

SITE PHOTOGRAPHS

THE AREA

Rushmoor Close consists of 10 residential dwellings, all varying slightly in styles, but consistent in their Art & Crafts architectural character, with many of the properties being built around the 1930s.

These properties reflect typical Arts & Crafts style architectural features, such as:

- Dominant gables
- Hipped roofs
- Clay hung tiles
- Sprocketed Eaves
- Hipped end gables
- Tall chimneys
- Symmetrical elements
- Transom window ratios
- Dormer windows with projecting gable/ hipped roofs
- Extended roofs to form entrance porches

THE SITE

Currently, the site is fenced off from the central, no-through road of Rushmoor Close, with access into the site via a central timber gate. The immediate context along Rushmoor Close and the approach to the site is shown in the adjacent photographs/ Google streetview images, as well as the current condition and boundary extents to the site itself.



Front view to approach the site

Current gated access to site



View looking East within the site, showing the current perimeter fence boundary and neighbouring property at No.5.



View looking West within the site, showing the current perimeter fence boundary and neighbouring property at No.8.



View looking South within the site, showing the current perimeter fence boundary with Brackenwood house beyond.



View down Rushmoor Close, approaching the site.



CONTEXT & SETTING

LOCAL CHARACTER

As mentioned on the previous page, Rushmoor Close is characterised by Art & Crafts style dwellings.

These properties reflect typical Arts & Crafts architectural features, such as:

- Dominant gables
- Hipped roofs
- Clay hung tiles
- Sprocketed Eaves
- Hipped end gables
- Tall chimneys
- Symmetrical elements
- Transom window ratios
- Dormer windows with projecting gable/ hipped roofs
- Extended roofs to form entrance porches

The proposed design of the two new dwellings takes inspiration from the neighbourhood setting; the external appearance to the properties will be in fitting with the architectural style of Rushmoor Close. The images adjacent reflect the neighbouring properties.



CONTEXT & SETTING

LOCAL MATERIALLY

The following analysis examines the dwellings within Rushmoor Close in detail, identifying the core materiality of each building to understand the prevailing architectural character of the street. This assessment evaluates the collective material palette and visual qualities that define the local context.

The findings are consolidated into a coordinated material strategy that incorporates key elements observed across neighbouring properties, establishing a palette appropriate to the character of the street. This approach enables the proposal to integrate more successfully within the existing frontage and, as previously demonstrated through the massing analysis, strengthens the relationship between the proposed dwellings and the surrounding built environment.

By responding directly to established materials and architectural language, the proposal is intended to read as a natural extension of the existing urban fabric rather than a distinct or unrelated addition. The adjacent study breaks down each dwelling and identifies its primary material components.



Rushmoor No.10 & No.11

- | | |
|--------------------------------|-------------------------------|
| 1. Natural clay roof tiles | 5. White rainwater goods |
| 2. Red multi-tone brickwork | 6. Brick plinth |
| 3. White Painted fascia Boards | 7. White uPVC casement window |
| 4. Tile hung wall cladding | |



Rushmoor No. 1

- | | |
|------------------------------|------------------------------|
| 1. Natural clay roof tiles | 3. White rainwater goods |
| 2. Red traditional brickwork | 4. Grey uPVC casement window |



Rushmoor No.08

- | | |
|-----------------------------|-------------------------------|
| 1. Natural clay roof tiles | 5. Black rainwater goods |
| 2. Red multi-tone brickwork | 6. White uPVC casement window |
| 4. Tile hung wall cladding | |



Rushmoor No. 1A

- | | |
|---------------------------------|-------------------------------|
| 1. Natural clay roof tiles | 5. Grey rainwater goods |
| 2. Yellow traditional brickwork | 6. Brown uPVC casement window |
| 3. Brown painted fascia boards | 7. Timber door |
| 4. Tile hung wall cladding | |



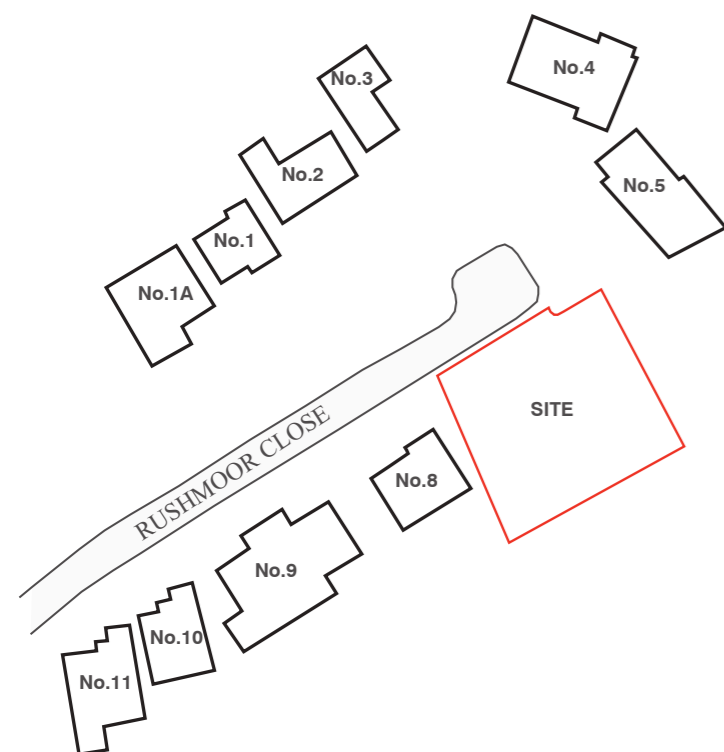
Rushmoor No. 4

- | | |
|---------------------------------|-------------------------------|
| 1. Natural clay roof tiles | 4. Black rainwater goods |
| 2. Yellow traditional brickwork | 5. Brick plinth |
| 3. Tile hung wall cladding | 6. White uPVC casement window |



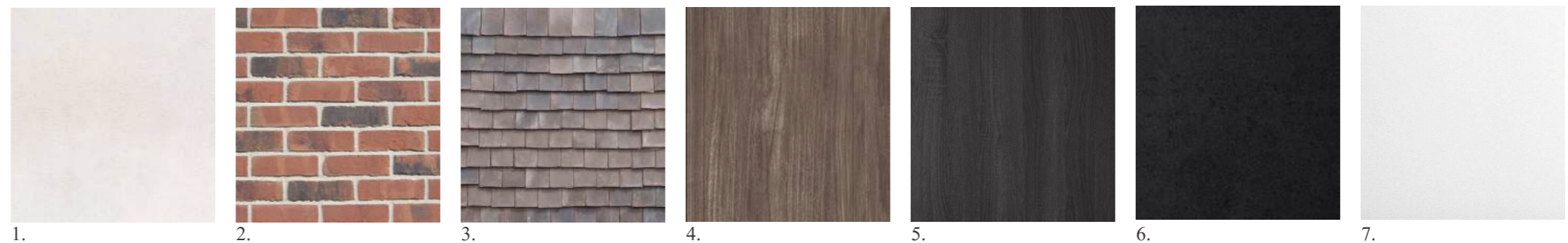
Rushmoor No. 9

- | | |
|-----------------------------|-------------------------------|
| 1. Natural clay roof tiles | 5. Black rainwater goods |
| 2. Red multi-tone brickwork | 7. White uPVC casement window |



Rushmoor Street Plan

LAND AT RUSHMOOR CLOSE PINNER. HA5 2HF



Corresponding common materiality identified across neighbouring dwellings, comprising the following materials shown above:

- | | |
|---|---|
| 1. White/ cream stone wall profiles and paving. | 5. Black painted timber door. |
| 2. Red/brown multistock brickwork in stretcher bond. | 6. Black aluminium rainwater goods. |
| 3. Clay tiles to roofs and hung tiles to dormer window faces. | 7. White uPVC casement windows and cills. |
| 4. Timber fascias and posts. | |



CONTEXT & SETTING

HISTORICAL CONTEXT

The adjacent maps illustrate the site and its immediate settings changing over time.

The area now comprising modern day Rushmoor Close was largely undeveloped prior to 1940, unlike the parallel High Road Eastcote, which shows evidence of buildings prior to this. Nursery buildings appear in the 1940 on the plot of land adjacent to the site, but these appear to be demolished at some point in the proceeding 20 years. In the 1960s more residential scale buildings appear in the surrounding roads and by 1970 modern day Rushmoor Close is formed with the neighbouring properties we see still today.

KEY:

□ Site



Historic map, 1930



Historic Map, 1940



Historic map, 1960



Historic map, 1970

CONTEXT & SETTING

CONSERVATION AREA

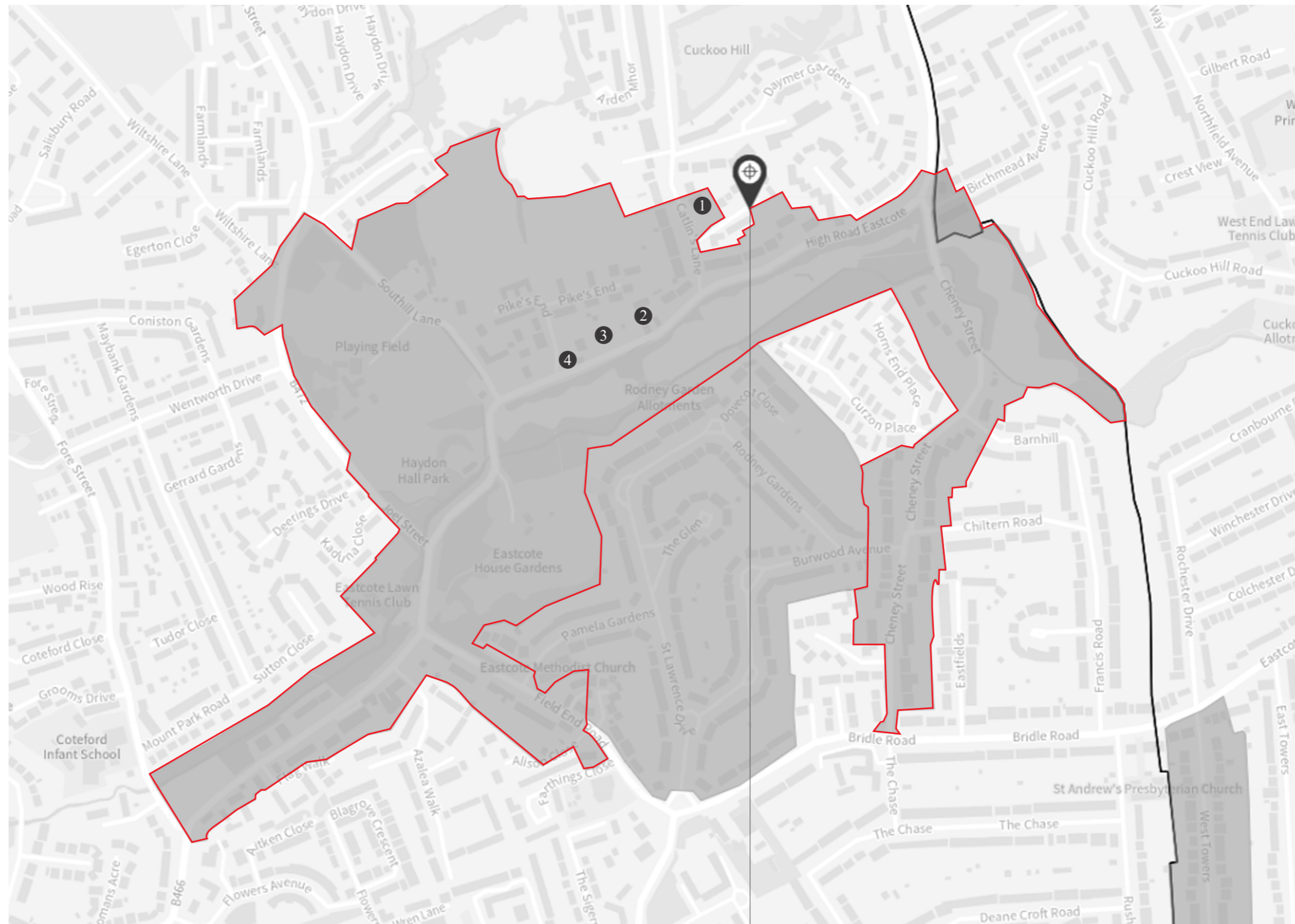
The Eastcote Village Conservation Area, designated on 16th of March 1970 and extended on 19th January 1978 & 12th January 2011, by the London Borough of Hillingdon, is an area of historical and architectural significance. Following boundary changes in 1993, a small portion of the conservation area came under Harrow's jurisdiction, covering a few houses on Cuckoo Hill and Birchmead Avenue. The area's character is defined by its mix of open green spaces and historic buildings, including Arts and Crafts-style cottages and 1930s semi-detached houses. Once part of extensive country estates, much of the original landscape has been lost to development, though remnants of green spaces help retain a semi-rural feel. The conservation area is subject to planning policies aimed at preserving its character, though challenges such as loss of historic features, poor street maintenance, traffic issues, and fly-tipping persist. Conservation efforts focus on maintaining architectural integrity and enhancing the area's natural surroundings.

Source: Eastcote Village Conservation Area Appraisal

Listed Buildings:

1. St Catherine's Farmhouse, Catlin's Lane
List Ref: 1080270; Grade II
2. Ramin Cottage, High Road
List Ref: 1358379; Grade II
3. The Old Shooting Box, High Road
List Ref: 1080224; Grade: II
4. Eastcote Grange, High Road
List Ref: 1080223; Grade: II

More details of the above listed buildings can be found on the next page.



□ Eastcote Village Conservation Area 📍 Site Location

Site Location



CONTEXT & SETTING

CONSERVATION AREA APPRAISAL - ARCHITECTURAL CHARACTER

The Eastcote Village Conservation Area was designated in early 1970s. The local character of the Conservation Area, highlighted in the ‘*Eastcote Village Conservation Area leaflet*’, is defined by its semi-rural setting, historic buildings, and natural landscape features.

Architectural & Historic Character

1. The area includes the historic hamlet of Eastcote, featuring Eastcote House (16th century), Haydon Hall (17th century), and High Grove (18th century), reflecting its long history.

2. Most recently the Conservation Area was extended to include the Southern part of Cheney Street, which contains low-density housing of varied design, including large detached houses as well as bungalows. The C17th Cheney Farmhouse is the only listed building in the area (Grade II) and comprises a timber-frame with exposed framing between rendered panels.

3. Later development includes 1920s Arts & Crafts-style houses, characterised by:

- Red brick or rendered facades
- Clay roof tiles
- Tall chimneys and half-timbered details

Natural & Landscape Features

1. The area is dominated by open spaces, mature trees, and extensive natural landscaping.

2. Streetscape features include:

- Hedges and low walls bordering front gardens.
- Grass verges and a central reserve, which add to the green character.
- Curving road layout and gentle topography, enhancing visual appeal.

3. Spacing between houses allows for views through to back gardens, contributing to the open feel of the area.



Eastcote House



Cheney Farmhouse



Haydon Hall



Cheney Street, Chalet type bungalows



High Grove House

CONTEXT & SETTING

LISTED BUILDINGS



1) St Catherine's Farmhouse, Catlin's Lane
Grade II Listed

"Timber framed building concealed in late C19 skin. High pitched hipped tiled roof with old brick chimneys at west and north. Main south front of 2 storeys, 3 windows. 1st floor roughcast with mock timbering. Groundfloor brick. Modern 3-light and 4-light leaded casements. Inside shows the west part to have been a 2-bay structure with crown-post roof, possibly the cross-wing of a hall, but much alteration has taken place in the eastern part, although remaining timbers indicate a recessed centre bay, implying a house of Wealden type. The roof timbers have been renewed, but very heavy chamfered ceiling beams remain. 2 brick fireplaces with Tudor arches, one under a relieving arch; and a Tudor-arched plastered fireplace with Jacobean panelling above."



2) Ramin Cottage, High Road
Grade II Listed

"C17 2-storey, 2-window cottage. Visible timber framing with brick nogging on 1st floor; brick ground floor. Old tiled roof with 2 moulded compound stacks and one dormer. Oversailing gable end to road has roughcast filling. Modern small casements except on left return which has one horizontal sliding sash and one fixed light, both with glazing bars. C19 and modern additions to north and east not out of keeping with original."



3) The Old Shooting Box, High Road
Grade II Listed

"C16 cottage of 2 storeys and attic, 3 windows, extended and refaced in C18. Ground floor whitewashed weatherboarding, 1st floor tilehung. 3 double-hung sashes in architraves. Ground floor south elevation has modern brick verandah and French windows. C18 6-fielded panel door. Old tile roof, 3 modern dormers. Interior: Tudor moulded batten door. Long rear lean-to."



4) Eastcote Grange, High Road
Grade II Listed

"C16 and C17 timber framed house of 2 storeys, 2 builds; with added barn at west. 4-bay eastern part (1 bay blank on 1st floor) of C16 has returned gable at left. Old tiled roof with handsome compound stack. Next to west a C17 section of 6 bays with 3 gables at right, the left part being an adaptation of a barn. White-painted weatherboarding throughout and old tiled roofs. Modern leaded casements. Carriageway under left gable. At far west a further barn extension in tarred weatherboarding, running west for 3 bays then south for 4 bays with open carriageway through. Queen post roof trusses."

CONTEXT & SETTING

ACCESSIBILITY

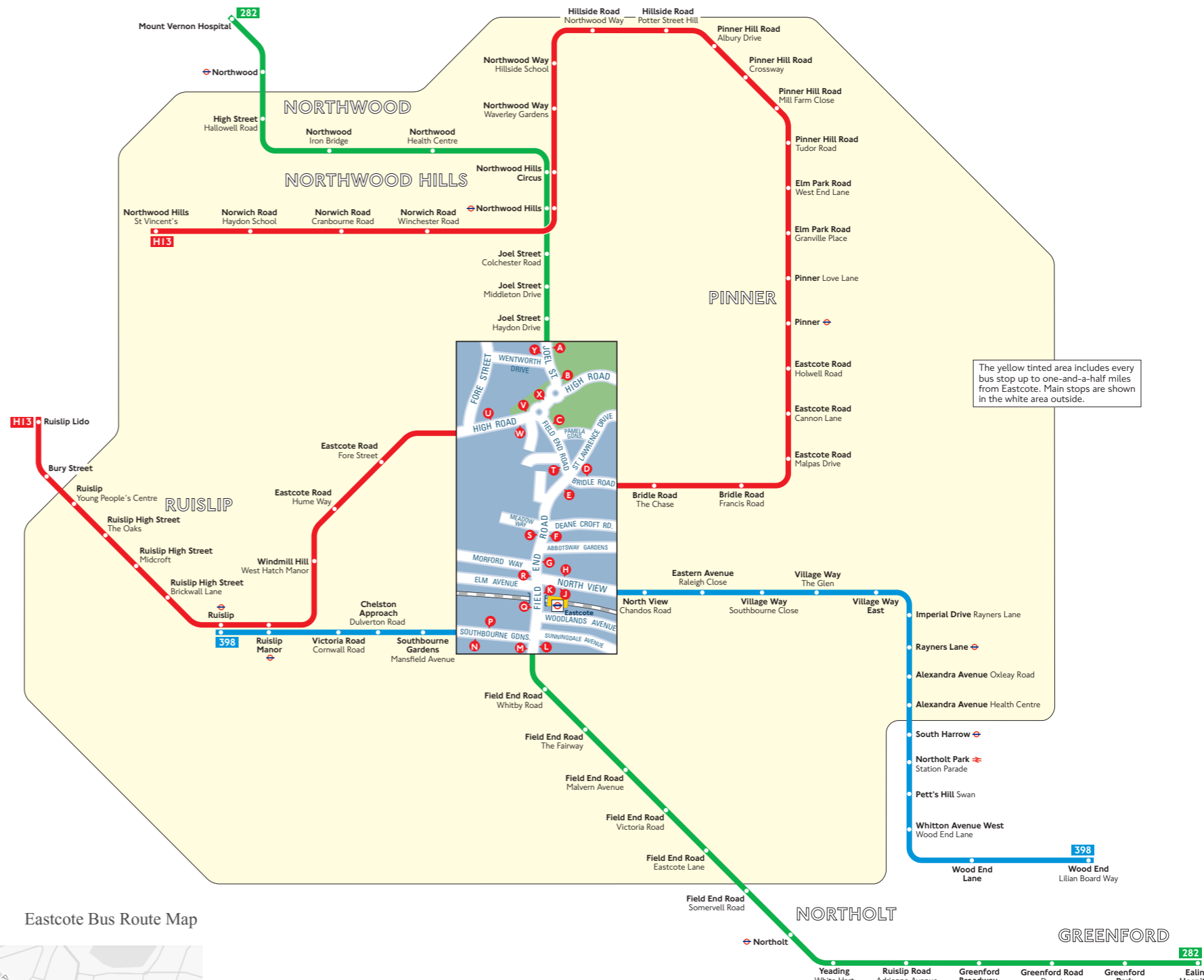
The PTAL rating for the site is 1a:

The site is located just off the B466 road, which links Pinner Green with Ickenham, via Ruislip. The local underground stations offer transport links to central link via the Metropolitan and Piccaddily lines. Pinner underground station is a 23 minute walk from the site, whilst both Northwood Hills and Eastcote stations are approx. a 28 minute walk.

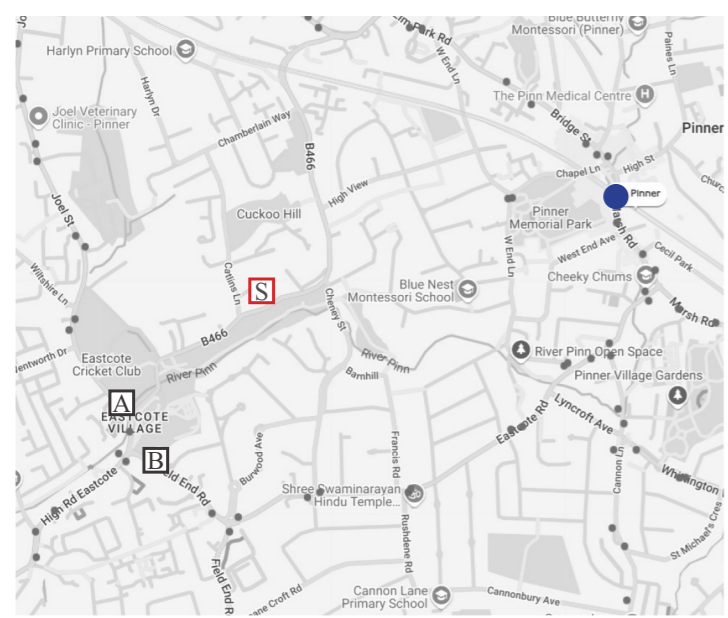
The site has nearby bus transportation links from Eastcote High Road and from Eastcote Methodist Church in Eastcote village. The 282 and H13 bus routes are the local links.

KEY:

- A** Eastcote High Road - 9 minutes walk
282
- B** Eastcote Methodist Church - 12 minutes walk
282 & H13
- Pinner - 23 minutes walk
Underground Station
- S** 'Site' - Rushmoor Close Pinner, HA5 2HF
- TFL underground stations

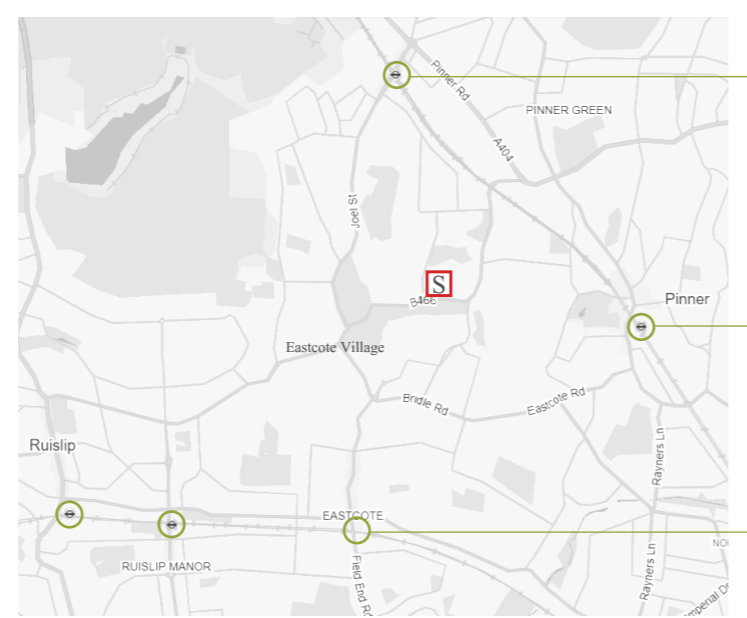


Eastcote Bus Route Map



Eastcote Bus Route Map

LAND AT RUSHMOOR CLOSE PINNER. HA5 2HF



Local TFL Underground Stations



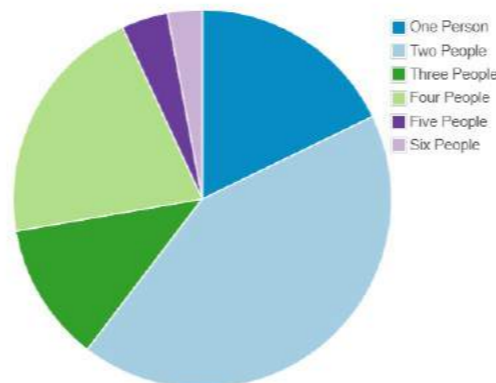
CONTEXT & SETTING

DEMOGRAPHIC INFORMATION

The information on housing, people, culture, employment and education that is displayed about Rushmoor Close, Pinner, HA5 2HF is based on the last census performed in the UK in 2021. They are performed once every 10 years. Our website shows 2021 data for England, Wales and Northern Ireland. For Scotland, 2022 data is shown (the Scottish census was performed a year later than the rest of the UK). Please note: census information may include figures for adjacent streets and postcodes. The figures are therefore representative of the local area, not a specific street address or row of houses. The census collection is designed so that each group of postcodes should contain at least 100 people (50 in Scotland). This is done to preserve the anonymity of the people in that area, as some postcodes cover a very small area, sometimes a single building. You can see the area covered by the census statistics by clicking “Show Census Area Covered” below the map above.

Housing Occupancy

One Person	18
Two People	43
Three People	12
Four People	21
Five People	4
Six People	3
Seven People	0
8+ People	0
Total	101

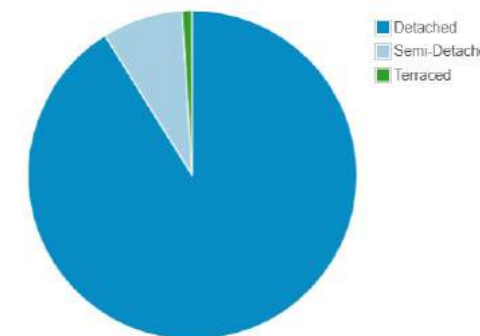


Housing Types

The area containing Rushmoor Close, Pinner consists predominantly of detached housing, a strong indicator of affluence. **Please note that the figures may include adjacent streets** - see the Summary tab for an explanation and map of the area that these figures cover.

Housing Types

Detached	92
Semi-Detached	8
Terraced	1
Flat (Purpose-Built)	0
Flat (Converted)	0
Total	101



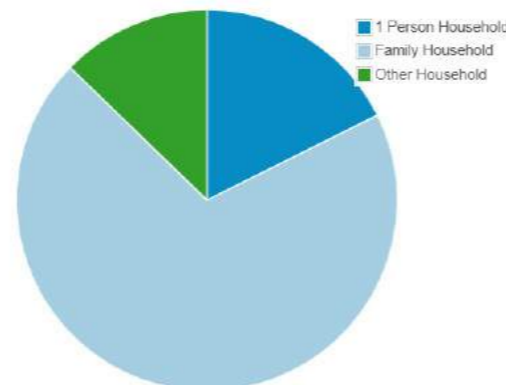
Are these numbers higher than you expected? [Click here for explanation.](#)

Household Composition

The area containing Rushmoor Close, Pinner consists predominantly of single-family households, which is more common in suburban areas.

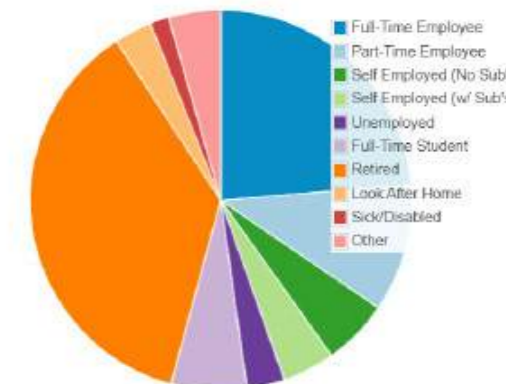
Household Composition

1 Person Household	18
Family Household	71
Other Household	13
Total	102

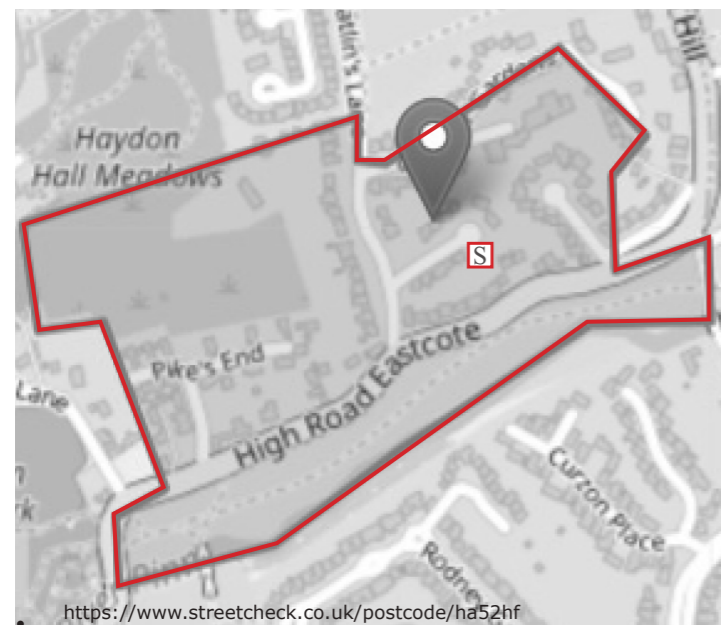


Economic Activity

Full-Time Employee	59
Part-Time Employee (defined as 30 hours or less per week)	27
Self Employed (No Subordinates)	14
Self Employed (With Subordinates)	11
Unemployed	8
Full-Time Student (with or without job)	16
Retired	91
Looking After Home or Family	8
Long-Term Sick or Disabled	4
Other	11
Total	249



KEY PLAN



- S 'Site' - Rushmoor Close Pinner, HA5 2HF
- Covered Area



CONTEXT & SETTING

RELEVANT PLANNING POLICIES

The following planning policies establish the guidelines set by National, London, and Local authorities, which have informed the development of this project.

National Planning Policy Framework

The most recent version of the National Planning Policy Framework (NPPF) was published in December 2024. The NPPF sets out the Government's planning policies for England and how these are expected to be applied; it is a material consideration in planning decisions.

f) *“recognise that residential development often plays an important role in ensuring the vitality of centres and encourage residential development on appropriate sites.”*

125.b) *“recognise that some undeveloped land can perform many functions, such as for wildlife, recreation, flood risk mitigation, cooling/shading, carbon storage or food production”*

125.c) *“give substantial weight to the value of using suitable brownfield land within settlements for homes and other identified needs, proposals for which should be approved unless substantial harm would be caused, and support appropriate opportunities to remediate despoiled, degraded, derelict, contaminated or unstable land;”*

130.a) *“plans should contain policies to optimise the use of land in their area and meet as much of the identified need for housing as possible. This will be tested robustly at examination, and should include the use of minimum density standards for city and town centres and other locations that are well served by public transport. These standards should seek a significant uplift in the average density of residential development within these areas, unless it can be shown that there are strong reasons why this would be inappropriate”*

135.c) *“are sympathetic to local character and history, including the surrounding built environment and landscape setting, while not preventing or discouraging appropriate innovation or change (such as increased densities)”*

London Plan (2021)

Regional planning policy for London is contained within the March 2021 London Plan which sets out planning policy for the capital for

the next 20-25 years, integrating social, economic and environmental policy. The underlying objective is to accommodate London's population and economic growth through sustainable development. The following designation in London Plan (2021) is relevant to the application site:

“Policy H2 Small sites”: *“A Boroughs should pro-actively support well-designed new homes on small sites (below 0.25 hectares in size) through both planning decisions and plan-making in order to: “*

- *“support small and medium-sized housebuilders”*
- *“achieve the minimum 10 year targets for small sites” in “Hillingdon: 2,950”*

Policy H4 Delivering affordable housing: *“Boroughs may also require affordable housing contributions from minor housing development in accordance with Policy H2 Small sites”*

Future of London (2050), Delivering Infill Development:

“New entrants can also lead to innovation in the market, as is the case with Pocket Living. Pocket delivers infill homes that are at least 20% cheaper than the local market rate by challenging conventional private sale developments parameters. While 500sq ft had typically been the minimum space standard accepted by councils for new one-bedroom homes, Pocket's highly-designed plans succeeded in winning mayoral backing for a 400sq ft minimum. Pocket has had further public sector support: to help it build up to 4000 homes over 10 years.”

Hillingdon Local Plan

The Hillingdon Local Plan (Part 1) Strategic Policies was adopted in November 2012 and is the key strategic planning document for Hillingdon. It sets out a long-term spatial vision and objectives for the Borough, what is planned to happen, where and how it will be achieved. The Hillingdon Local Plan (Part 2) is made up of the Development Management Policies, this Site Allocations and Designations document and an Atlas of Changes to the existing Policies Map. Together with the Local Plan Part 1, these documents make up the Local Plan for Hillingdon, replacing all saved policies of the Unitary Development Plan (September 2007).

Design and Density

6.23 *“High quality design for new homes will continue to be a priority*

for the Council and the type of dwellings provided should reflect housing needs identified in the borough, particularly the need to provide more family homes with adequate garden space. Further policy guidance on the type of dwellings required in Hillingdon will be contained in the Hillingdon Local Plan: Part 2- Development Management Policies LDD. The density of residential development should take account of the need to optimise the potential of sites compatible with local and historic context, while respecting the quality, character and amenity of surrounding uses. The density and design of residential development will be addressed through the provision of appropriate policies in the emerging Hillingdon Local Plan: Part 2-Development Management Policies LDD.”

Affordable Housing

6.25 *“Increasing the supply of affordable housing (37) is a key priority for this Hillingdon Local Plan: Part 1- Strategic Policies and the Council as a whole. Subject to other planning considerations, measures that increase the supply of affordable housing will be supported. The Council's policy on affordable housing is guided by evidence of housing needs in the borough and the provisions of the current London Plan (2011). The Council's HMA recommends that 50% of net new housing provision (supply from all sources) should be affordable housing and that 22% of the total net requirement is for intermediate housing.”*

6.31 *“Affordable housing achieved across the borough should reflect the distinct needs of different sections of the community. It should include provision for older people and for other groups in need of supported housing, specifically people with mental health needs and people with physical and sensory disabilities or learning difficulties. The council's aim is to maximise independence and provide self-contained accommodation with appropriate support.”*

6.32 *“The type and size of dwellings that are delivered will be as important as the overall number of units. The HMA indicates that 70% of net need for affordable housing is for two and three bed accommodation, more than a fifth is for four bed accommodation and almost 7% is for one bedroom accommodation. The need relative to supply is greatest for larger”*

SO1: *“Conserve and enhance the borough's heritage and their settings by ensuring new development, including changes to the public realm, are of high quality design, appropriate to the*

significance of the heritage asset, and seek to maintain and enhance the contribution of built, landscaped and buried heritage to London's environmental quality, cultural identity and economy as part of managing London's ability to accommodate change and regeneration.”

BE1: *“The Council will require all new development to improve and maintain the quality of the built environment in order to create successful and sustainable neighbourhoods, where people enjoy living and working and that serve the long-term needs of all residents. All new developments should:*

1. *Achieve a high quality of design in all new buildings, alterations, extensions and the public realm which enhances the local distinctiveness of the area, contributes to community cohesion and a sense of place;*
2. *Be designed to be appropriate to the identity and context of Hillingdon's buildings, townscapes, landscapes and views, and make a positive contribution to the local area in terms of layout, form, scale and materials and seek to protect the amenity of surrounding land and buildings, particularly residential properties;*
3. *Be designed to include “Lifetime Homes” principles so that they can be readily adapted to meet the needs of those with disabilities and the elderly, 10% of these should be wheelchair accessible or easily adaptable to wheelchair accessibility encouraging places of work and leisure, streets, neighbourhoods, parks and open spaces...”*

“The height of all buildings should be based upon an understanding of the local character and be appropriate to the positive qualities of the surrounding townscape.” pg 83 London Borough of Hillingdon

9. *Promoting new development to contribute to the upgrading of existing housing stock where appropriate.*

12. *Giving preference to development of previously developed land to avoid the loss of further green areas.*

PART II | RELEVANT PLANNING APPLICATIONS



RELEVANT PLANNING APPLICATIONS

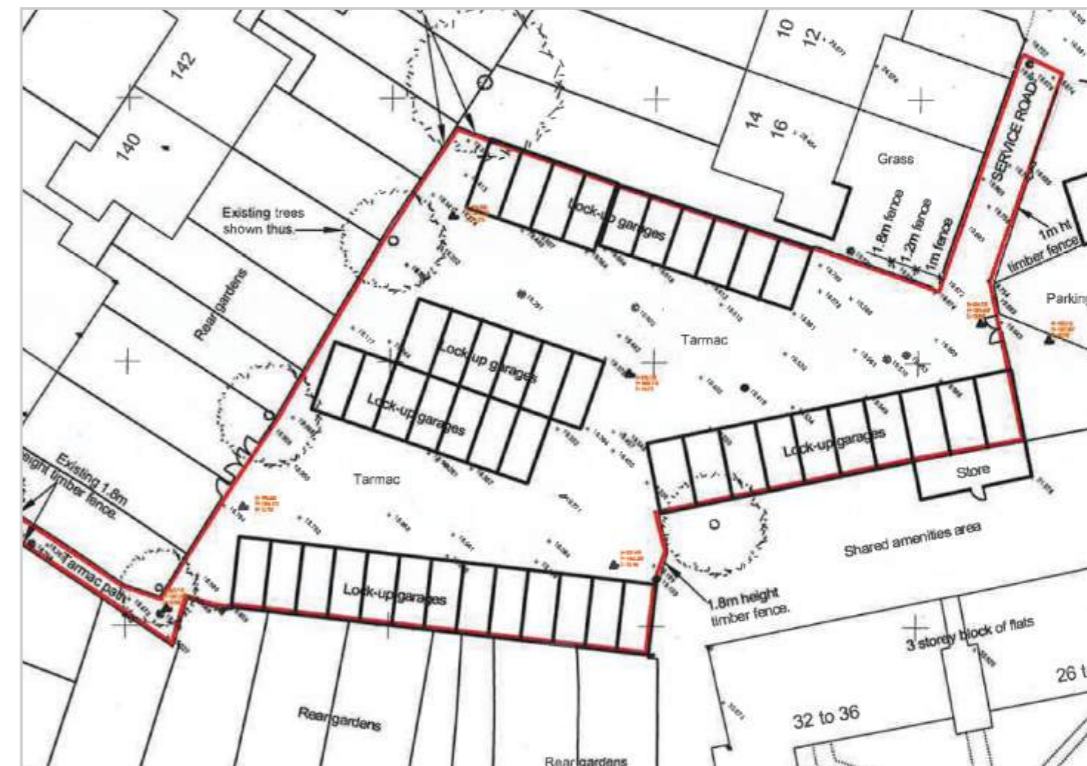
PLANNING APPLICATION - 73231/APP/2017/3665

Description: Demolition of existing garage blocks and construction of a terrace of 5 x two-storey 4-bedroom dwellings with additional rooms in roof space and 11 x car parking spaces provided on former garage plot.

Address: Former Garage Site Off Malmesbury Close Pinner HA5 2NG

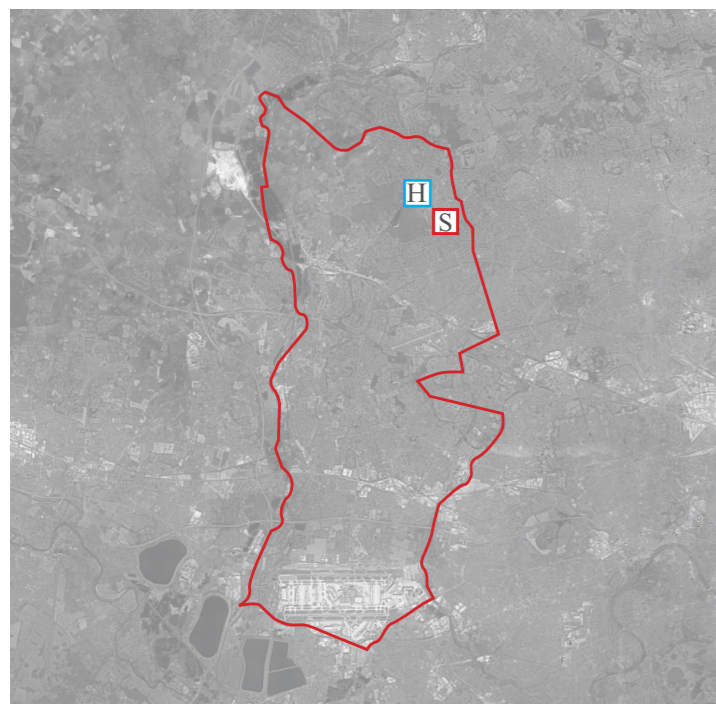
Planning Reference: 73231/APP/2017/3665

Status: Approved



Existing Site Plan

KEY PLAN



- H Malmesbury Close Pinner HA5 2NG
- S 'Site' - Rushmoor Close Pinner, HA5 2HF
- London Borough of Hillingdon



Proposed Elevations



Proposed Site Plan



RELEVANT PLANNING APPLICATIONS

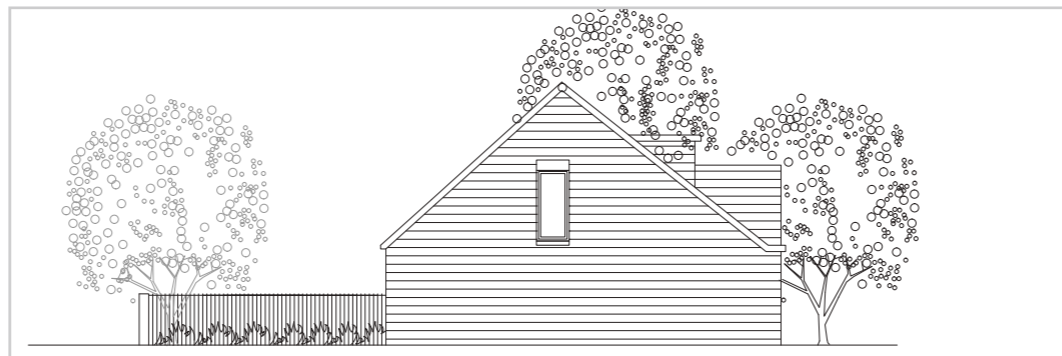
PLANNING APPLICATION - 75530/APP/2022/485

Description: Erection of a 2-bedroom 4 person dormer bungalow with associated car parking and landscaping

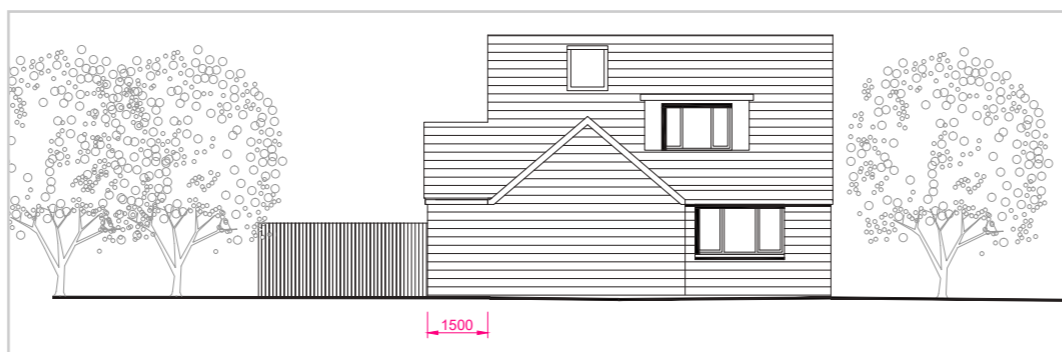
Address: Garage Site Adj 9 And 10 Fairacre Malmesbury Close Pinner

Planning Reference: 75530/APP/2022/485

Status: Approved



Proposed North Elevation

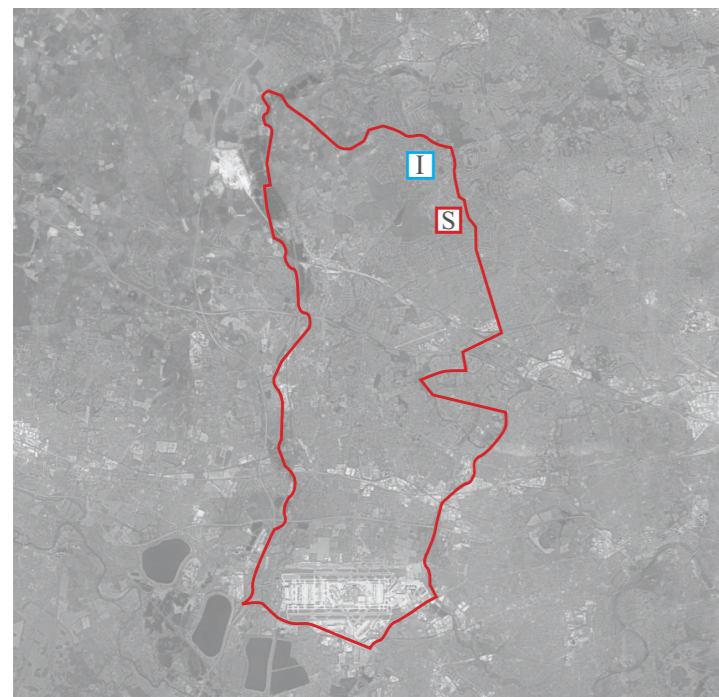


Proposed East Elevation



Existing Site Plan

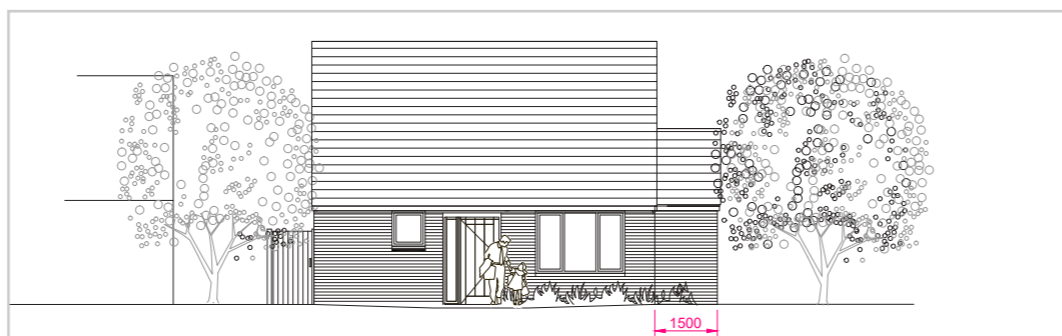
KEY PLAN



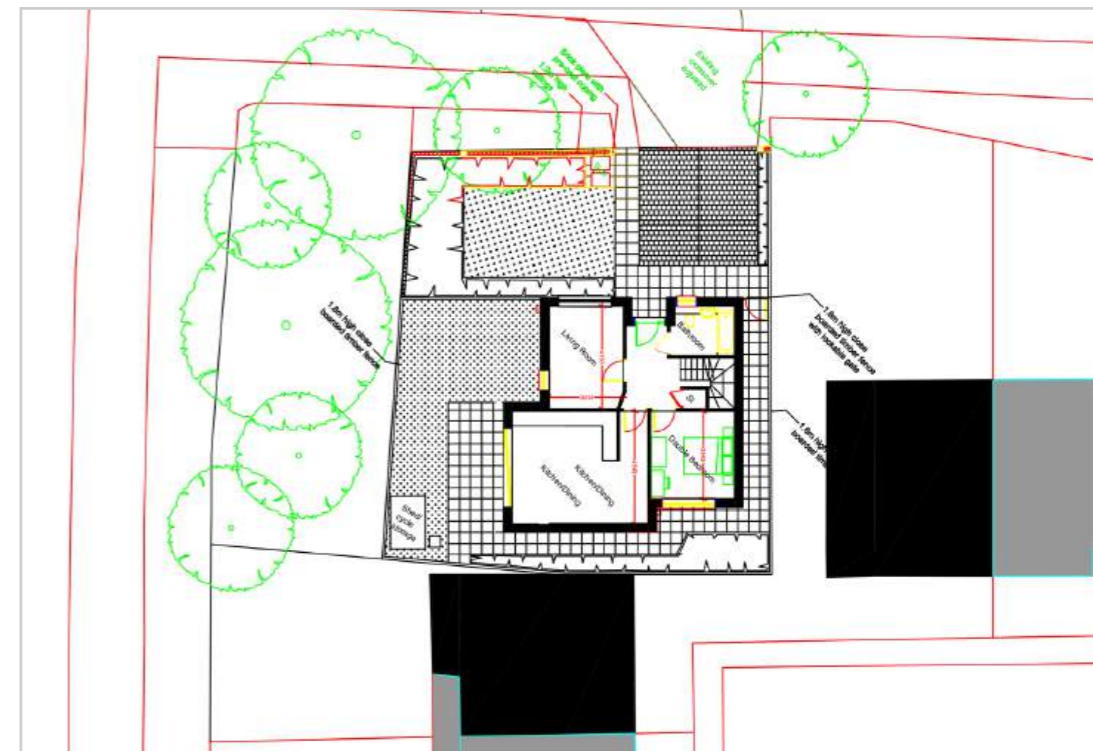
- I 9 And 10 Fairacre Malmesbury Close Pinner
- S 'Site' - Rushmoor Close Pinner, HA5 2HF
- London Borough of Hillingdon



Proposed South Elevation



Proposed West (Front) Elevation



Proposed Site Plan

RELEVANT PLANNING APPLICATIONS

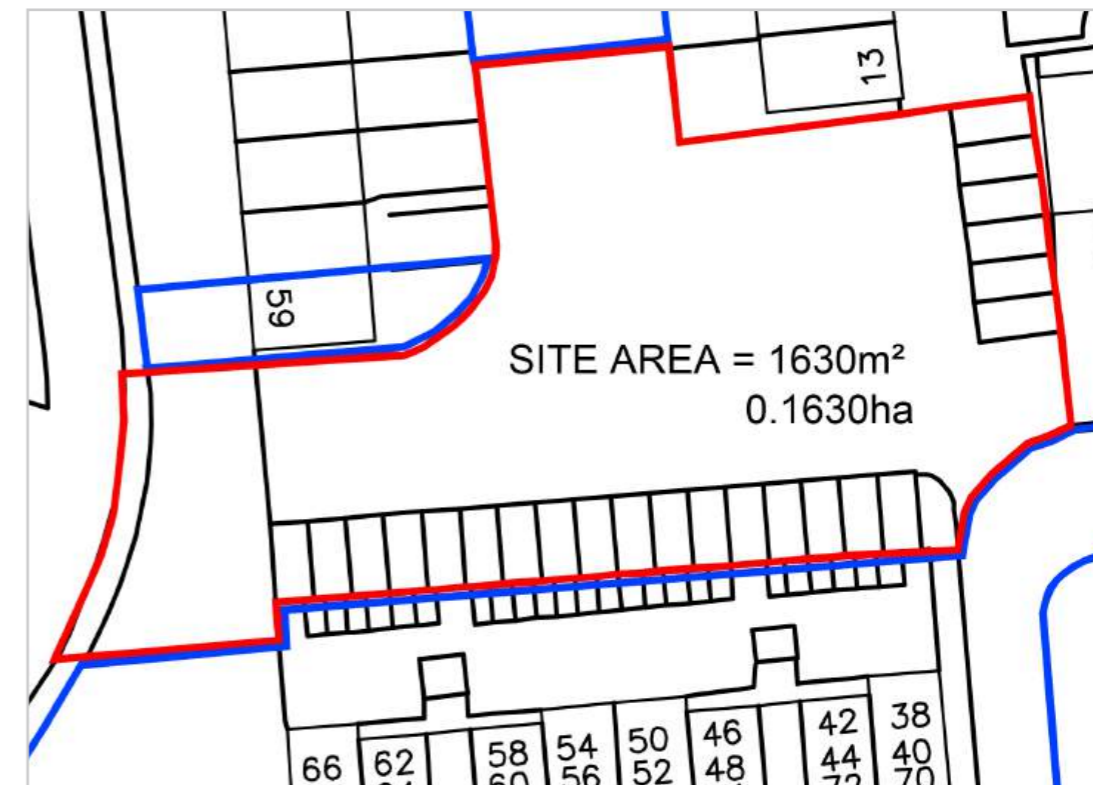
PLANNING APPLICATION - 74342/APP/2018/4084

Description: Demolition of existing garages and construction of 1 x one bedroom attached bungalow, 2 x two storey (with rooms in the roof space), four bedroom dwellings and 4 x two storey, three bedroom dwellings, with associated parking and landscaping

Address: Former Garages Site A Rear Of 38-84 Coleridge Way West Drayton UB4 9HR

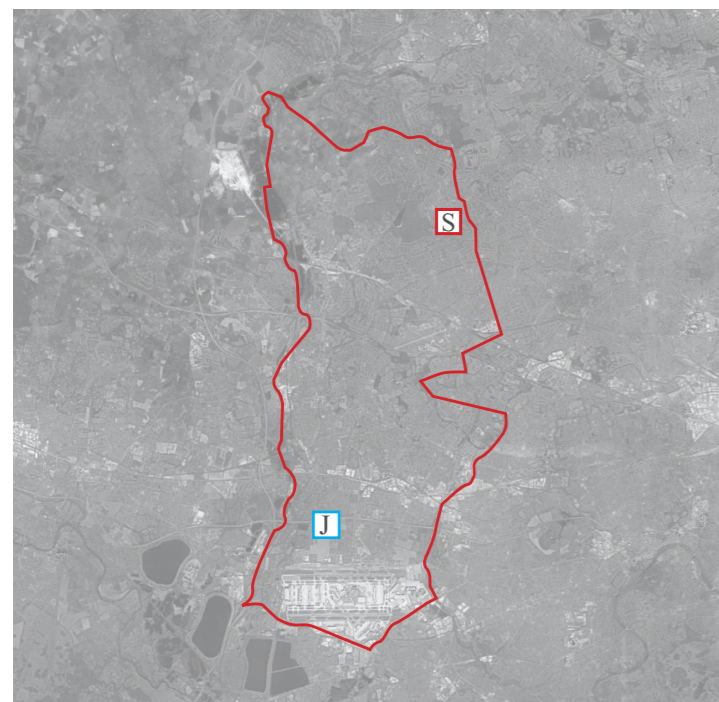
Planning Reference: 74342/APP/2018/4084

Status: Approved



Existing Site Plan

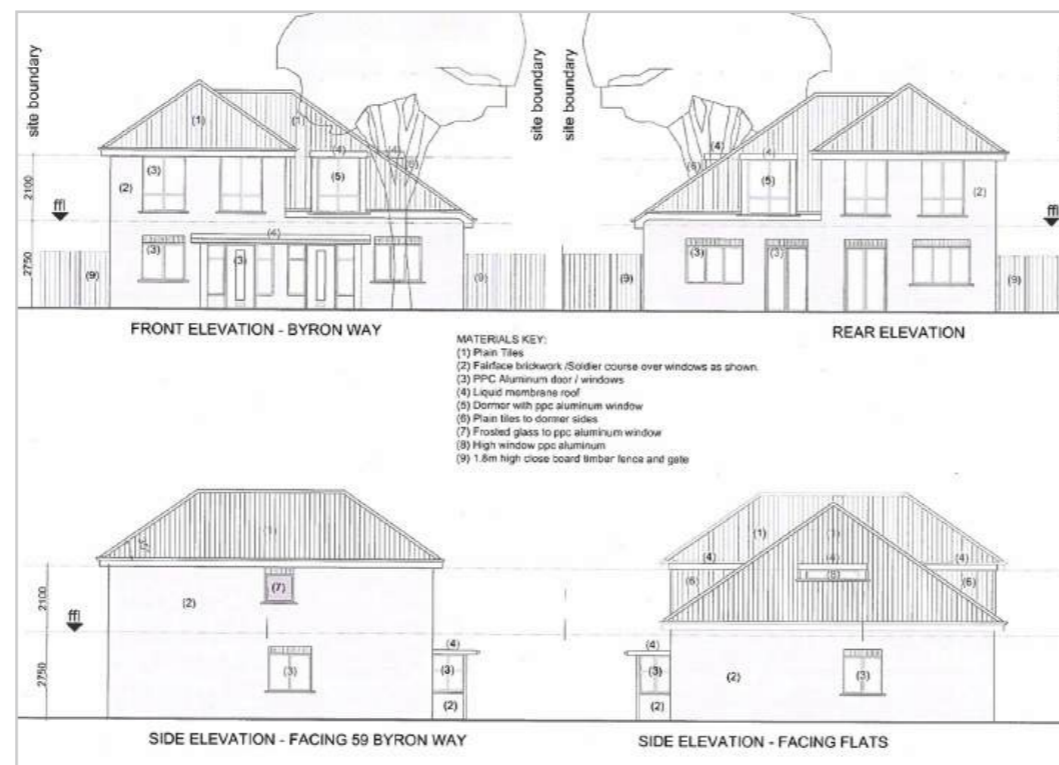
KEY PLAN



J 38-84 Coleridge Way West Drayton UB4 9HR

S 'Site' - Rushmoor Close Pinner, HA5 2HF

□ London Borough of Hillingdon



Proposed Elevations



Proposed Site Plan



RELEVANT PLANNING APPLICATIONS
 PLANNING APPLICATION - 72704/APP/2017/1068

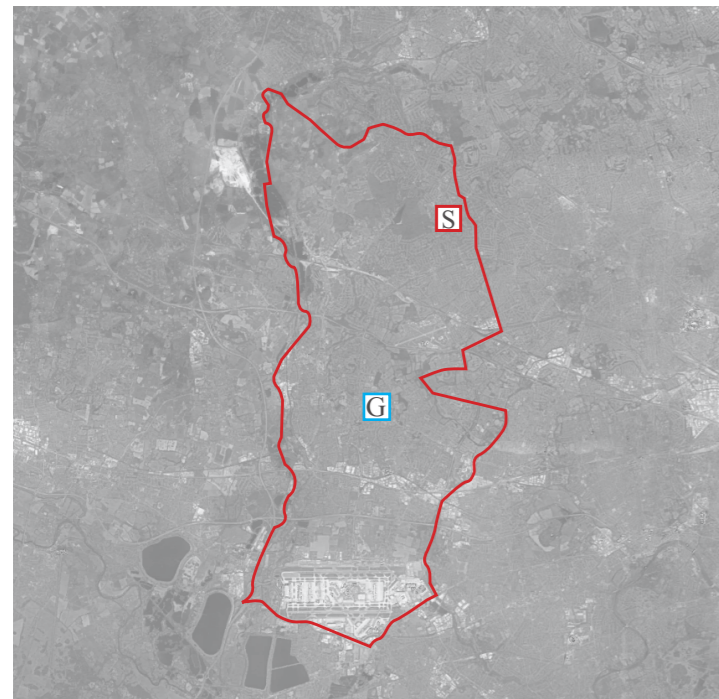
Description: Proposed demolition of the existing garage blocks and erection of 6 houses with rear dormers, parking spaces, all associated external works and changes to the front and rear gardens of 13 Nelson Road to widen the existing access.

Address: Former Garage Site R/O 6-16 Nelson Road Hillingdon

Planning Reference: 72704/APP/2017/1068

Status: Approved

KEY PLAN



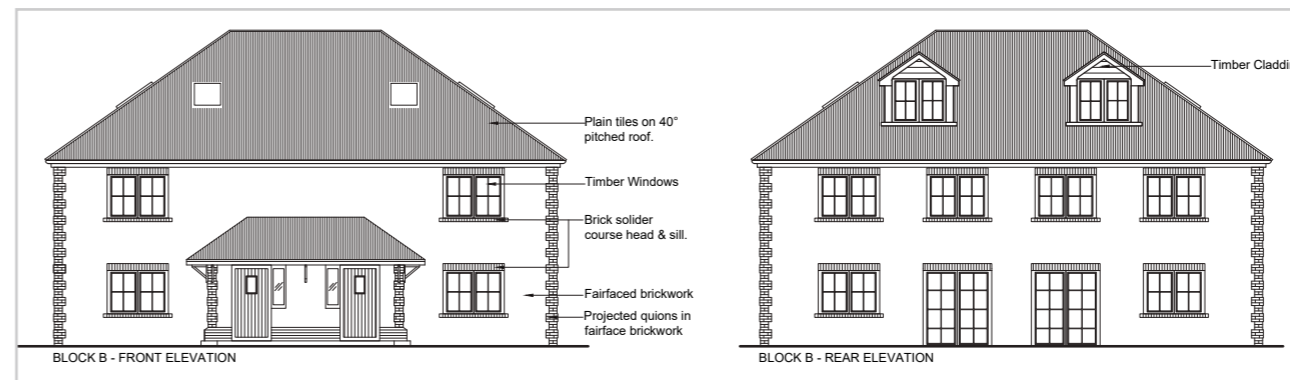
- G 6-16 Nelson Road Hillingdon
- S 'Site' - Rushmoor Close Pinner, HA5 2HF
- London Borough of Hillingdon



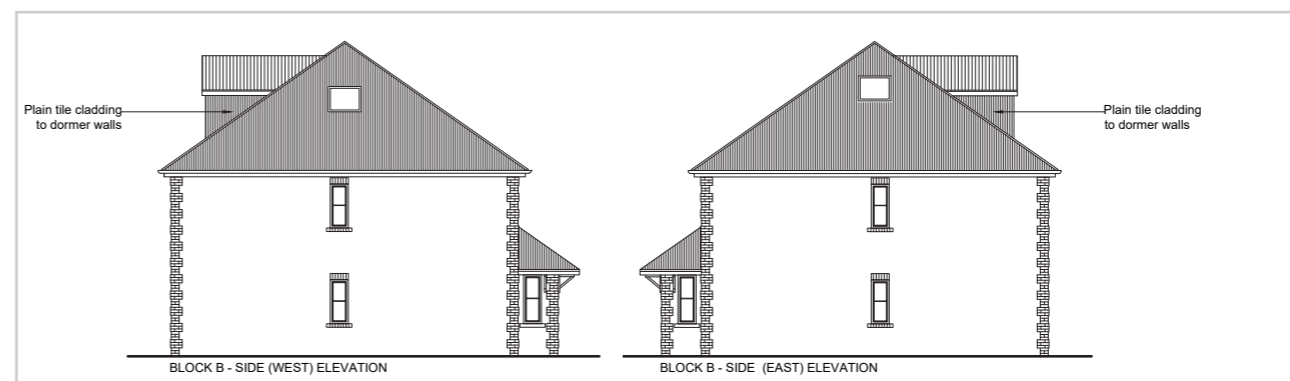
Proposed Front Elevations - Block A



Proposed Rear Elevations - Block A



Proposed Front & Rear Elevations - Block B



Proposed Side Elevations - Block B



PART III | EXISTING DRAWINGS



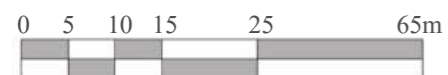
EXISTING DRAWINGS

SITE LOCATION PLAN



 Site Boundary

EXISTING SITE LOCATION PLAN.
DRAWING no. 1000 1:1250@A3



LAND AT RUSHMOOR CLOSE PINNER. HA5 2HF



EXISTING DRAWINGS

SITE BLOCK PLAN



 Site Boundary

EXISTING SITE BLOCK PLAN.
DRAWING no. 1001 1:500@A3



LAND AT RUSHMOOR CLOSE PINNER. HA5 2HF












PART IV | SITE ANALYSIS



SITE ANALYSIS

LOCATION & ORIENTATION

The adjacent diagram illustrated site analysis and key aspects required for consideration.

-  Site Boundary
-  Site Access
-  Rushmoor Close & High Road Eastcote, potential noise & pollution affecting the proposal
-  Neighbouring Building - 10 & 11 Rushmoor Close Eastcote Pinner - Historically approved planning application ref. 42564/88/2196 - 'Erection of 2 two-bedroom detached dwellings with integral garages'.
-  Neighbouring Building - 1 Rushmoor Close Eastcote Pinner - Historically approved planning application ref. 29818/81/0088 - 'Residential development, Housing (Full) (P)'.
-  Neighbouring Building - 1A Rushmoor Close Eastcote Pinner - Historically approved planning application ref. 33986/84/1923 - 'Residential development-1 units (Full) (P)'.
-  Sunpath Orientation
-  Eastcote Village Conservation Area
-  Metropolitan Open Land



SITE ANALYSIS.

DRAWING no. 0700 1:500@A3



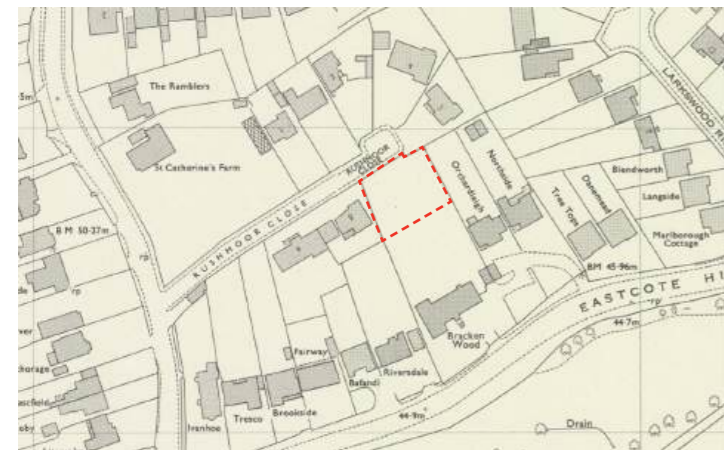
SITE ANALYSIS

HISTORICAL PATTERN OF DEVELOPMENT

The following analysis considers the prevailing pattern of development in the immediate context, with particular reference to principal elevations/ building line.

Catlins Lane is defined by a consistent and continuous principal elevation line, with a straight and horizontally aligned frontage. This is the only street within the immediate area where a uniform building line is maintained. By contrast, the streets surrounding Rushmoor Close exhibit a more varied and articulated character. Principal elevations step forwards and backwards, creating a staggered arrangement that defines the established urban grain. This pattern is also evident along Larkwood Rise and High Road Eastcote, where more recent development has adopted the same recessed configuration, reinforcing the prevailing character.

Within Rushmoor Close, the majority of dwellings follow this staggered rhythm, with the exception of Nos. 8 and 9. The recent addition of Nos. 10 and 11, as marked in orange on the site plan, further demonstrates this approach. These two dwellings adopt a staggered frontage, with one set back from the other, rather than conforming to a single unified principal elevation. Extending the principal elevation of No. 8 across the application site provides a logical datum. The proposed development can respond appropriately by incorporating a staggered frontage, with one dwelling set back to maintain alignment with the established pattern.



Historic Map - Circa 1970 Surveyed soon after the construction of Rushmoor Close.



Site Analysis - Based on Ordnance Survey Mapping (c.1970)



SITE ANALYSIS

DEVELOPMENT PERIMETER AND MASSING STRATEGY

The adjacent diagrams illustrate the site analysis in relation to neighbouring properties and existing datums within the streetscape and urban grain. This analysis has been used to define a development perimeter for the site. Within this defined area, outline massing proposals can be positioned to establish the maximum development massing achievable, while responding to the site's constraints.



Building Line Establishment - Initial setting of building lines derived from No. 8 and No. 9 neighbouring properties to define the maximum recessed massing and establish a front building line aligned with adjacent dwellings.



Built Form Envelope - Outlining the maximum achievable built form within site constraints while maintaining alignment with the established front and rear building lines set out above.

- KEY
- Site Boundary
 - Building Mass Proposals



SITE ANALYSIS

MASSING DEVELOPMENT

The following diagrams showcase four massing scenarios within the site, with the fourth option (highlighted by the blue dashed box) being the scenario that was further developed into the final proposal.

- KEY
- Site Boundary
 - Building Mass Proposals



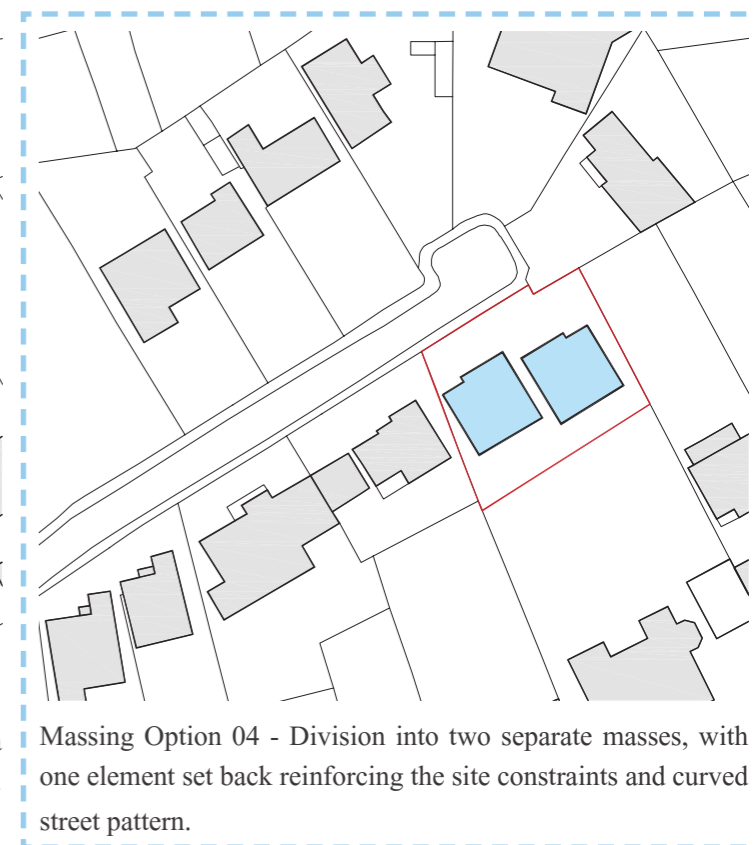
Massing Option 01 - Maximum achievable massing arranged as two dwellings positioned within the established building lines of neighbouring properties.



Massing Option 02 - Front and rear gable arrangement reflecting the massing form and roof character of adjacent dwellings.



Massing Option 03 - Maximising usable rear space through a flush rear building line aligned with neighbouring rear massing.



Massing Option 04 - Division into two separate masses, with one element set back reinforcing the site constraints and curved street pattern.



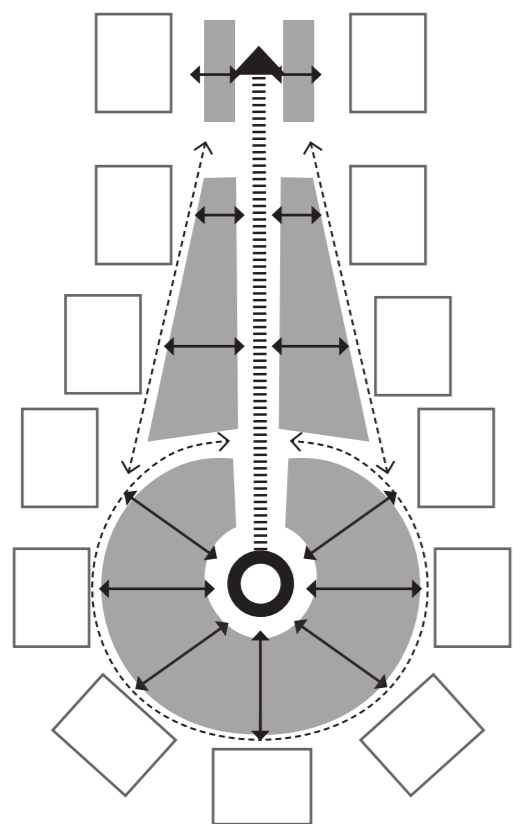
SITE ANALYSIS

URBAN FORM & STREET PATTERN

The analysis examines the application site in relation to Rushmoor Close, focusing on its primary access road and the pattern of development that has formed around the street layout. Rushmoor Close is arranged as a single entry road extending from Catlins Lane, terminating in a circular turning head at the application site.

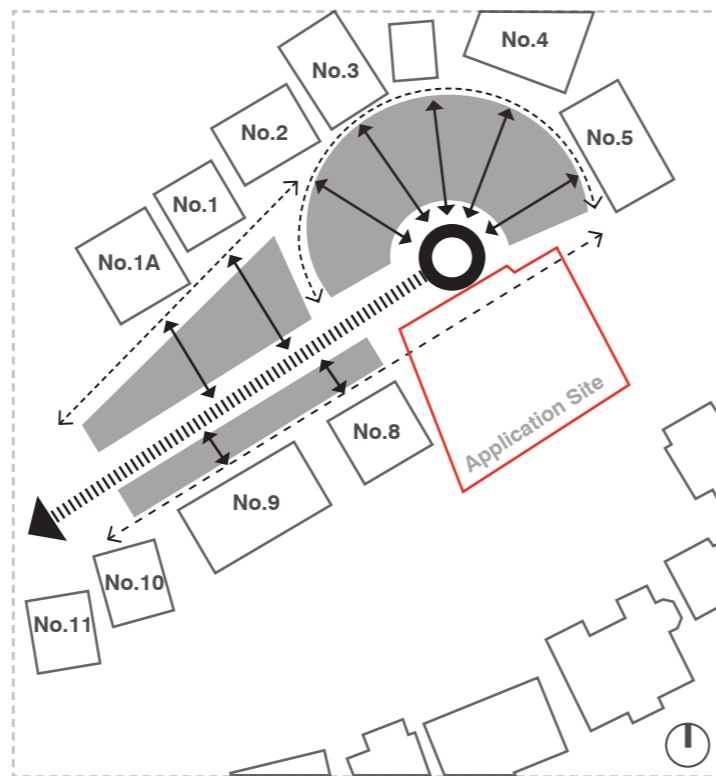
Residential buildings are positioned to address and face the street, creating active frontages and strong spatial definition. Where hammerhead roads or turning heads occur, dwellings are typically angled toward the centre of the road to maintain visual connections and reinforce orientation toward the public realm. The layout at Rushmoor Close follows this established design principle.

DESIGN PRINCIPLE



Street Frontage Massing Arrangement and Orientation in Relation to the Turning Head Access Road Design Principle.

RUSHMOOR CLOSE



Spatial analysis of the each dwellings orientation around the turning head, identifying movement patterns, sightlines, and relationships between existing massing & the main access road.

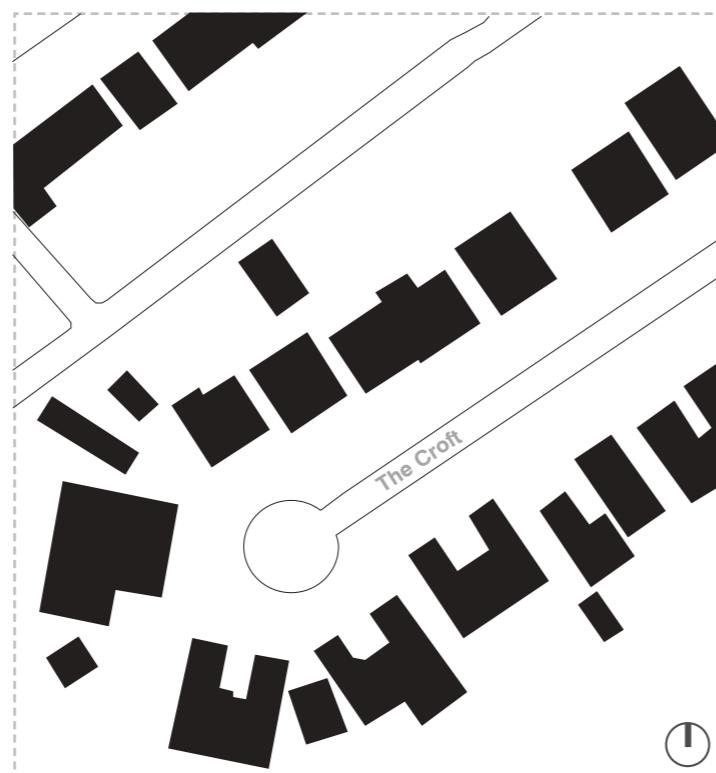


Identify façade recessed positioning and the distance from the main road. Establishing a perimeter area for development, from the figure ground analysis.

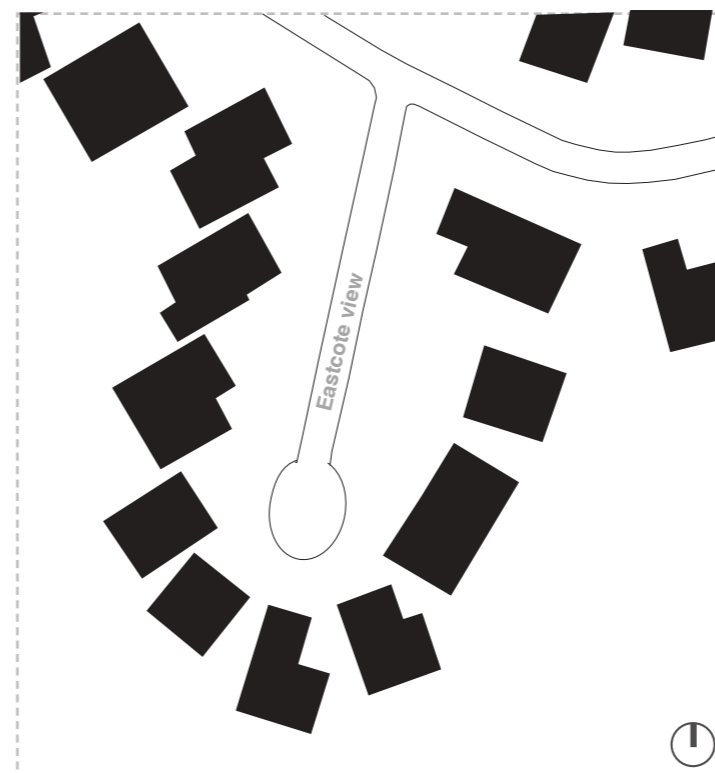


Possible building massing within the site, considering context, neighbouring relationships, and overall spatial impact.

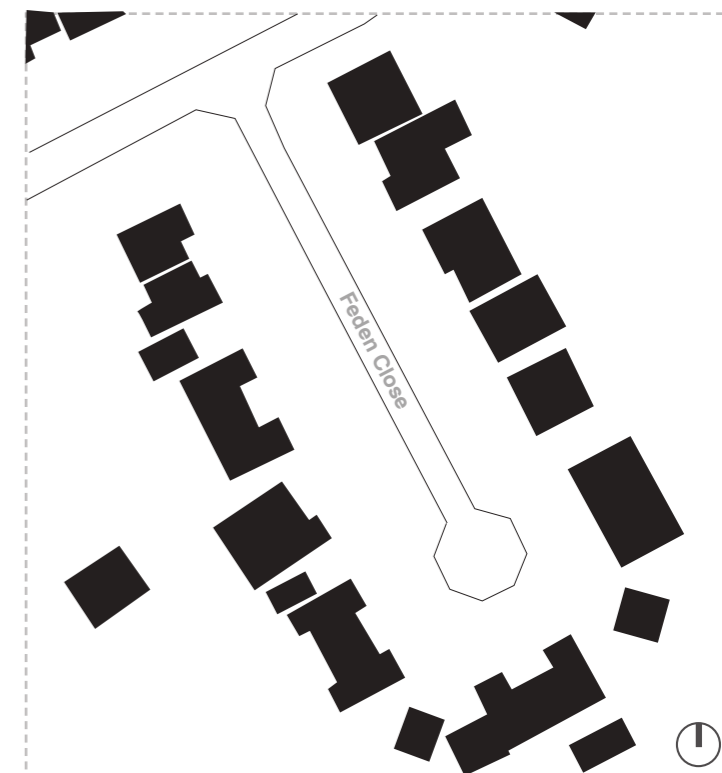
LOCAL PRECEDENTS



Precedent Study 1. Example of existing dwellings arranged to address the street, reinforcing enclosure and consistent frontage alignment.



Precedent Study 2. Existing development demonstrating angled building orientation responding to curved street geometry and shared turning space.



Precedent Study 3. Typical street frontage pattern.



SITE ANALYSIS

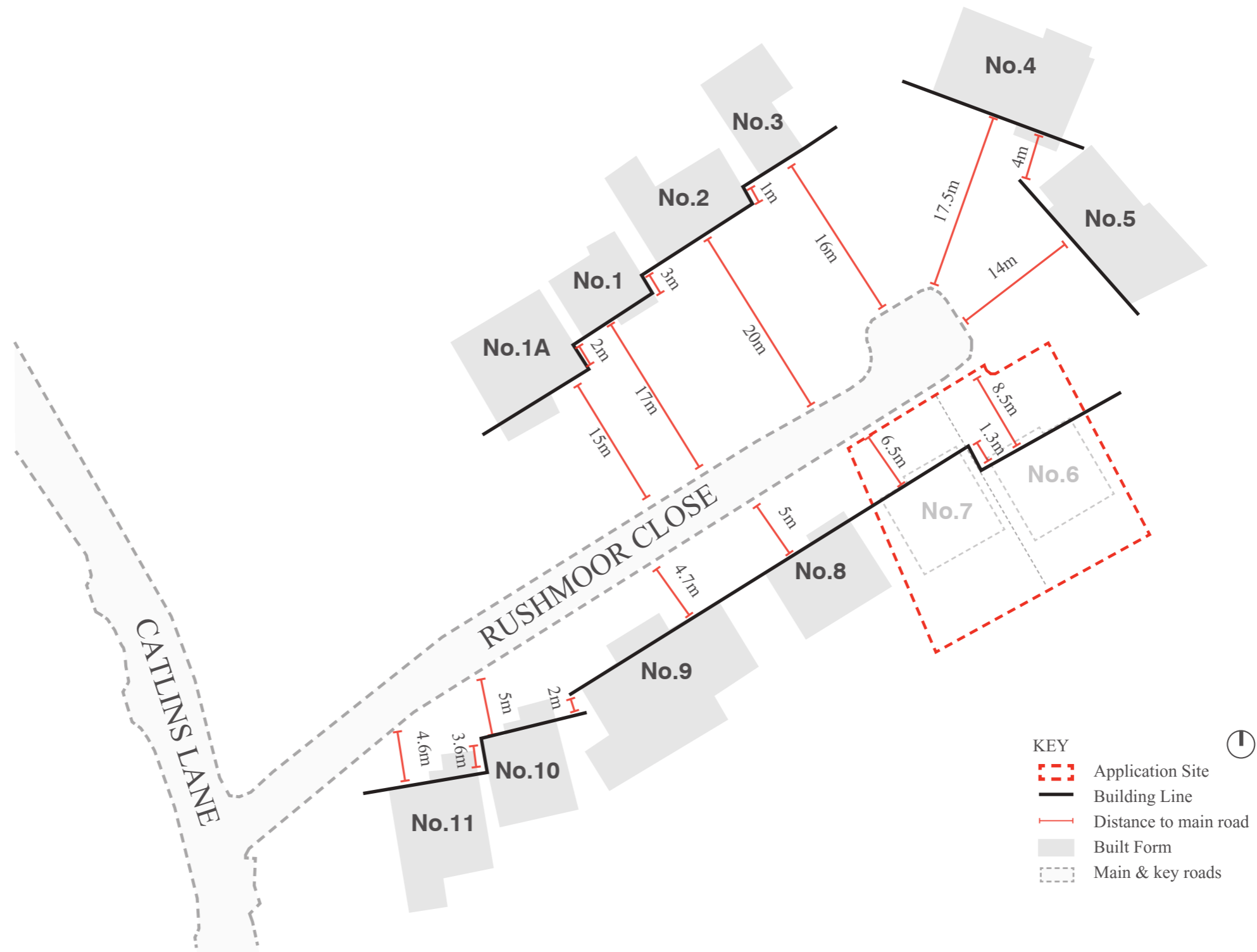
BUILDING LINE

This section summarises the immediate site context and assesses the positioning and orientation of dwellings along Rushmoor Close, building upon the previous analysis of the established building line and typical setback pattern within the surrounding area.

Dwellings are arranged around the turning head, which forms the focal point of the street. Properties from Dwelling 1A to No. 3 establish a consistent spatial relationship, with an approximate 17-metre setback between opposing front elevations and the dwelling located at the turning point. The building line curves in response to the junction geometry. Along Rushmoor Close, the built form presents a defined but staggered building line that transitions toward the turning head. Dwellings at the end of the street follow the curvature of the road alignment, reflecting the prevailing residential layout and established street design principles within the area.

The application site currently forms a break in the street frontage, comprising a larger vacant plot located at the turning head. The street numbering sequence omits Nos. 6 and 7, which logically correspond to this site, indicating an original intention for two dwellings to occupy this plot. Although historic plot subdivision is not formally recorded online, the intended development pattern can be inferred from the surrounding building orientation, frontage alignment, and spatial relationship of dwellings around the turning head. Development in this location should therefore follow the established layout logic.

Based on the existing cul-de-sac arrangement, appropriate massing would adopt a curved frontage aligned with the turning head and a stepped setback building line consistent with adjacent properties, particularly Nos. 2 and 3. The proposed massing responds to these established characteristics and design principles, reinstates continuity within the street frontage, and integrates with the existing residential pattern in scale, orientation, and spatial arrangement.



SITE ANALYSIS

SITE CONSTRAINTS & OPPORTUNITIES

The adjacent diagram illustrates key site constraints taken into consideration when designing the proposal. It informs usability, site access, building orientation, room layouts, building footprint and other key design elements. It also highlights the existing opportunities of the site and it's surrounding setting, which can be utilised into design opportunities.

Note: The whole site sits within Eastcote Village Conservation Area.

- Site Boundary
- ▶ Current site access gate - central dual accessway to be retained
- Driveway space
- Front garden space
- ☀ Sunpath orientation
- ⊙ Communal council built elements
- Trees - arboricultural survey will be required to assess the impact of tree roots and the tree value
- Key RPA to be considered
- Potential over-looking from neighbouring properties, to a 20m radius
- Provisional dwelling outlines
- Side access connecting gardens or a utility room.
- Potential to mirror dwellinghouses and the rear landscape
- Area for bin storage - away from streetscape view
- Area for bike storage - away from streetscape view

SITE ANALYSIS. 1:200@A3



LAND AT RUSHMOOR CLOSE PINNER. HA5 2HF



Approach to site - telegraph pole & lamp post visible



SITE ANALYSIS

45-DEGREE RULE ANALYSIS

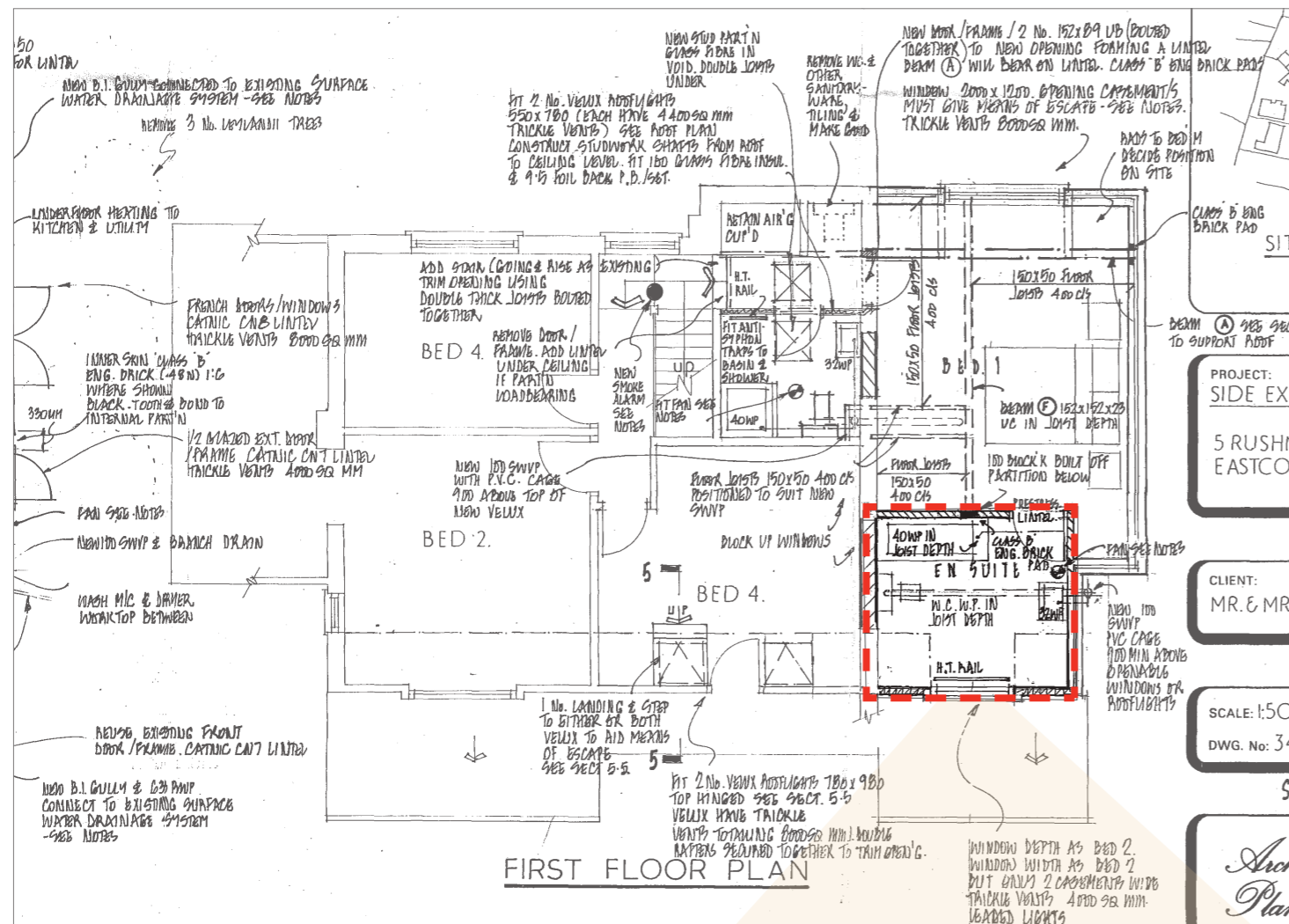
The adjacent diagram illustrates the proposed dwellings in relation to neighbouring properties, assessing potential impacts on outlook, daylight, and privacy. Each issue has been considered individually to ensure that any effect on surrounding residences is minimized.

In the case of No. 5, recent planning history has informed the current assessment. The window potentially affected by the proposed development serves a bathroom or en suite. These are classified as non-habitable rooms, meaning they are not subject to the same level of protection as living rooms, bedrooms, or kitchens under planning policy.

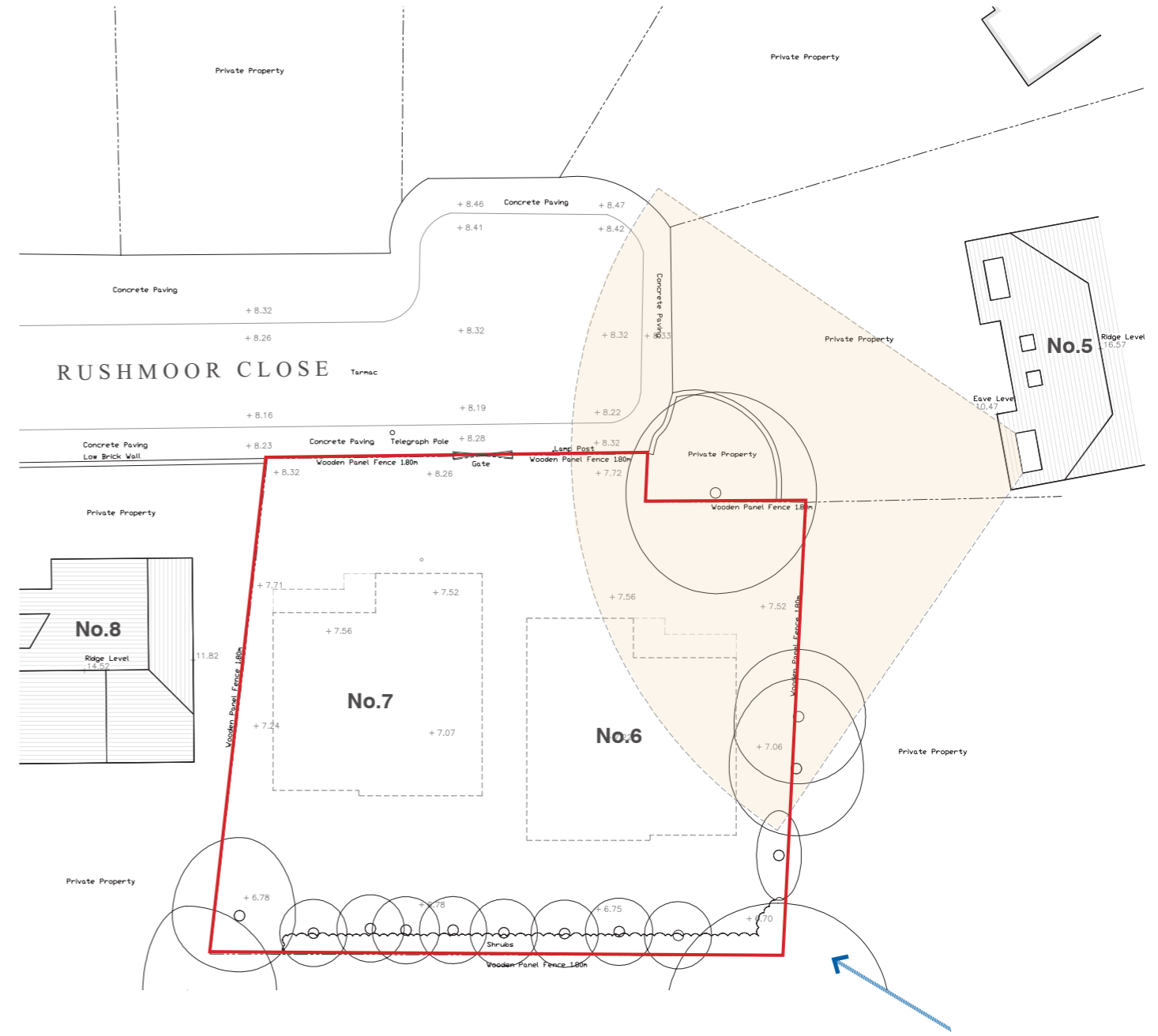
The 45-degree rule, as outlined in the Building Research Establishment (BRE) guidance, is used to assess whether a proposed extension would significantly reduce natural light to a neighbour's habitable room. It helps ensure that developments

do not unreasonably block sunlight or outlook. This rule was applied to the 'as-built' extension to determine whether it infringes on light entering a neighbouring window.

Since the affected window at No. 5 serves a non-habitable room, any breach of the 45-degree guideline is not considered material in planning terms. Moreover, such rooms typically rely less on natural light, and planning authorities often accept limited impacts in these cases. If required, further privacy can be ensured through the use of obscured glazing or restricted window openings.



No. 5 Rushmoor (54965/APP/2007/2831)



- Site Boundary
- Potential over-looking from neighbouring property No.5 Rushmoor Close, to a 20m radius.

45-DEGREE RULE. 1:200@A3



SITE ANALYSIS

45-DEGREE RULE ANALYSIS

Although there is no formal planning history available for No. 8, evidence has been gathered through publicly accessible property sale listings, which included interior photographs. Two bedrooms were documented at the time, neither of which appears to contain the window currently under assessment. While Bedroom 3 is not explicitly documented, it can be reasonably assumed to be located in the rear dormer based on the building's layout. As such, the 45-degree rule has been applied and is illustrated on the adjacent maps, demonstrating that the proposed development falls outside of the relevant view cone. The use of obscured glazing on the window further reinforces the perception that it serves a bathroom, as seen in the image taken from the site. On this basis, it is reasonable to conclude that the window in question serves a bathroom or a circulation space, such as a landing or hallway non-habitable rooms that are not afforded the same daylight and outlook protections under BRE or local planning guidance.

Given the likely function of the window and its limited relevance to the overall usability of the space, any potential impact from the proposed development is deemed minor and not significant in planning terms. To mitigate any residual concerns related to privacy or outlook, standard measures such as frosted glazing or limited window openings can be applied. In summary, the relationship between the proposed development and No. 8 is considered appropriate and compliant with planning policy, with no undue harm anticipated.



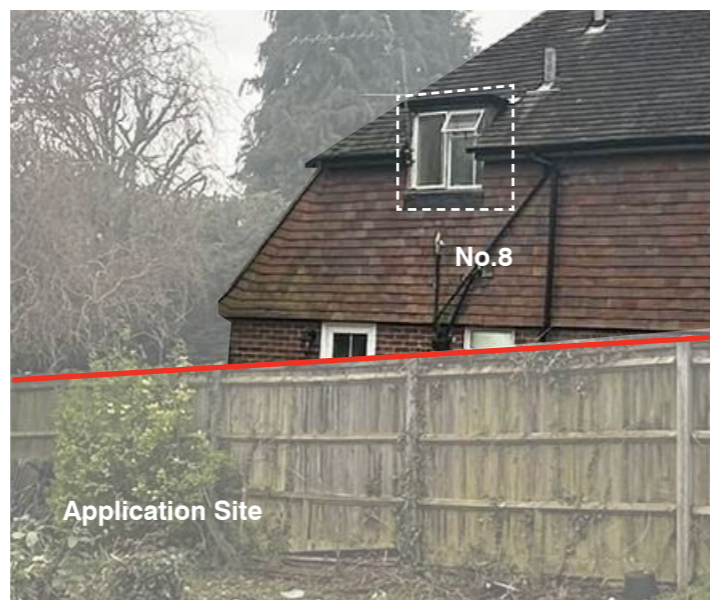
No.8 Rushmoor Bedroom 1



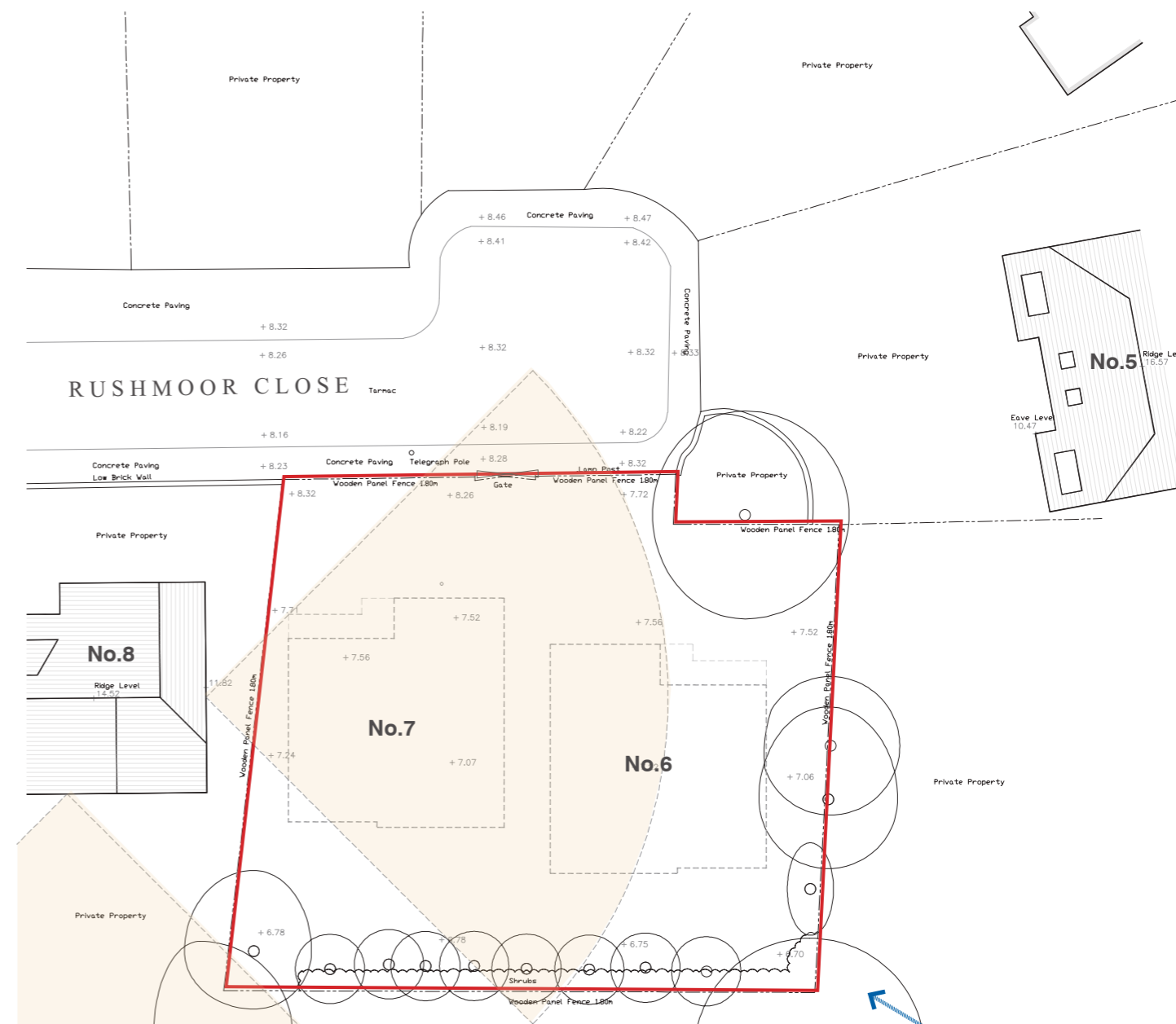
No.8 Rushmoor Bedroom 2



No.8 Rushmore Site Plan



No.8 Rushmoor view from site of the window in question



Property to SE is set back far enough to not incur on looking.

- Site Boundary
- Potential over-lookings from neighbouring property No.8 Rushmoor Close, to a 20m radius.

45-DEGREE RULE. 1:200@A3

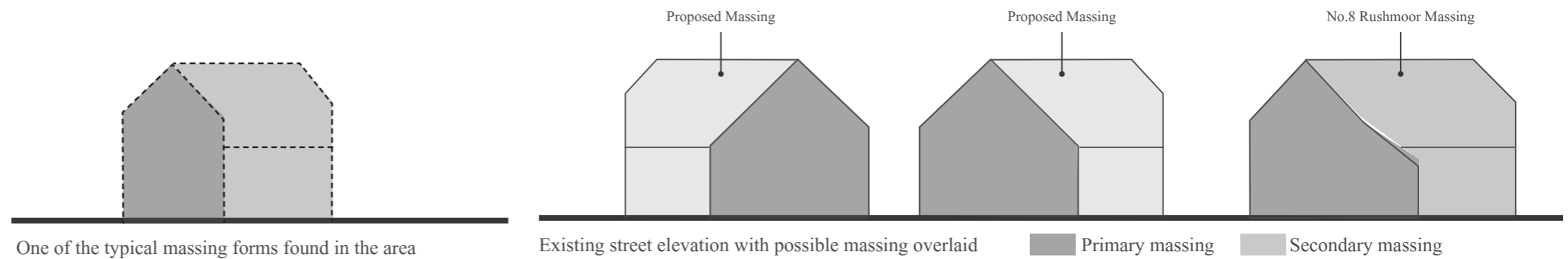


SITE ANALYSIS

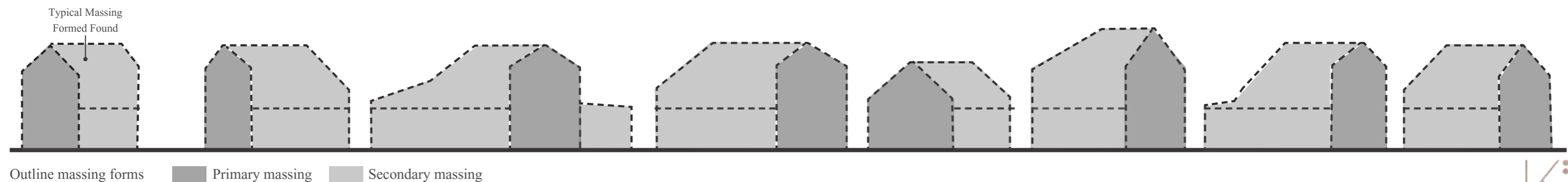
LOCAL CHARACTER - FACADE MASSING ASSESSMENT

The following section examines the local architectural context, identifying key characteristics that inform the design and massing approach at Rushmoor Close and within its surrounding environment. A consistently observed typology in the area is a front-projecting gable roof form, typically extending across two storeys, which establishes the primary and most legible mass of the building. This principal form is commonly accompanied by a recessed façade that steps down to a subordinate single-storey element. As illustrated below, this massing arrangement closely reflects the built form of the property adjacent to the application site and is widely evident throughout the surrounding context. The dominant visual mass is defined by the forward gabled roof, while the set-back portion reads as a secondary massing element.

In response, the proposed design seeks to reinforce these established principles. Similar to No. 8 Rushmoor Close and neighbouring properties, the proposal incorporates a stepped massing arrangement, with the building form reducing in height to one side and transitioning to a single-storey element. This approach reflects the prevailing architectural rhythm of the street, ensuring the development integrates comfortably with the existing character and built context.



Local architecture



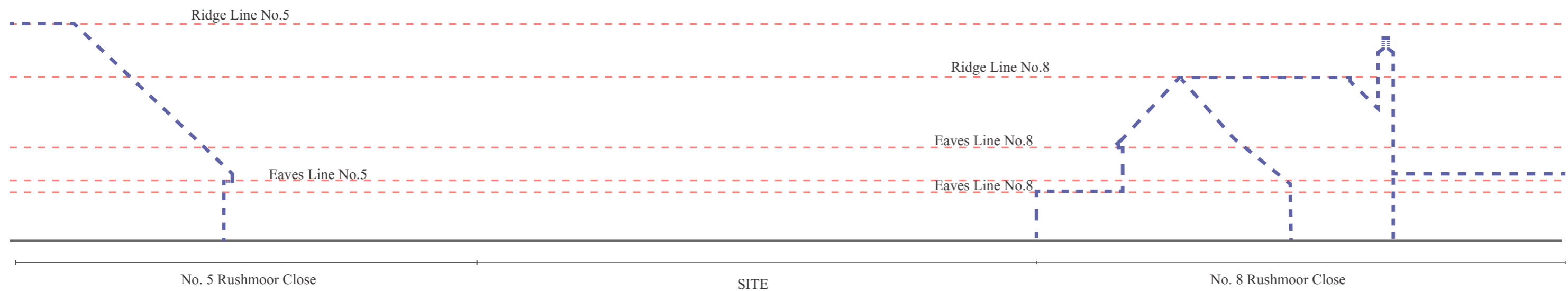
SITE ANALYSIS

SITE CONSTRAINTS & OPPORTUNITIES

The following analysis identifies current datum lines of the imminently neighbouring within the streetscape properties, comparing the differences in roof and feature line heights.

The diagram illustrates the existing datums of the immediate neighbouring properties within the streetscape of rushmoor close furthermore, it communicates how there is an opportunity for plots 6 & 7 to act as mediators in terms of height, scale, massing and architecture features to ensure the proposal site comfortable within the streetscape.

- - - Datum lines
- - - Building outlines



Existing streetscape datums



PART V | CONCEPT JUSTIFICATION



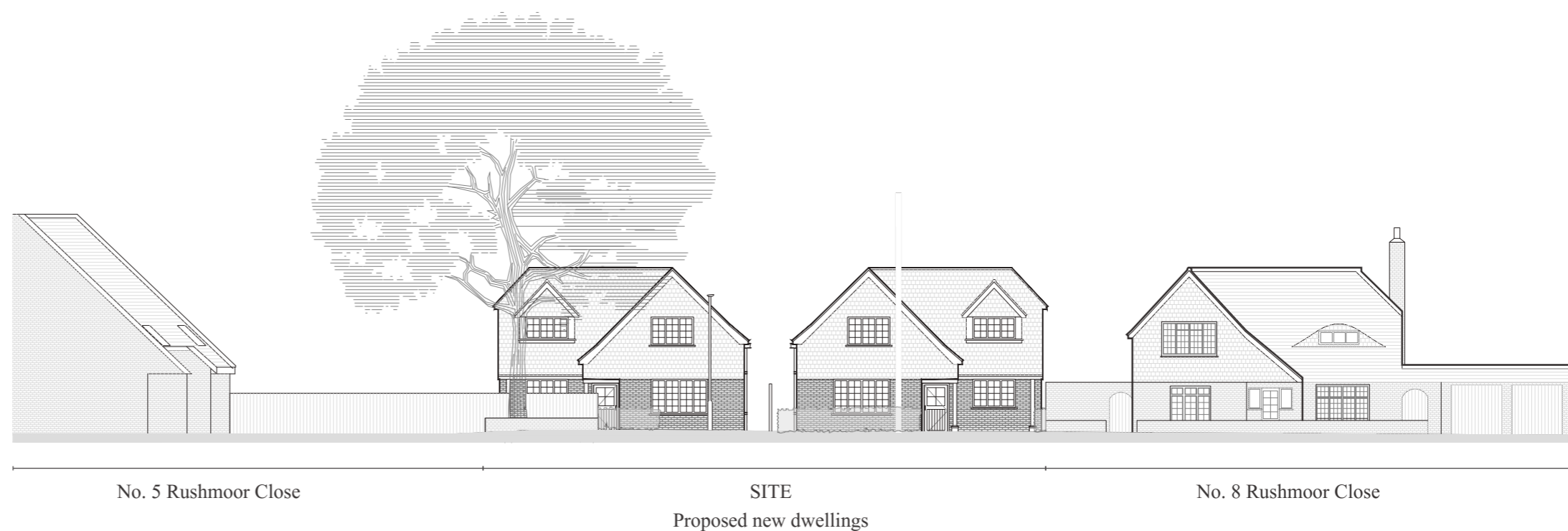
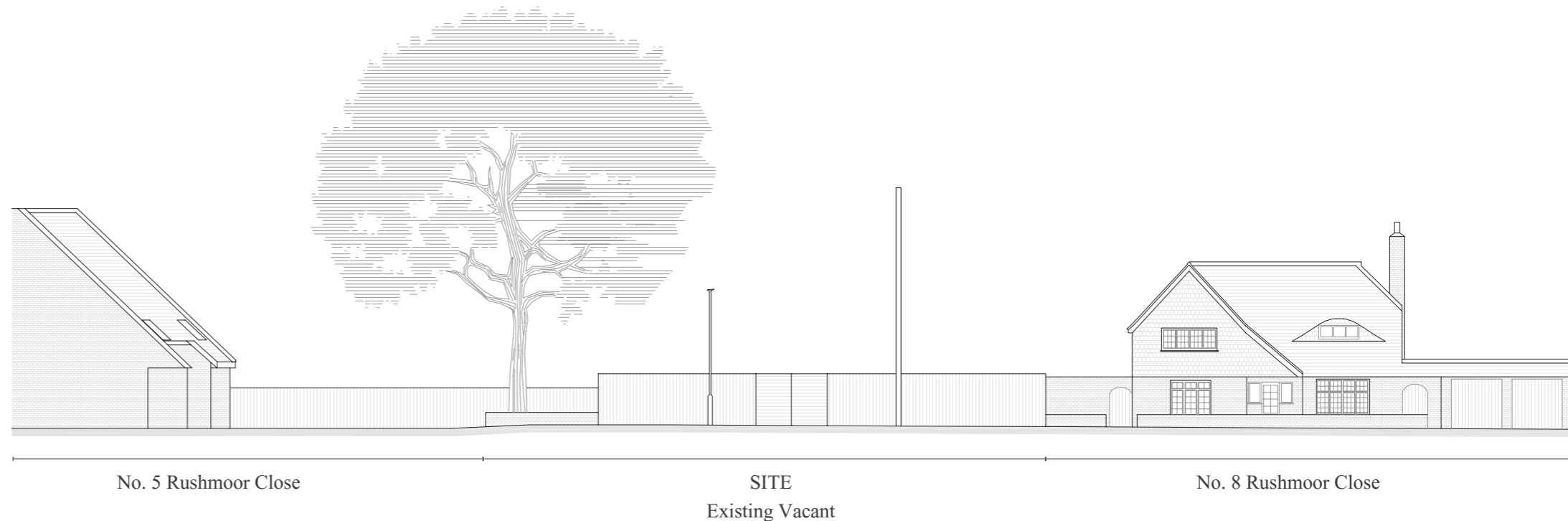
CONCEPT JUSTIFICATION

SUMMARY

The proposal includes two new semi-detached, two-storey three bedroom dwellings. The design of the two properties is symmetrical, but with plot 6 being handed to avoid encroachment into a key RPA (Root Protection Area). Each dwelling has dual aspect outlooks, with front and rear gardens and a connecting side passage. The dwellings will have a dedicated access driveway for vehicular parking, with separate pedestrian pathways leading to the front doors. Private gardens are provided for each property to the rear. The RPA was taken into consideration while designing the landscape and the soil level around the tree is to be retained unaltered to minimise the impact on the roots.

The external appearance of the properties will be in fitting with the style of the local architectural style, much of which is characterised by 1930s Arts & Crafts style dwellings. The design takes inspiration from the local Arts & Crafts style architecture and is informed by neighbouring ridge heights, roof shapes, window proportions, cill heights, materials and datums.

The proposal will benefit from sustainable and energy credentials through specifying improved industry insulation products to new external walls and roof, through the fitting of double glazed windows and doors, the installation of photovoltaic panels on the rear pitched roof and through the planting of hedgerow, greenery and flowers.

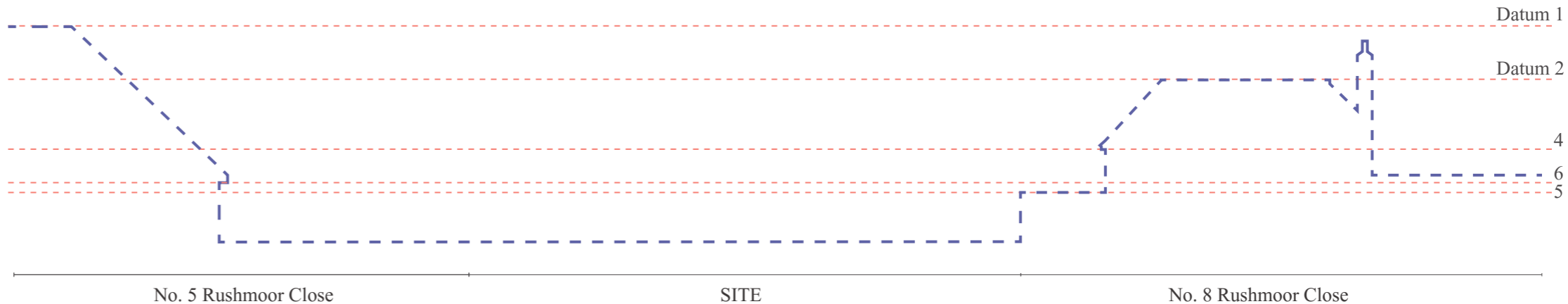


CONCEPT JUSTIFICATION

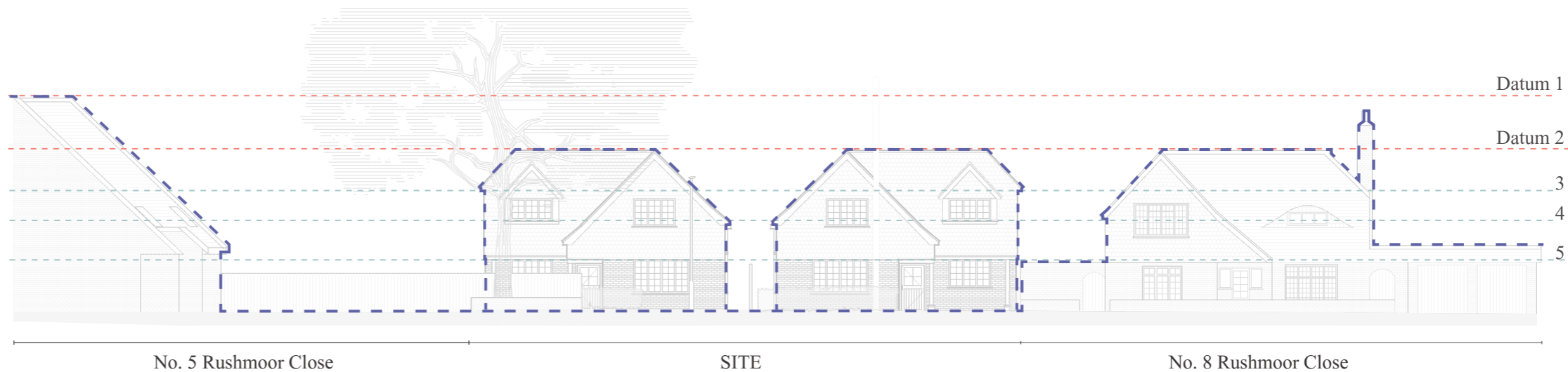
ELEVATION STREETSCAPE ANALYSIS

The following analysis identifies current datum lines of the properties within the streetscape, comparing the differences in the roof and feature line heights. The adjacent diagrams showcase how the proposed dwellings act as intermediaries between the adjacent plots.

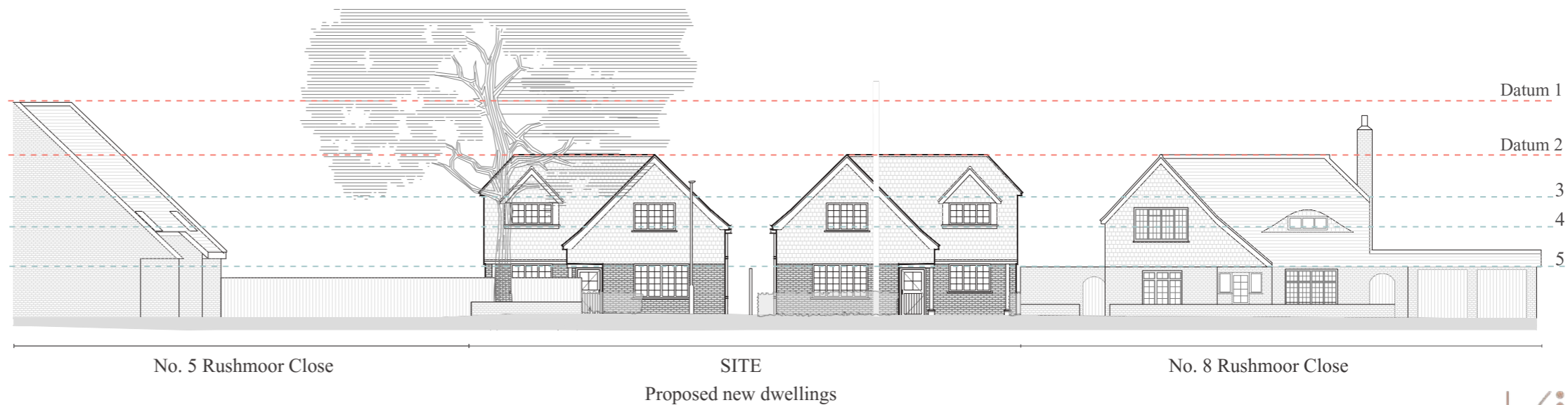
The proposed massing is lower than the overall prevailing building height of No. 5 Rushmoor. The proposed ridge height and massing of No. 8, creating a more unified streetscape within which the dwellings sit comfortably within its context.



Existing streetscape datums



Proposal datums



Combined existing streetscape + proposal datums



CONCEPT JUSTIFICATION

FACADE STUDY

The following reflects the proposed finished elevation of the two new, semi-detached, dwellings. After refining the internal layouts, we had established an understanding as to the rough location of openings. We developed this in elevation, taking into consideration to relationship between Ground and First floor and the size and proportion of openings in relation to one another and the internal spaces.

Much of the local vicinity is characterised by 1930s Arts & Crafts style dwellings. These properties reflect typical Arts & Crafts style architectural features, such as:

- Dominant gables
- Hipped roofs
- Clay hung tiles
- Sprocketed Eaves
- Hipped end gables
- Tall chimneys
- Symmetrical elements
- Transom window ratios
- Dormer windows with projecting gable/ hipped roofs
- Extended roofs to form entrance porches

The adjacent facade study reflects how the design takes inspiration from the local Arts & Crafts style of architecture and how it is informed by neighbouring ridge heights, roof shapes, window proportions, cill heights, materials and datums.

Traditional slate tile roofs, with curved ridge tiles are introduced to match the neighbouring buildings in Rushmore Close. Hipped roofs to the side elevation follow the same pitch line as the principle gable roofs and are a prominent feature in the Close. Dormer windows are introduced into the roof to alleviate the steep pitch line in the first floor rooms. These will have clay hung elevations to match the material palette of the projecting roof and the gable form mirrors that of the main gable walls. The projecting roof line extends to form a porch, supported with a timber post and brick footing, seen elsewhere in the street and typical Arts & Craft style dwellings. The dominant gables form the basis from which all pitch lines follow and the gable eaves continues on from the same datum line as the neighbouring property at No. 8 Rushmore Close. The walls will be constructed from matching red tone bricks in stretcher bond and vertical brick headers will adorn all openings. The surrounding properties contain uPVC casement windows, predominantly white in colour, and a mix of timber/ uPVC doors with glazed vision panels.

1. Principle gable wall.
2. Timber fascias.
3. Clay roof with hipped tiles.
4. Clay ridge tiles.
5. Hipped roof to side elevations.
6. Gable pitched dormer windows with clay hung tiles.
7. White uPVC casement, double glazed windows, with glazing bar divides to match existing streetscape proportions.
8. White uPVC window cills.
9. Stretcher bond brickwork with lime mortar.
10. Black timber door with double glazed pane openings, proportions to match adjacent windows.
11. Timber posts to support projecting porch above.
12. Brickwork post footings in stretcher bond brickwork to match elevations.
13. Black hopper and rainwater pipe, rainwater goods to be circular profile with authentic bracketry.



Principle Facade Study,
(reflecting one dwelling but mirrored for both facades, with minor differences)
Scale 1:100

CONCEPT JUSTIFICATION

MATERIAL PALETTE

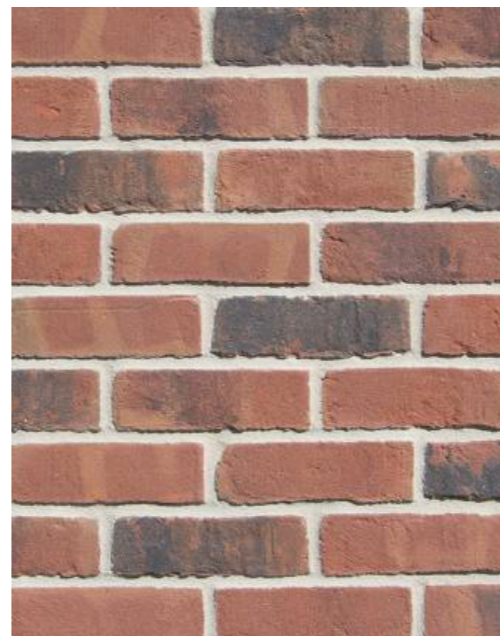
The following sets out the proposed material palette for the building and is explained in more detail in the facade study on the previous page.

1. White uPVC casement windows and cills.
2. Black aluminium rainwater goods.
3. Red/brown multistock brickwork in stretcher bond.
4. White/ cream stone wall profiles and paving.
5. Timber fascias and posts.
6. Clay tiles to roofs and hung tiles to dormer window faces.
7. Black painted timber door.
8. Combination of proposed materials.

1.



3.



5.



6.



8.



2.



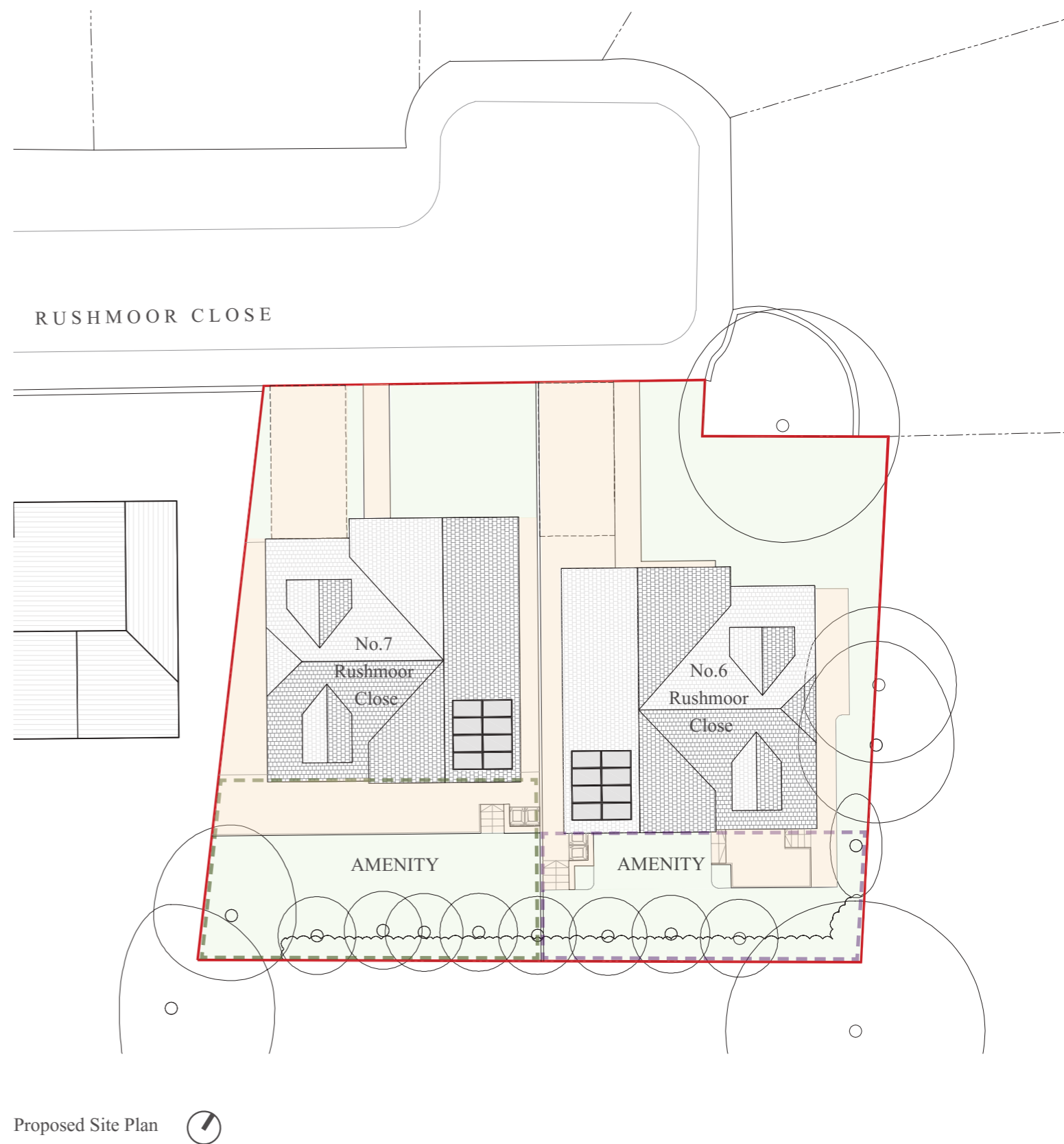
4.



7.

CONCEPT JUSTIFICATION HARD & SOFT LANDSCAPING

Both amenity areas feature a combination of hard and soft landscaping, with a predominance of soft landscaping. Access to the amenity spaces is available from both the side passages and the rear of the buildings.



KEY

- Site Boundary
- Total Soft landscaping - 225 sqm
- Total Hard landscaping - 146.5 sqm



DESIGN JUSTIFICATION

TREE ANALYSIS

The adjacent tree survey plan has been produced Sharon Hosegood Associates Ltd, who were appointed to carry out the tree survey for the site. It is shown here overlaid onto the proposed Ground Floor plan, so that an analysis of the impact of new construction can be undertaken in relation to the root protection areas. The following should be read in conjunction with the full 'Arboricultural Impact Assessment' (AIA) produced by Sharon Hosegood Associates and submitted as part of this planning application.

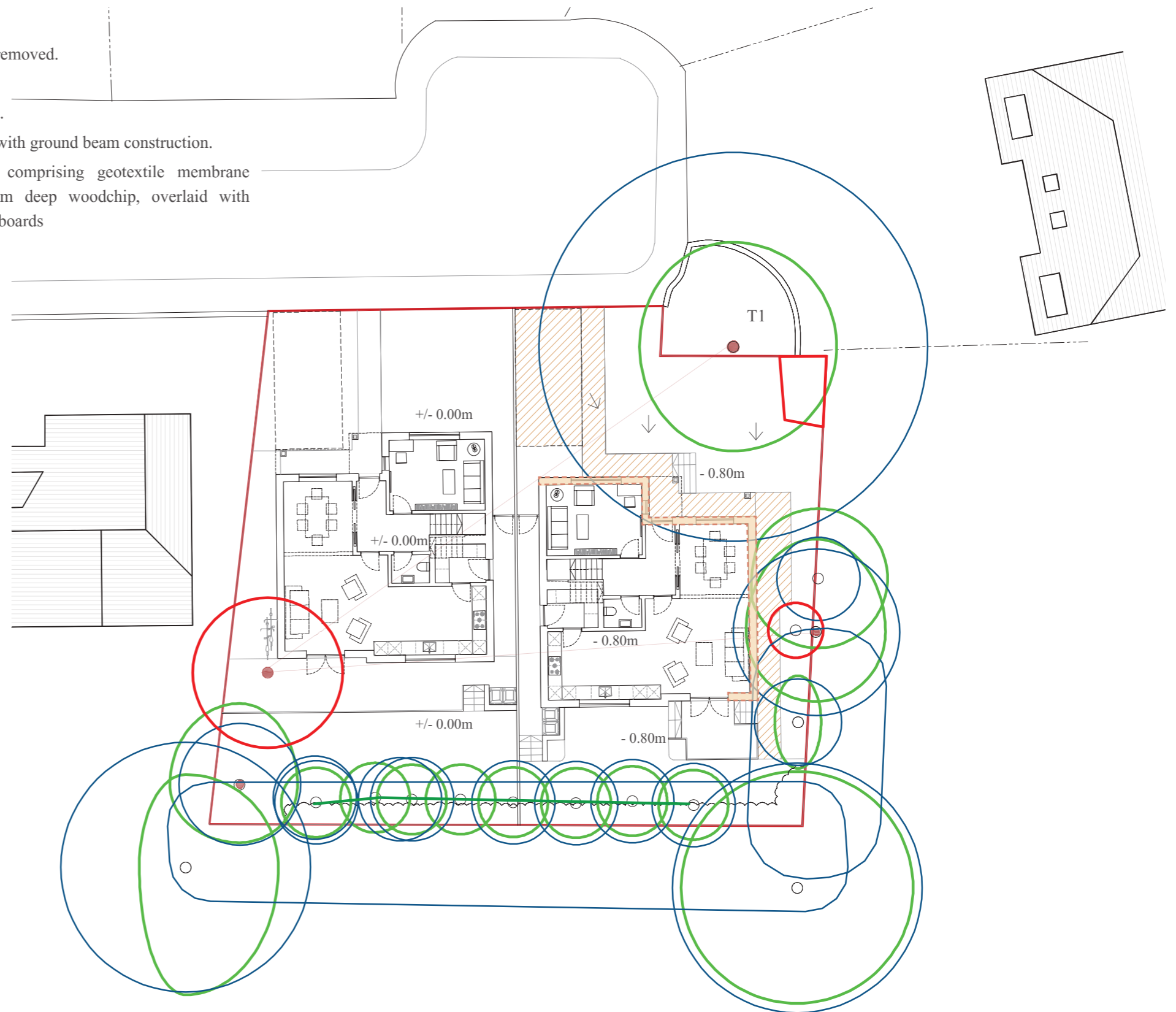
Tree T1 is an ash tree situated within the neighbour's land, however, as the adjacent plan shows, the root protection area extends into the proposal site. The report categorises this tree as B category, which is classified as 'moderate quality and value.' We, therefore, propose that the new construction within this root protection area is adapted so as not to harm the tree roots. Non-standard foundations will be implemented, such as mini screw piles with ground beam construction, cantilevered where necessary, or a foundation system such as Treesafe, as recommended in the AIA.

The same method of construction can be applied to the areas adjacent to the right boundary fence, where the line of the flank wall would sit within the root protection zones of the neighbour's trees T3 and T4. Both of these are C category trees, classified as 'low quality and value.'

The trees proposed to be removed are shown in red and are all category C trees, namely T5 and T13. The bamboo S2 will also be removed. T5 is a Lawson Cypress tree and T13 is a Weeping Willow. A detailed description of all of these trees and the bamboo can be found in the separate 'Arboricultural Impact Assessment' (AIA).

KEY

- Trees / plants to be removed.
- Tree crown spread.
- Root protection area.
- Areas of mini piles with ground beam construction.
- Ground protection comprising geotextile membrane overlaid with 50mm deep woodchip, overlaid with marine ply/scaffold boards



Proposed Ground Floor Plan with Tree Survey Plan overlaid for analysis purposes.

TREE SURVEY PLAN ANALYSIS

SCALE 1:200@A3



DESIGN JUSTIFICATION

TREE ANALYSIS

The adjacent diagram and following calculations analyse the encroachment of the proposal on the Root Protection Area of the T1 tree of class B.






The proposal underwent revisions following comments received through conversation with the Planning Officer. The building was repositioned to minimise the impact with 6 Rushmore Close stepping back in relation to 7 Rushmore Close. To further mitigate the impact of the proposal on the Root Protection Area, it is proposed that the existing ground levels around the tree are retained. To achieve this, the proposed dwelling at 6 Rushmore Close is positioned on the existing site level, lower than 7 Rushmore Close, reducing the need for ground works in this part of the site. The proposed hardstanding around the house was reduced and bin store moved outside of the RPA. Taking into consideration the driveway, path in front of the house and foundations of the building, the total encroachment reaches 16.64% of the tree RPA.

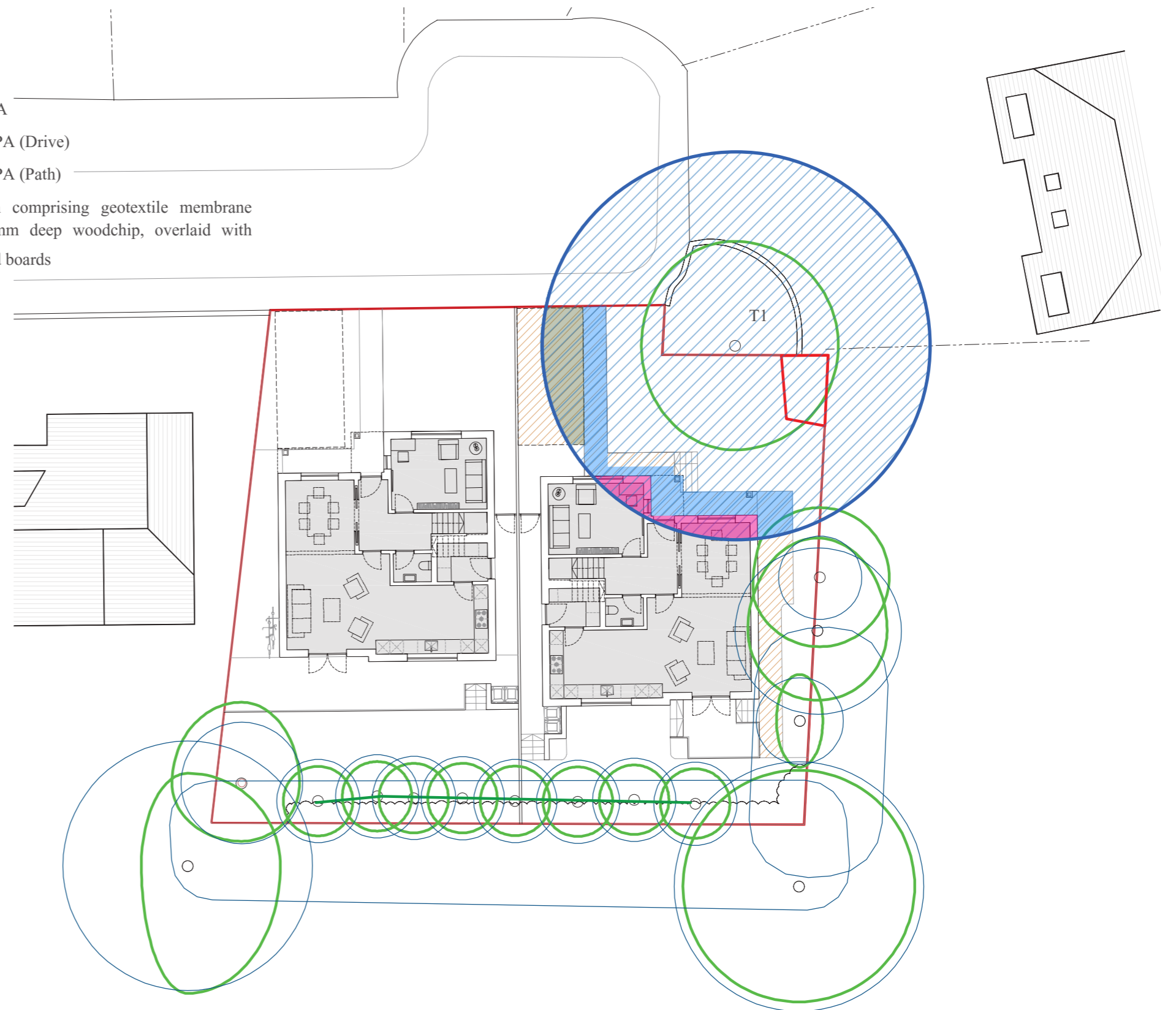
PREVIOUS PROPOSAL

RPA= 221sqm
 Foundations in RPA = 1.4%
 Total Hardstanding in RPA = 53.7sqm = 24.4%
 Bin Store in RPA – 1.3sqm = 0.6%
TOTAL RPA encroachment was 26.4%

REVISED SCHEME

RPA= 221sqm
 Foundations in RPA = 1.4%
 Hardstanding in RPA (Drive) = 9.2 sqm = 2.4%
 Hardstanding in RPA (Path) = 20.8sqm = 9.4%
 Total Hardstanding in RPA = 13.57%
 Bin Store in RPA – 0sqm = 0%
TOTAL RPA encroachment is 16.64%

- KEY:
-  RPA
 -  Foundations in RPA
 -  Hardstanding in RPA (Drive)
 -  Hardstanding in RPA (Path)
 -  Ground protection comprising geotextile membrane overlaid with 50mm deep woodchip, overlaid with marine ply/scaffold boards



Proposed Ground Floor Plan with Tree Survey Plan overlaid for analysis purposes.

HARD LANDSCAPE PLAN ANALYSIS

SCALE 1:200@A3



DESIGN JUSTIFICATION

ROOT PROTECTION ZONE - MITIGATION MEASURES









The adjacent Ground Floor Plan highlights the areas of construction where special consideration is to be made into the proposed methods, so as to protect the tree roots identified on the previous page. Please refer to page 25 of the ‘Arboricultural Impact Assessment’ (AIA) produced by Sharon Hosegood Associates for more information.

The external area highlighted around the front right and side boundaries has been identified as areas where ground protection is required, comprising a geotextile membrane overlaid with 50mm deep woodchip, overlaid with marine ply/ scaffolding boards, as highlighted in a orange hatch.

The driveway areas are to be designed with minimal dig and porous construction in accordance with the guidance in the AIAR.

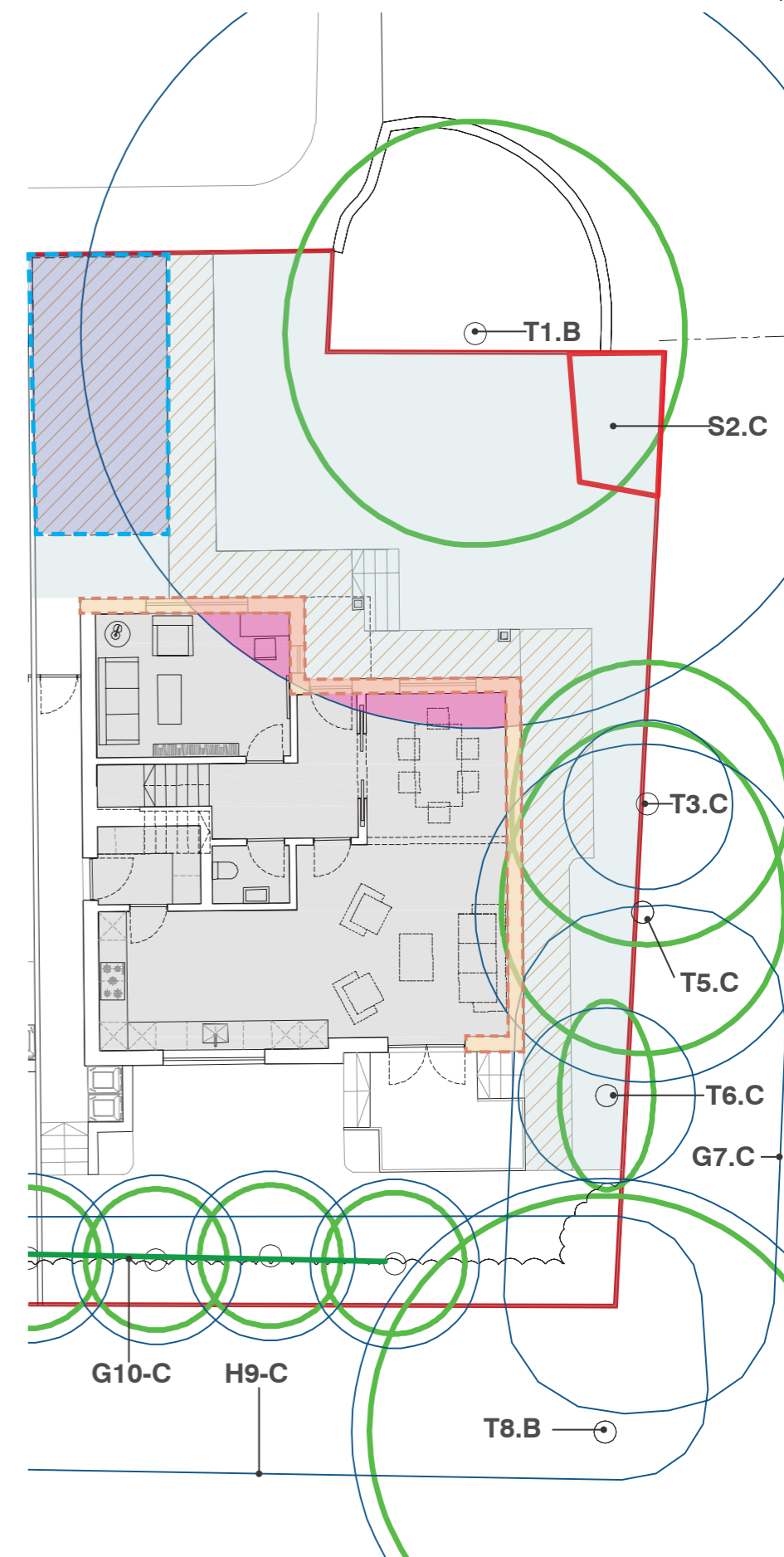
The areas of external wall that lie within the root protection area of trees T1, T3 and T4 will require non-standard foundations, in order to protect the tree roots. The development would fall within the Root Protection Area (RPA) of Tree T1 however, due to the minimal overlap between the development area and the RPA, the impact on T1’s RPA is expected to be negligible to none. To further mitigate tree impact we are proposing to use a construction method of screw piles with cantilevered ground beams or a foundation system such as Treesafe, as recommended in the AIAR. If cantilevered beams are the chosen method of construction, the depth of the beam is to be no deeper than the shallowest root with a diameter > 20mm (as outlined in the AIAR).

KEY

-  Trees / plants to be removed.
-  Tree crown spread.
-  Root protection area.
-  Areas of mini piles with ground beam construction.
-  Areas of ground protection comprising braced Heras panels.
-  Driveway area to be designed with minimal dig and porous construction.
-  Area of building footprint within the root protection area of tree T1.
-  Ground protection comprising geotextile membrane overlaid with 50mm deep woodchip, overlaid with marine ply/scaffold boards



Examples of mini piles with ground beam constructions; reinforced concrete and a structural steel example.

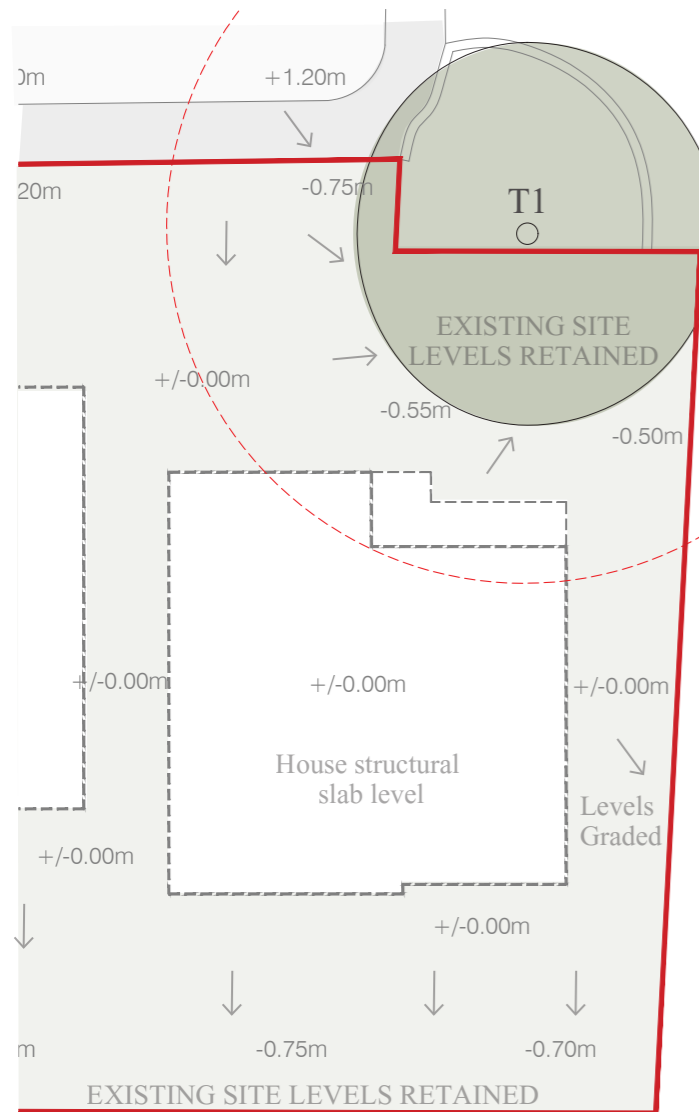


Ground Floor Plan Extract

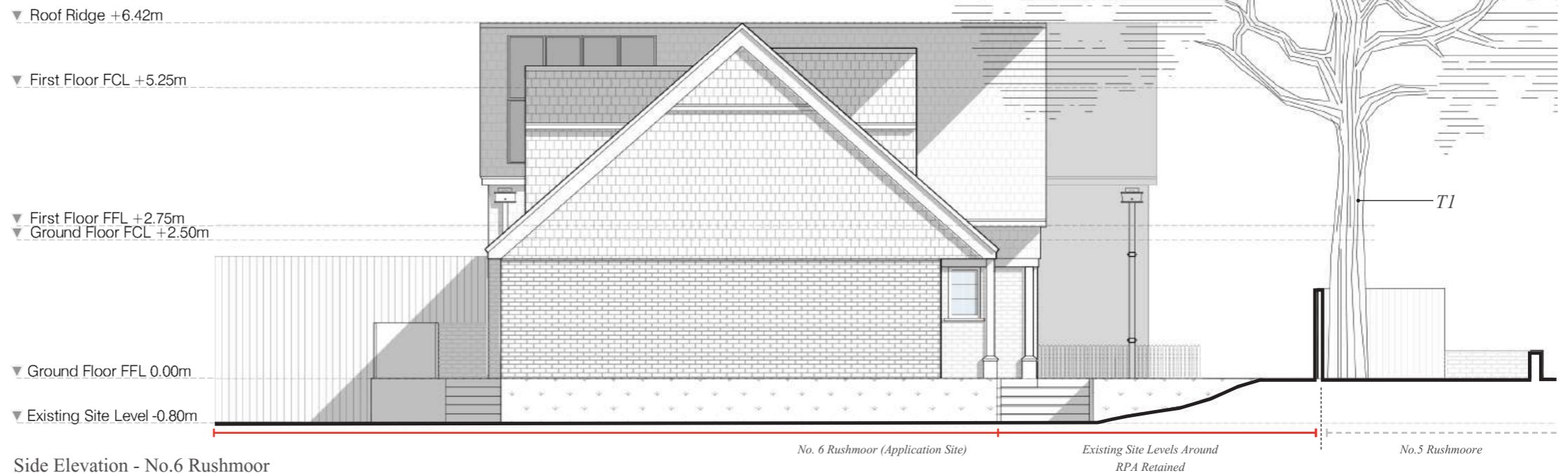


DESIGN JUSTIFICATION

ROOT PROTECTION ZONE - PRESERVATION OF EXISTING GROUND LEVELS



No. 6 Rushmoor Proposed Site Levels Plan



Side Elevation - No.6 Rushmoor

The following site plan demonstrates the proposed site levels, which retain the existing levels present on site. The proposal has been designed to maximise retention of existing ground levels wherever possible, ensuring that minimal groundworks are required and that the natural landform is largely preserved, mitigating impact on the RPA of T1.

The existing topography of the site slopes from street level towards the rear, transitioning into a minor slope along the southern boundary. The land also slopes around the canopy of T1, located at the North Eastern boundary corner.

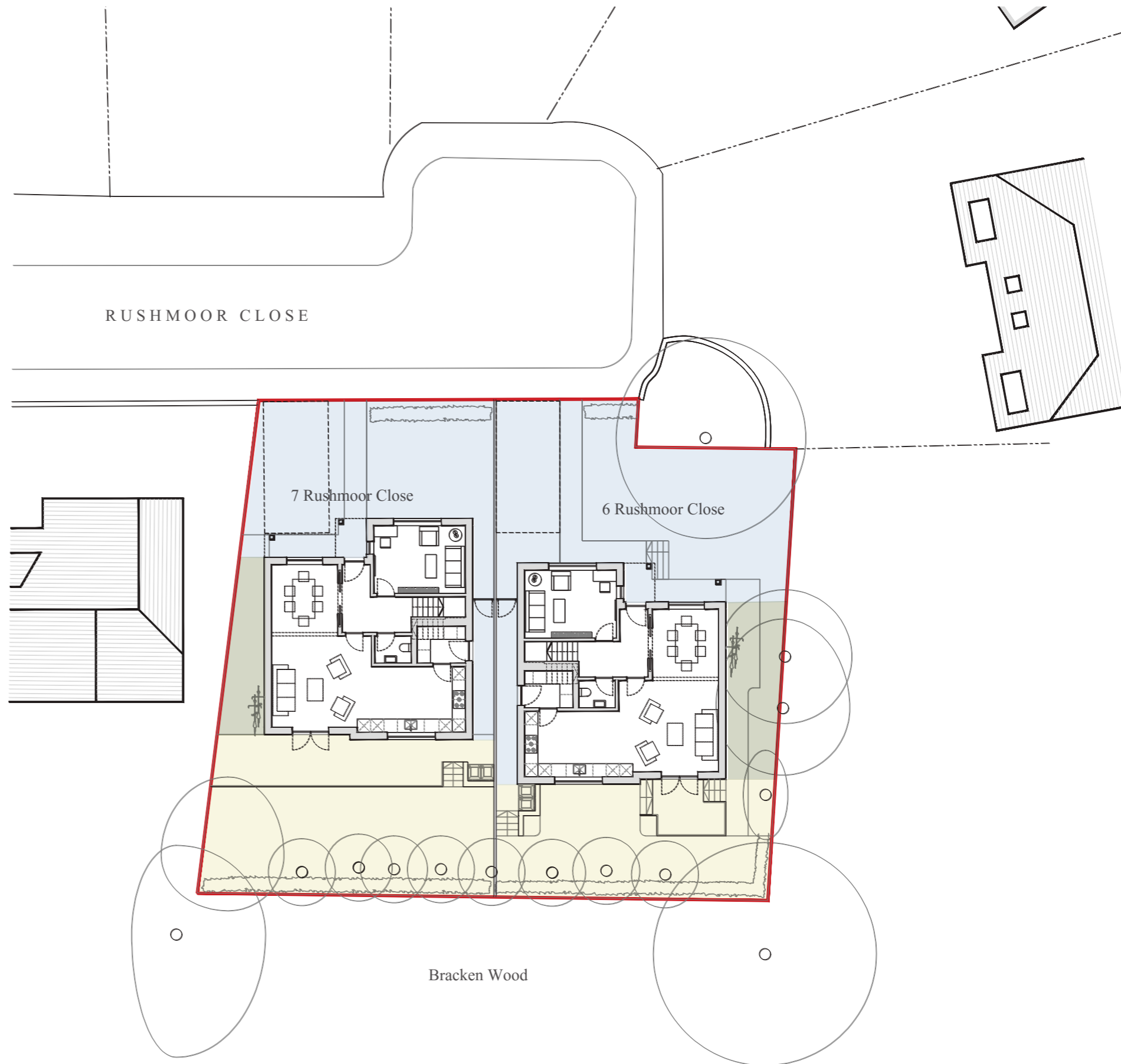
The overall gradient from front to rear is minimal, with the central portion of the site remaining relatively flat, allowing the dwelling to be positioned centrally without the need for significant excavation works. As identified in other sections of the document, the proposed construction of the foundations will be a ground beam on mini piles, so as to mitigate the impact on the site in terms of excavation.

This strategy is further supported through the design by incorporating raised rear decking areas, which provide hard

landscaping while allowing the proposed development to respond to the site, rather than requiring the site to accommodate the dwelling, creating a complementary relationship with the existing landscape.

Critically, the North East corner around T1 maintains its existing landscape character, with no alteration to levels within the Root Protection Area (RPA),

CONCEPT JUSTIFICATION
PRIVATE AMENITY SPACE



KEY

- Site Boundary

- No. 6 Amenity space: front 104.6 sqm
- No. 6 Amenity space: side gardens 19.5 sqm
- No.6 Amenity space: rear garden 64.8 sqm
- No.6 Total amenity space 188.9 sqm**

- No.7 Amenity space: front 76.9 sqm
- No. 7 Amenity space: side gardens 13 sqm
- No.7 Amenity space: rear garden 91.9 sqm
- No.7 Total amenity space 181.8 sqm**

PROPOSED SITE PLAN.
DRAWING no. 0502_E 1:200@A3



DESIGN JUSTIFICATION

ACCESS & SERVICING

1. Accessibility to the site will be improved through the replacement of the existing fence aligning the front pavement, with a low level brick wall and large central opening. A dropped kerb will be introduced for vehicular access.

The following sets out the parking and refuse provision for the development along with the access provision to the site:

VEHICLE PARKING

Proposed: 1no. parking space is provided per dwelling.

CYCLE PARKING

2 long-stay cycle parking spaces per dwelling with additional space for visitor/ short stay cycle parking available within the curtilage if required.








Total cycle parking provisions: 4no. with 2no. spaces provided within the curtilage of the site.

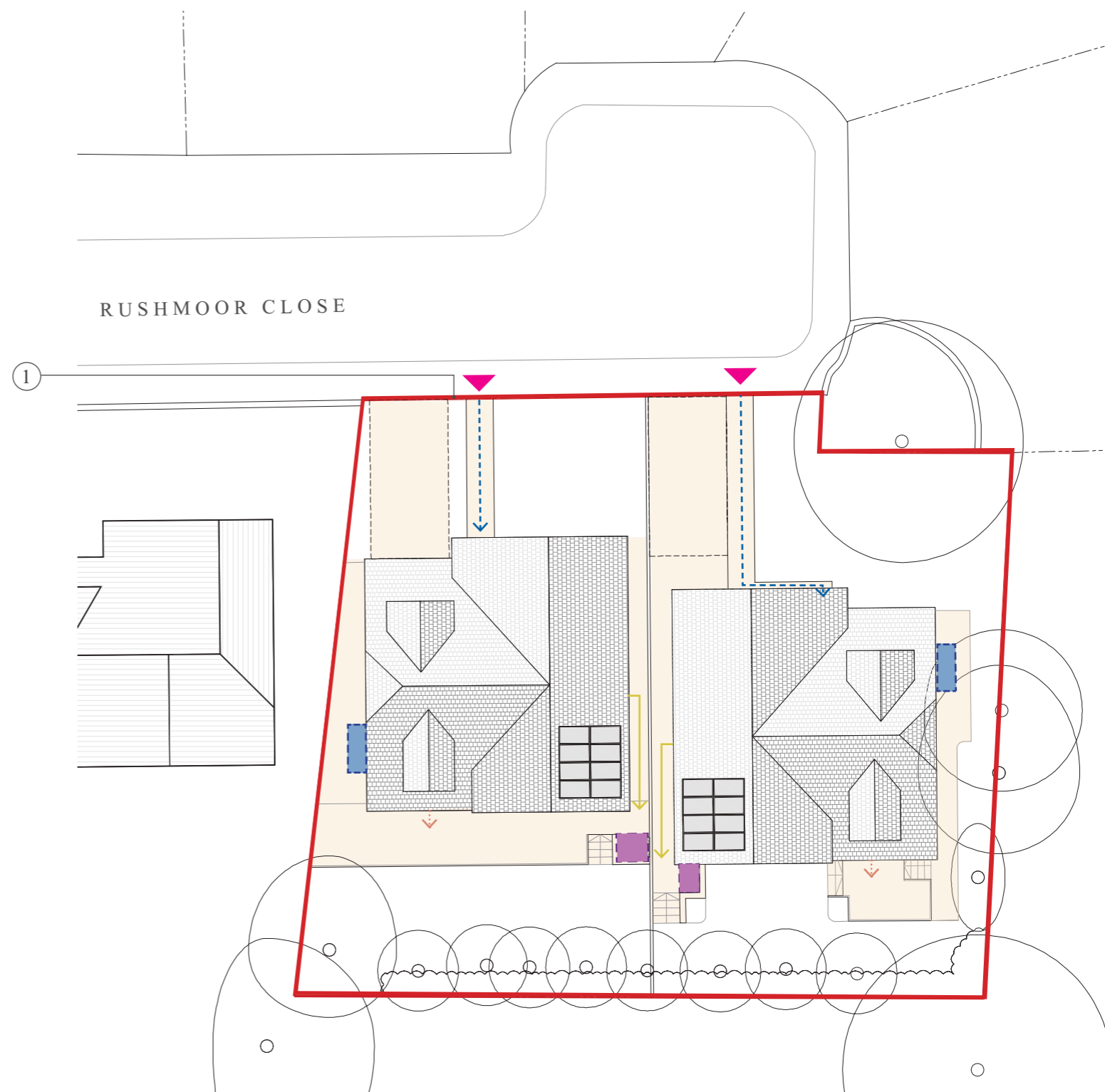
REFUSE

Provisions provided per household, located in user friendly locations:

- 1no. black lidded 180l wheeled bins for general waste,
- 1no. green lidded 240l wheeled bin for food & garden waste,
- 1no. Blue 55lt plastic box for glass bottle and jar recycling
- 2no. clear sacks for dry recycling.

KEY

-  Site Boundary
-  Area for bin storage - per dwelling
Total bin provision: 6 wheeled bins and 4 clear sacks
-  Cycle store - 2no. cycle parking space per dwelling
Total cycle provisions: 4no. cycle parking space
-  Site entrance - dual accessway.
-  Pedestrian access routes to front doors.
-  Site access routes from utility rooms to rear gardens.
-  Rear garden & terrace access from Kitchen/ Breakfast room area.



PART VI | POLICY COMPLIANCE



POLICY COMPLIANCE

NPPF - BE LEAN, BE GREEN AND BE CLEAN

The proposal adopts the sustainability principles of ‘Be Lean, Be Green and Be Clean’, reducing energy demand through high-performance building fabric, improved insulation and minimised thermal bridging in accordance with Building Regulations. Be Green measures include the installation of photovoltaic panels to the south-facing rear roof slopes to provide on-site renewable energy generation, in line with the objectives within the National Planning Policy Framework and the UK Government’s Net Zero Strategy, promoting low-carbon development and renewable energy integration.

Be Clean principles are addressed through responsible material sourcing, use of low-VOC products, sustainable construction management, and implementation of a site waste management plan to minimise pollution, waste generation and environmental impact throughout construction and occupation.

The following section elaborates in greater detail on how the proposal incorporates a range of sustainability, energy and accessibility considerations, as outlined below and illustrated within the adjacent diagram.

1. The performance of the new building fabric and services will achieve good overall standards of energy efficiency in line with Building Regulations.
2. High performance insulation to walls, floor and roofs will achieve thermal values that meet/ exceed the minimum requirements for Building Regulations.
3. Heat loss via non-repeating thermal bridging within all building elements will be minimised by the use of Accredited Construction Details where possible.
4. Photovoltaic panels (*) introduced to the rear pitched roofs (South facing), creating a sustainable source of energy that will serve the new dwellings.
5. Existing area of grass/ mixed planting to the rear of the site to be maintained and improved through increased planting, comprised of new plants, flowers and hedgerows, to form new rear garden areas.
6. Existing area of overgrown grass/ planting to the front of the site to be cleared and replaced with a mix of paving/ planting to form new driveway access. Separate pathway created for pedestrian access.

7. Existing fencing to boundary lines to be maintained, with any damaged panels to be fixed and upgraded where necessary. New fencing installed as a privacy screen between the two dwellings at the rear.

8. Materials- High Green Guide ratings will be achieved where possible and materials will be assessed for suitability with regards to Whole Life Carbon Costs.

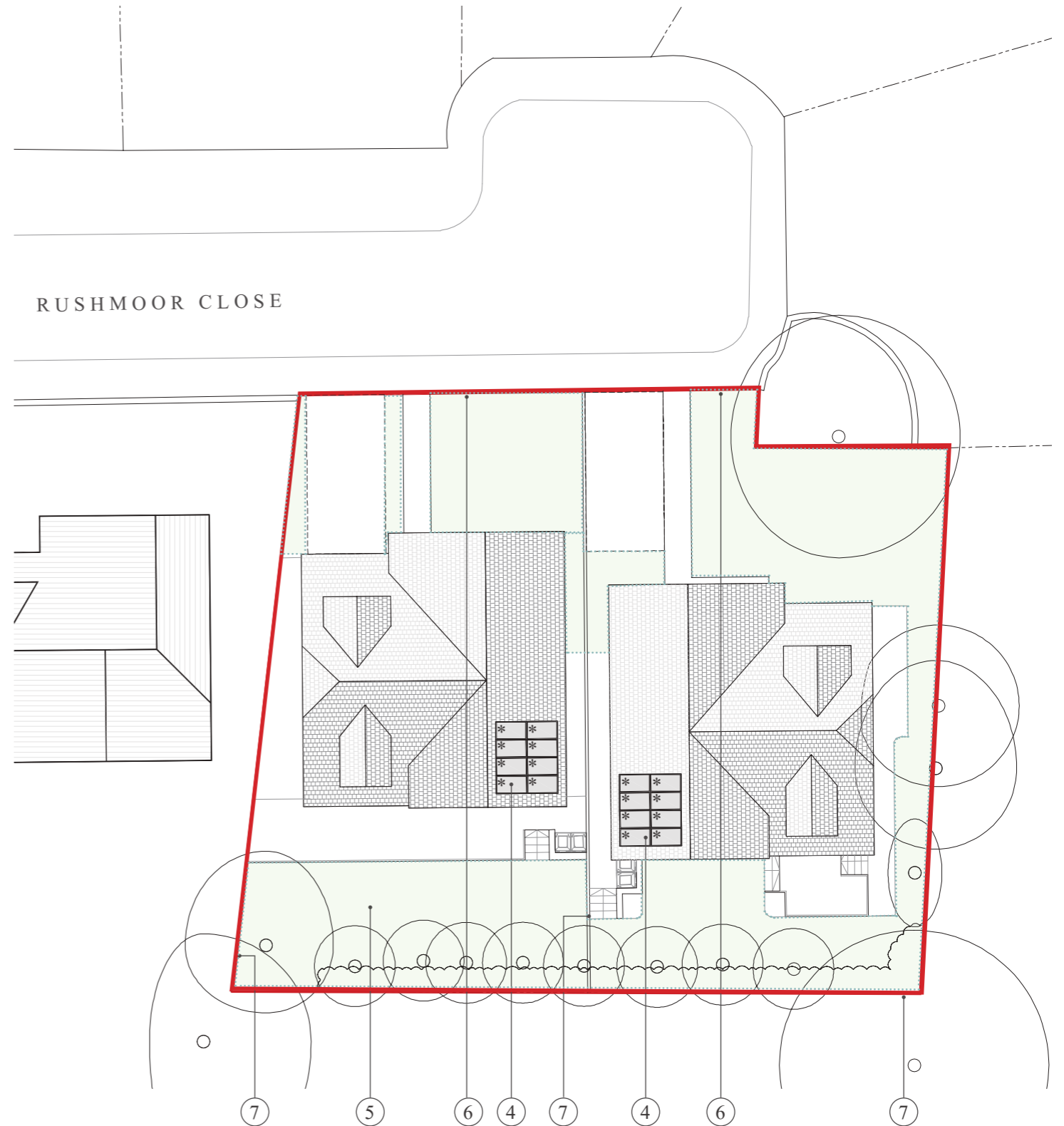
9. The use of recycled products will be pursued wherever feasible and the use of other low embodied energy products will be further investigated.

10. Responsible sourcing will be pursued. All timber used on site during the construction phase and within the building will be from FSC sources or equivalent. Other materials, including insulation, will be sourced from manufacturers who employ environmental management systems such as ISO 14001 or BES 6001. Where possible, materials will be sourced locally. Non-toxic materials will be used wherever possible, including the specification of products with low VOC content in line with European testing standards.

11. The construction site will be managed in such a way that the environmental impact is minimised. This includes following best practice policies for dust pollution by using dust sheets, covering skips and damping down where appropriate.

The contractor will register the project on the Considerate Constructors Scheme and adhere to its requirements throughout the entirety of the build. All plant and equipment installed in the building will be appropriately sized and selected for efficiency in order to reduce greenhouse gas emissions. All equipment will be frequently maintained to ensure it continues to run efficiently and cleanly. Site working hours will be managed to mitigate the possibility of causing a nuisance to the surrounding properties.

12. A construction site resource management plan will be developed and implemented to ensure that construction site waste is effectively reduced and recycled. Material ordering control and modern construction methods will be employed to minimise the potential for waste on site. Waste will either be segregated on site into at least 5 different streams for recycling or collected, sorted and recycled by an external recycling contractor. Re-use of construction waste will also be encouraged. The site waste management plan will also ensure that hazardous waste is properly managed.



KEY

Site Boundary



POLICY COMPLIANCE

LOCAL PLAN - ACCESSIBLE HILLINGDON SPD- POLICY 5.61

The proposal introduces adaptable rooms located at the front of the dwelling at ground-floor level and at the rear of the first floor. These spaces are intended to function as a living area at ground floor and a bedroom at first floor under normal use. The layout allows flexibility for the ground-floor living space to be converted into an accessible bedroom if required with 300mm wall nibs provided to the leading edges within both options, with first-floor Bedroom 3 capable of being reconfigured as a study or office. This ensures the dwellings have the ability to be adaptable and serve both uses.

The adaptable design therefore provides accessibility and flexibility while maintaining planning compliance with Policy 5.61 of the Accessible Hillingdon Supplementary Planning Document (SPD) (2017) and the rear amenity space standards.

For the ground floor bedroom to support the function of an assessable bedroom the ground floor WC is simply extended towards the kitchen to provide a shower provision as seen in the adjacent diagrams, to achieve compliance with Building Regulations Approved Document Part M(4.2). Both floorplates require only minor works needed for conversion and partitions will be constructed on lightweight materials to assist with these potential adaptations. Externally, the rear garden will replace the stairs stepping down from the decking and bin store with ramps to facilitate wheelchair access between the different external levels at the rear.

Building Regulations Approved Document Part M(4.2)

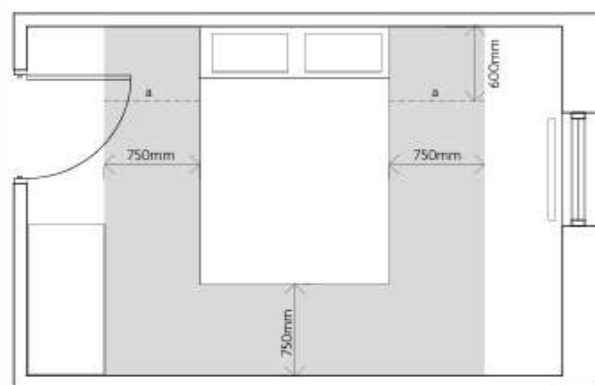
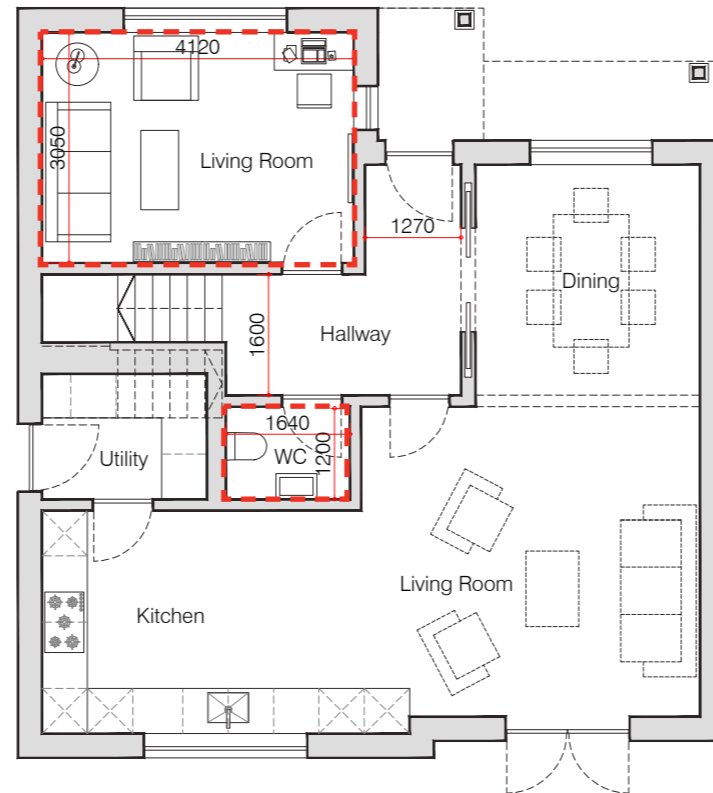
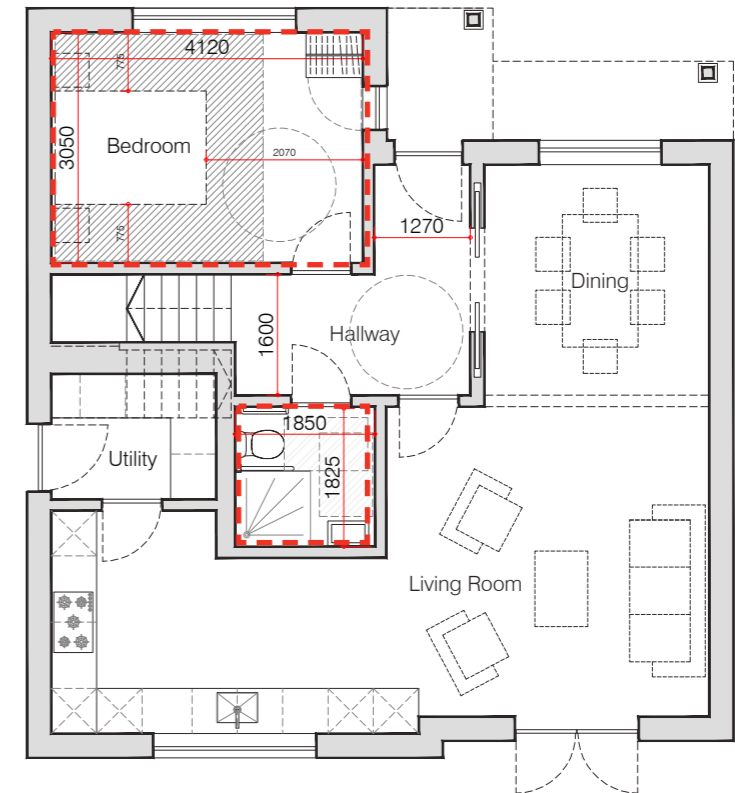


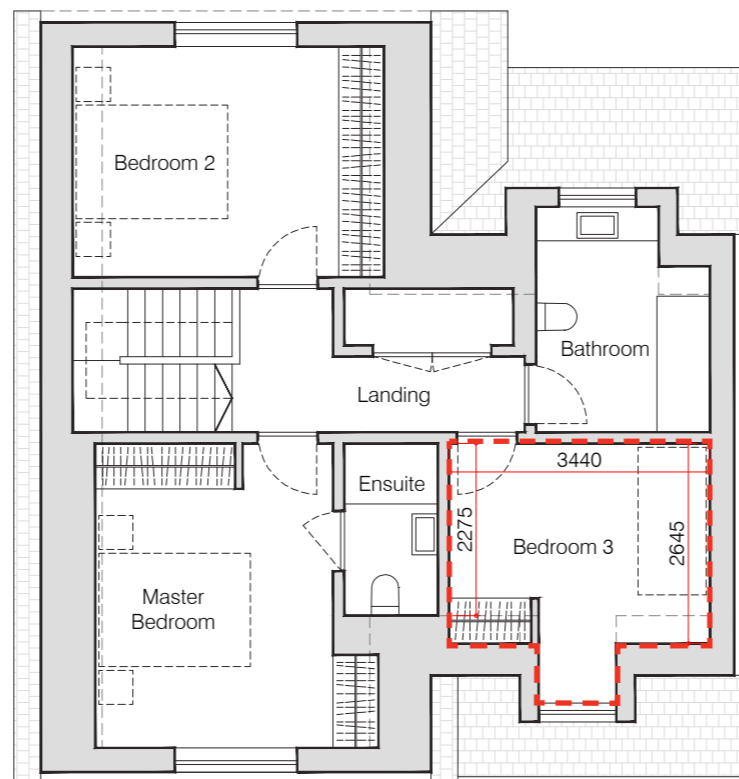
Diagram 2.4 Clear access Zones to principle Bedroom - Clear access to windows, bedside furniture located in zone a, bed in accordance with furniture schedule D.



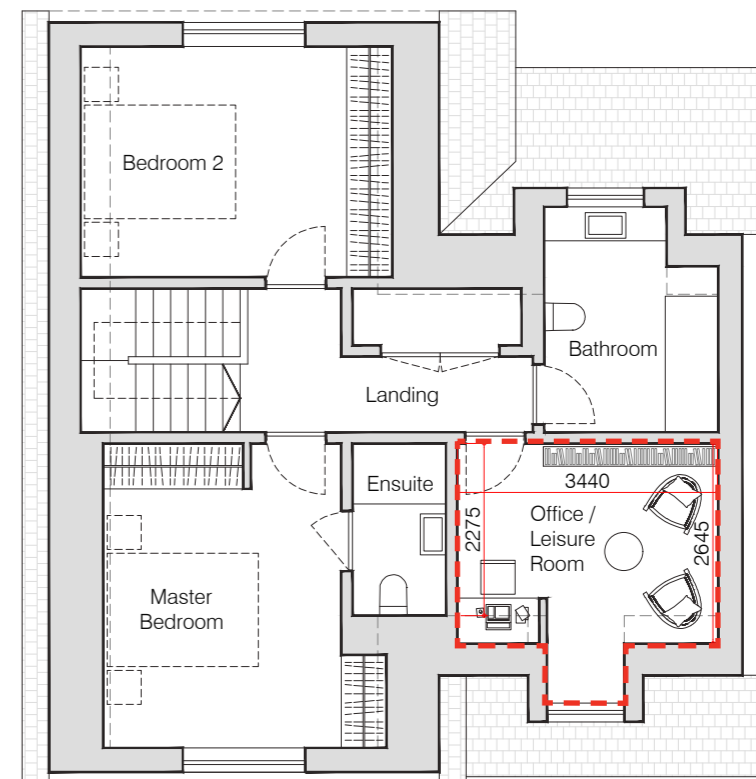
Ground Floor Plan - Option 1 - Living Room



Ground Floor Plan - Option 2 - Bedroom (3)



First Floor Plan - Option 1 - Bedroom 3



First Floor Plan - Option 2 - Office /Leisure Room

POLICY COMPLIANCE

DMHB16 - STANDARDS

As outlined in the nationally described spatial standards, a proposal for a three bedroom 2 storey dwelling must provide a minimum of 102 sqm of gross internal floor area (GIA) at its largest occupancy of three bedrooms for six people. This includes three bedrooms with double beds. The current proposal provides a total of 130.9 sqm of gross internal floor area, including storage. As such, the proposal not only meets but significantly exceeds the minimum requirements for a three-bedroom dwelling.

The two dwellings outlined within this application includes two three bedroom, five-person dwellings. According to the nationally described spatial standards, a two-storey dwelling of this type requires a minimum of 93 sqm. As demonstrated, the proposed dwellings substantially exceed this requirement. As outlined in the proposed area schedule, all rooms have been designed in accordance with national spatial standards and housing design guidance both local and national. This ensures that the spaces not only meet building regulations but also provide suitable and comfortable accommodation, with generous internal space for occupants' use and enjoyment. Table 1 below summarizes the minimum gross internal floor area and storage requirements as set out in the national standards.

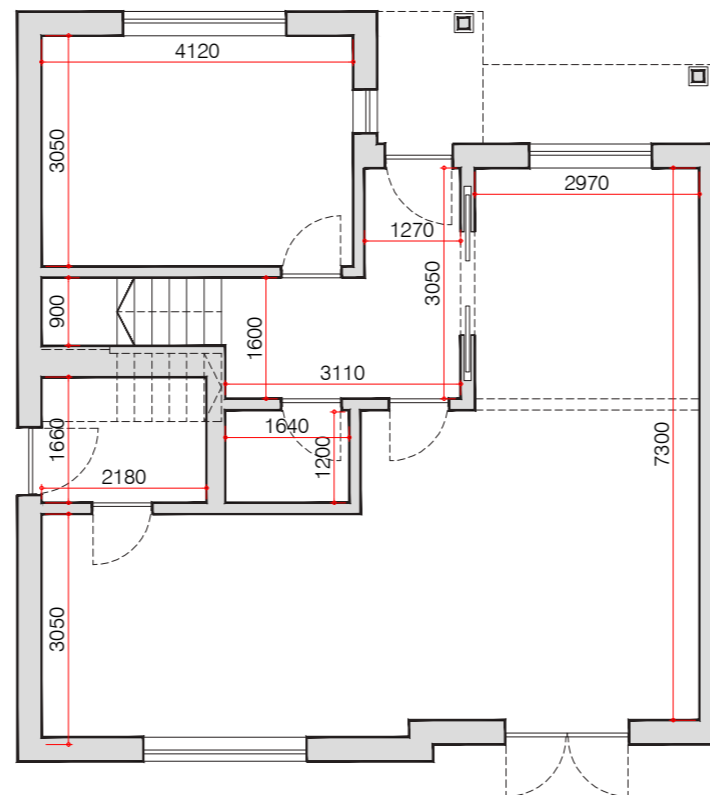
Table 1 - Minimum gross internal floor areas and storage (m²)

Number of bedrooms(b)	Number of bed spaces (persons)	1 storey dwellings	2 storey dwellings	3 storey dwellings	Built-in storage
1b	1p	39 (37) *			1.0
	2p	50	58		1.5
2b	3p	61	70		2.0
	4p	70	79		
3b	4p	74	84	90	2.5
	5p	86	93	99	
	6p	95	102	108	
4b	5p	90	97	103	3.0
	6p	99	106	112	
	7p	108	115	121	
	8p	117	124	130	
5b	6p	103	110	116	3.5
	7p	112	119	125	
	8p	121	128	134	
6b	7p	116	123	129	4.0
	8p	125	132	138	

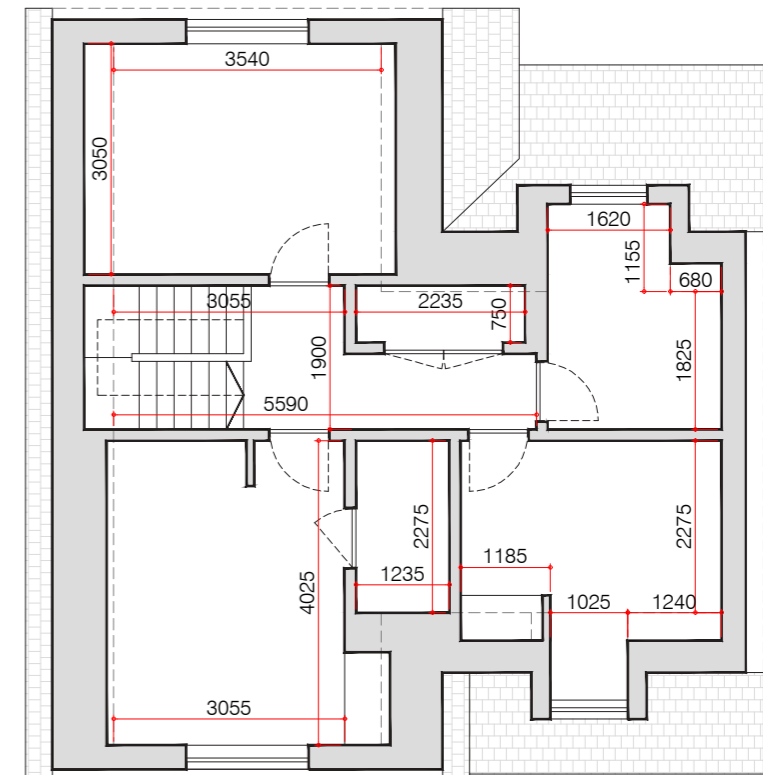
Typical Dwelling Area Schedule

Ground Floor:	71.8 sq.m	GIA	First Floor:	59.1 sq.m	GIA	Total per dwelling:	130.9 sq.m	GIA
	83.7 sq.m	GEA		76.9 sq.m	GEA		160.6 sq.m	GEA
	65.5 sq.m	NIA		50.0 sq.m	NIA		115.5 sq.m	NIA

Note - NIA calculations do not include the staircase or MEP cupboard, but do include stair landings.



Proposed Ground Floor Plan (1:100)



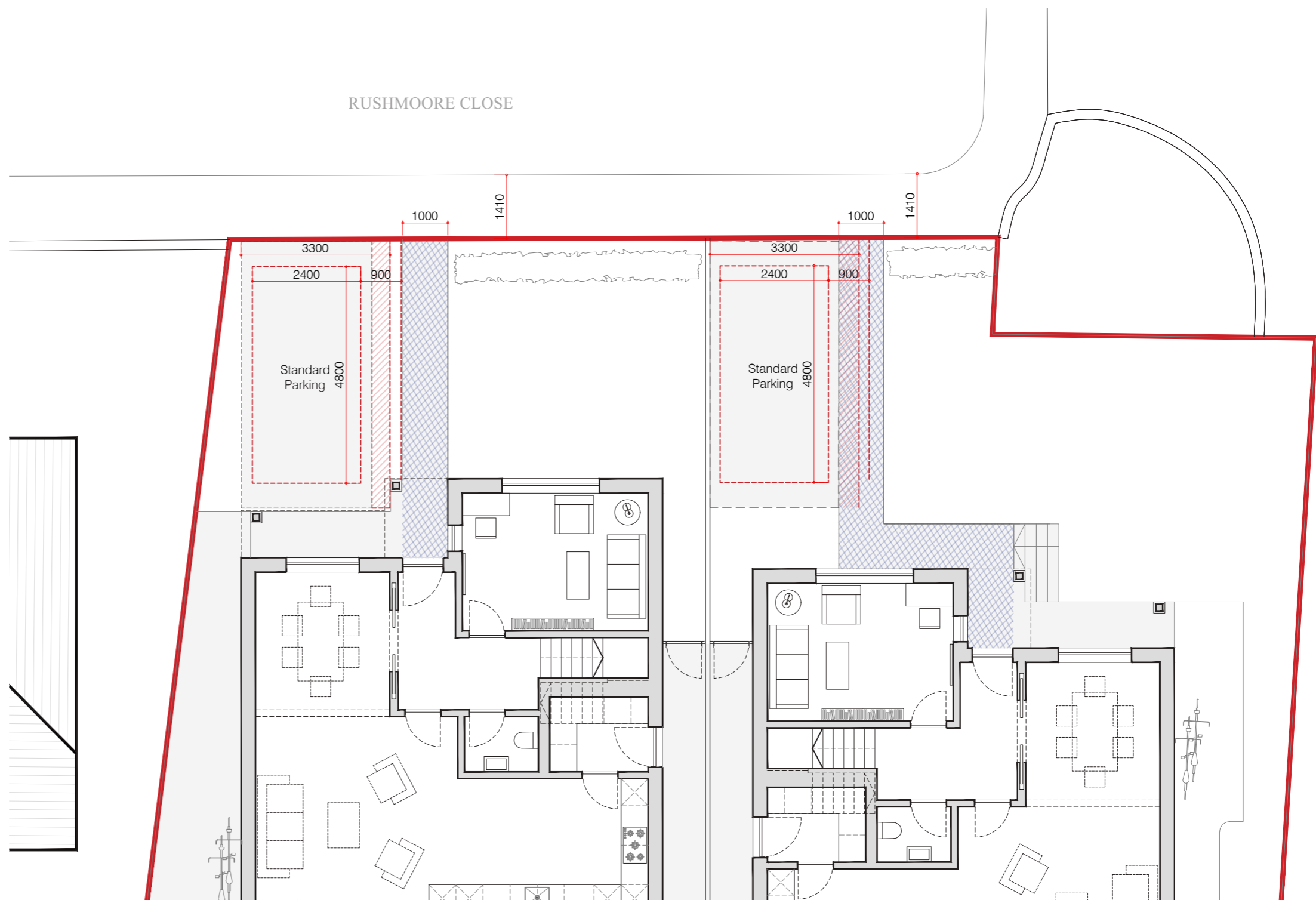
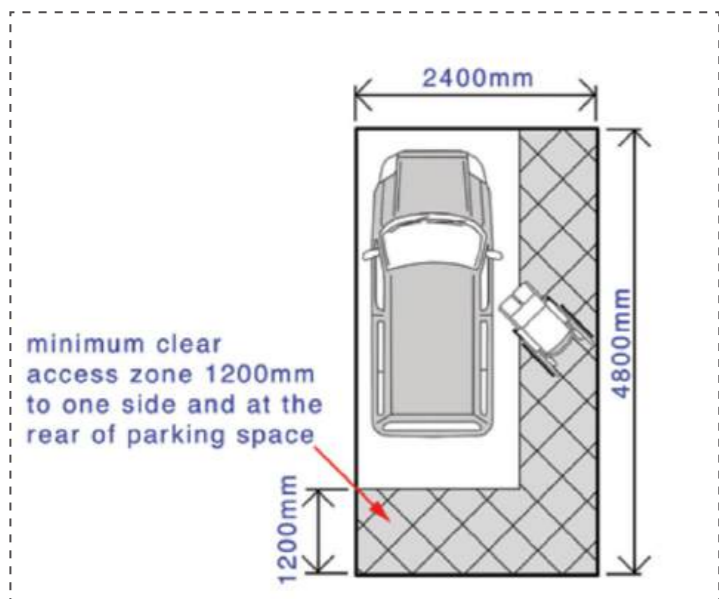
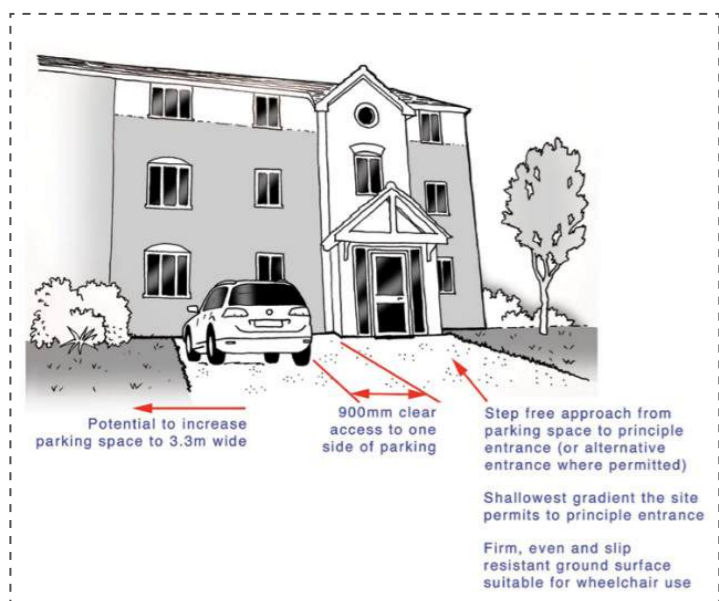
Proposed First Floor Plan (1:100)

POLICY COMPLIANCE

LOCAL PLAN - ACCESSIBLE HILLINGDON SPD- ACCESSIBLE AND ADAPTABLE DWELLINGS

ACCESSIBLE PARKING

As outlined within the assessable parking design guidance, included within the SPD the proposed parking provision hold the potential to be increased to 3.3m wide along with 900m, clear access to one side of parking with a step free approach to each dwelling as outlined on the adjacent site plan in compliance with M4(2) .



Example Diagrams - Accessible & Adaptable Dwellings M4(2)

Proposed Driveway Plan (1:100)

POLICY COMPLIANCE

PROPOSED - PRIVATE OUTDOOR AMENITY SPACE

Following discussions with the Local Authority, the assessment of what constitutes “usable” private amenity space has been identified as a key consideration. At present, there is no specific adopted policy or supplementary guidance that provides a clear or measurable definition of “usable” amenity space or restricts such space solely to rear garden areas.

During discussions, officers advised that only amenity space located to the rear of the proposed dwellings should be counted as qualifying private amenity space. This position excludes garden areas located to the sides of the dwellings, despite these areas forming part of the private residential curtilage and being directly accessible from the homes.

The scheme has evolved in response to both these discussions and the physical constraints of the site, as set out within the site analysis contained in this document. The original proposal for two four-bedroom dwellings has been reconsidered and redesigned to provide two three-bedroom dwellings. This revision allows improved siting within the plot, a built form that more closely reflects the pattern and alignment of adjacent properties, and a layout capable of delivering appropriate levels of residential amenity.

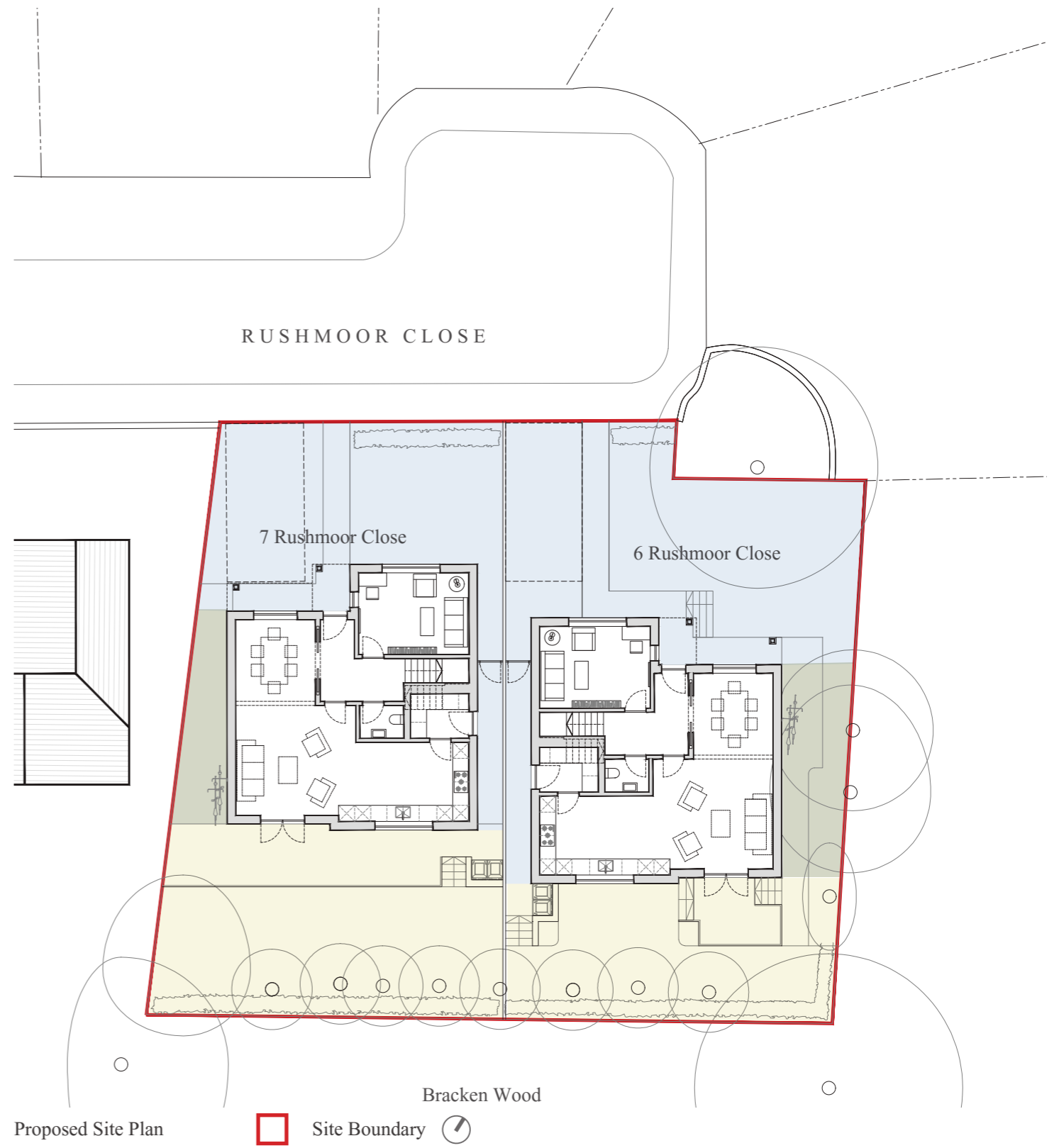
Due to the spatial constraints of the site, the rear gardens alone achieve approximately 60 sqm of amenity space per dwelling. The reduction in dwelling size ensures compliance with amenity expectations when assessed proportionately against dwelling occupancy and site limitations. In addition to this, the proposal demonstrates that the side garden areas associated with each dwelling are functional, accessible, and capable of supporting typical residential activities. These areas are not constrained by level changes, access limitations, or environmental factors that would prevent their practical use. As such, they constitute usable private amenity space and make a positive contribution to the overall amenity provision.

It is therefore reasonable and appropriate that both rear and side garden areas are considered collectively when assessing total private amenity space provision for the development.

The diagram below provides a spatial breakdown of the amenity space associated with each proposed dwelling, identifying the areas currently recognised by the Local Authority (LA) as qualifying amenity space, alongside the additional areas located to the sides of the dwellings which are considered by the applicant to form usable private amenity space.

These additional garden areas contribute to the overall residential provision and form part of the functional private curtilage of each dwelling. The breakdown therefore assesses all amenity areas against objective spatial criteria, demonstrating that the proposed dwellings both meet and exceed the minimum amenity space standards (60 sqm) typically expected for three-bedroom dwellings. The proposal meets and exceeds the minimum private amenity space requirements set out within P5.69 and the London Housing SPG.

Proposed Amenity Space	
No. 6 Amenity space: front	104.6 sqm
No. 6 Amenity space: side gardens	19.5 sqm
No.6 Amenity space: rear garden	64.8 sqm
No.6 Total amenity space	188.9 sqm
No.7 Amenity space: front	76.9 sqm
No. 7 Amenity space: side gardens	13 sqm
No.7 Amenity space: rear garden	91.9 sqm
No.7 Total amenity space	181.8 sqm



POLICY COMPLIANCE

PROPOSED - PRIVATE OUTDOOR AMENITY SPACE

The following illustrates a full breakdown of the proposed landscaping scheme and demonstrates the functionality of the outdoor amenity spaces in conjunction with the rear and side gardens, which are designed to accommodate a range of activities. Each outdoor area provides a distinct and versatile environment, incorporating both hard and soft landscaping elements to maximise usability and functionality.

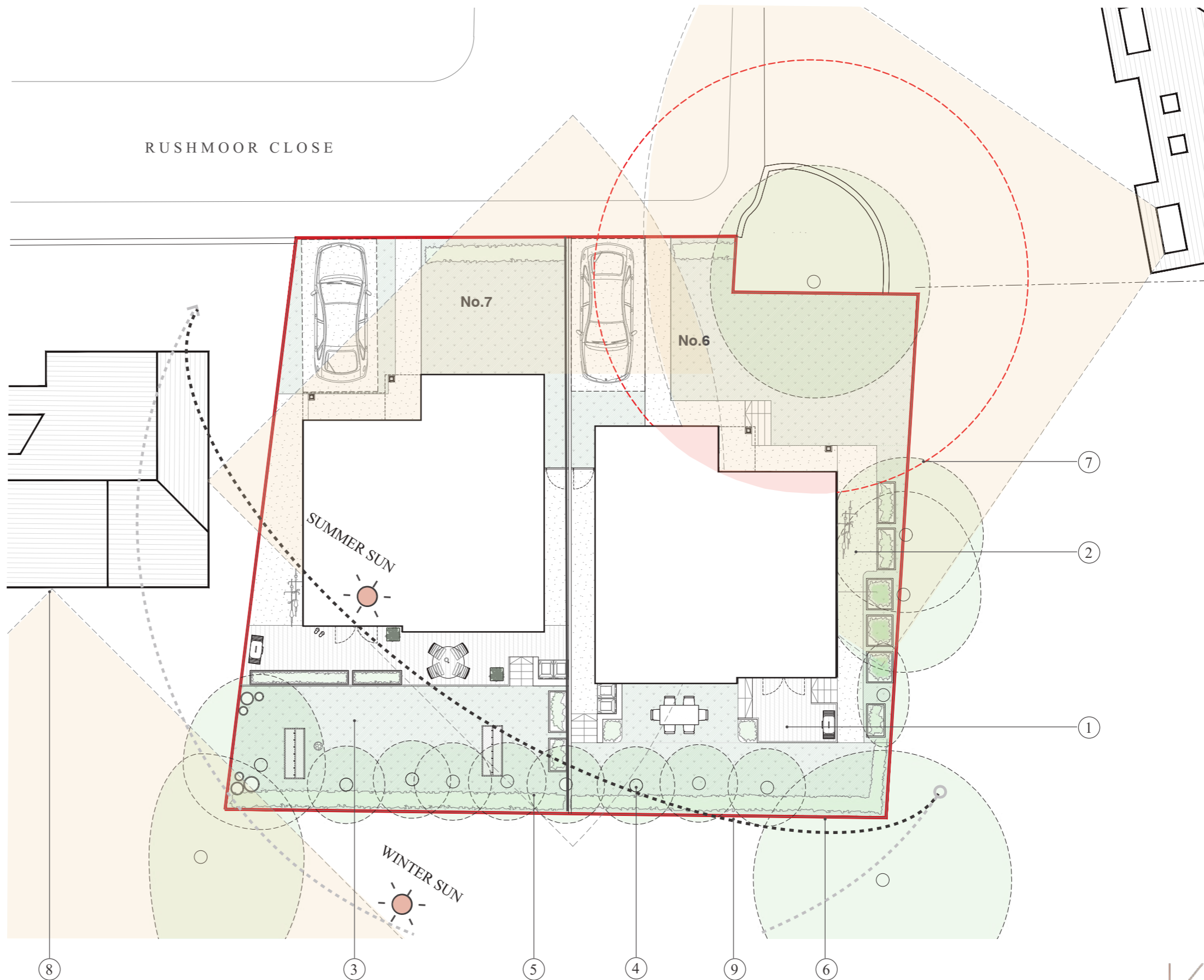
As highlighted on the site plan, the proposed rear gardens are south-facing, allowing them to take full advantage of both winter and summer sun paths. This orientation provides exceptional levels of daylight and sunlight throughout the day, significantly enhancing the quality and usability of the garden spaces.

In addition, the gardens benefit from a high degree of privacy, with no direct overlooking from neighbouring dwellings. Visibility into the gardens is further limited through carefully considered boundary treatments, including fencing, hedgerows, and tree screening. These measures allow the rear gardens to sit comfortably within the existing southern tree line while maintaining generous open space suitable for a variety of uses.

The rear garden serving Dwelling No. 07, Rushmore, provides approximately 92 sqm of amenity space, while Dwelling No. 06 benefits from 65 sqm. Furthermore, the adjoining side garden areas offer additional versatility for occupants, accommodating storage, planting, or other outdoor activities. These side spaces therefore act as a valuable extension of the primary rear amenity areas, further enhancing the overall, outdoor living provisions to provide 124 sqm for No.6 & No.7.

KEY Site Boundary

- 1. Hard landscaping - timber decking
- 2. Hard landscaping - gravel
- 3. Soft landscaping - grassland
- 4. Boundary treatment - small tree
- 5. Boundary treatment - hedgerows
- 6. Boundary treatment - fence
- 7. Boundary treatment - key RPA
- 8. Overlooking 45 degree sightlines
- 9. Summer & winter sun path



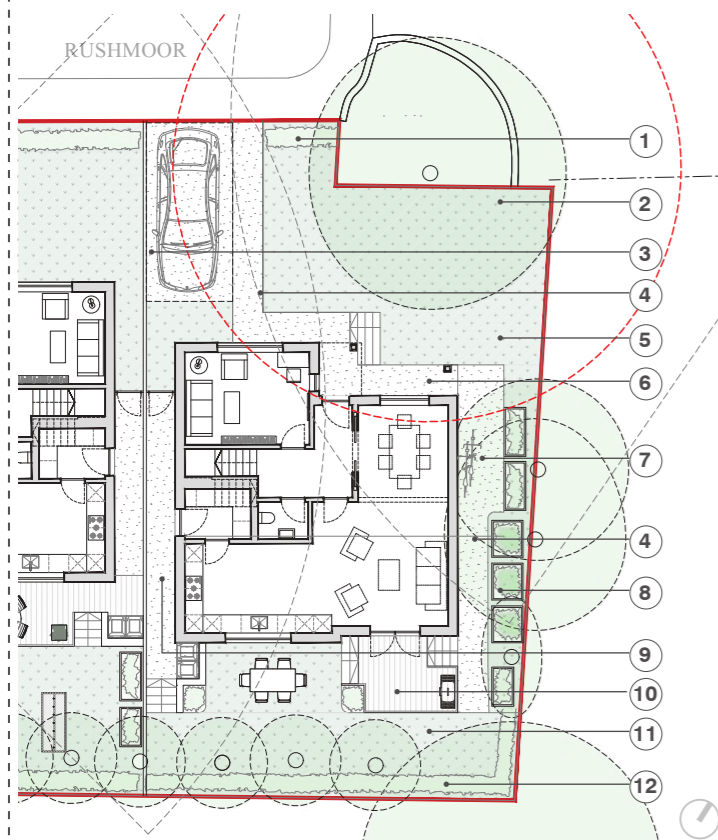
POLICY COMPLIANCE

HILLINGDON LOCAL PLAN PART 2 - POLICY DMHB 18: PRIVATE OUTDOOR AMENITY SPACE

The following section provides a breakdown of the external amenity spaces and their compliance with relevant private outdoor amenity space policies within the Local Plan P2 (2020).

P5.68 - As outlined within the proposed landscaping scheme, the development provides suitable space for a variety of functions, including vegetable growing and landscaped areas, creating a flexible outdoor environment for private enjoyment. The design offers a versatile and usable amenity space, as illustrated in the adjacent drawings, demonstrating the intended use and vision for the proposed outdoor amenity area.

Proposed Site Plan No.6 External Use & Versatility Example



- 1. Hedgerow Screening
- 2. Key RPA
- 3. Boundary fence
- 4. Gravel hardstanding
- 5. Soft landscaping
- 6. Canopy space
- 7. Cycle parking space
- 8. Planting/adaptable area
- 9. Rear garden access
- 10. Timber decking
- 11. Rear garden
- 12. Boundary hedges

P5.69 / DMHB 18.a - The proposal provides and exceeds the required outdoor amenity space standards set out within the Local Plan and the London Housing SPG. It delivers high-quality suburban outdoor space that makes a positive contribution to the Borough’s Residential Charter and achieves a high standard of amenity provision, exceeding the minimum requirements necessary to facilitate the highest quality affordable housing achievable on the site, having regard to the constraints identified within this document.

Dwelling Type	No. of Bedrooms	Minimum amenity space provision (sqm)
Houses	1 Bed	40
	2 & 3 Bed	60
	4 + Bed	100
Flats	Studio & 1 Bed	20
	2 Bed	25
	3 + Bed	30

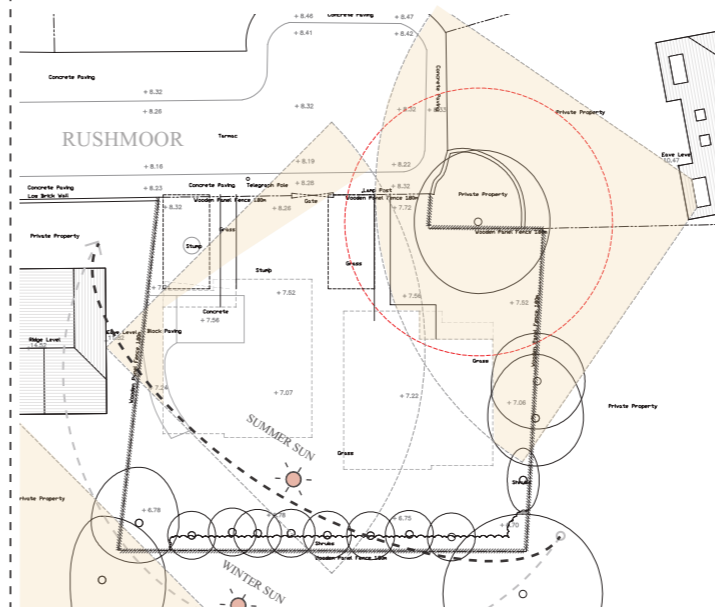
Table 5.3: Private Outdoor Amenity Space Standards (Local Plan 2020).

No.6 Amenity space: front & side gardens	124.1 sqm
No.6 Amenity space: rear garden	64.8 sqm
No.6 Total amenity space	188.9 sqm
No.7 Amenity space: front & side gardens	89.9 sqm
No.7 Amenity space: rear garden	91.9 sqm
No.7 Total amenity space	181.8 sqm

As outlined above, both dwellings not only meet but exceed the minimum amenity space requirements for a three-bedroom dwelling, with the proposal seeking to go beyond compliance by maximising the amenity space achievable within the site’s constraints, thereby ensuring the highest possible level of outdoor amenity provision for each dwelling.

P5.72 - The amenity space located to the rear and sides of the site is orientated towards the south, providing optimal levels of daylight and sunlight to the rear garden area. This orientation allows direct sunlight during both morning and peak daytime hours, ensuring a well-lit and usable outdoor space. As outlined within the proposal, the development has been carefully arranged to avoid overlooking of neighbouring dwellings. The layout therefore ensures a high level of privacy, preventing direct views between properties and enabling private enjoyment of the outdoor amenity space.

As detailed in the accompanying plans, boundary treatments comprise a combination of hedgerow planting to the front of the dwellings and fenced boundaries elsewhere. This approach provides both soft screening and robust physical enclosure, enhancing privacy while maintaining an appropriate residential character.



Proposed Site plan with 45 Degree Overlooking and sun path outlined.

P5.73 - The proposed front boundary treatment incorporates soft screening through hedgerow planting, supported by soft landscaping and minimal, visually unobtrusive hard landscaping. This approach ensures that the frontage maintains a strong sense of permeability and visual softness, reflecting both the established character of the surrounding area and the setting of the Conservation Area.

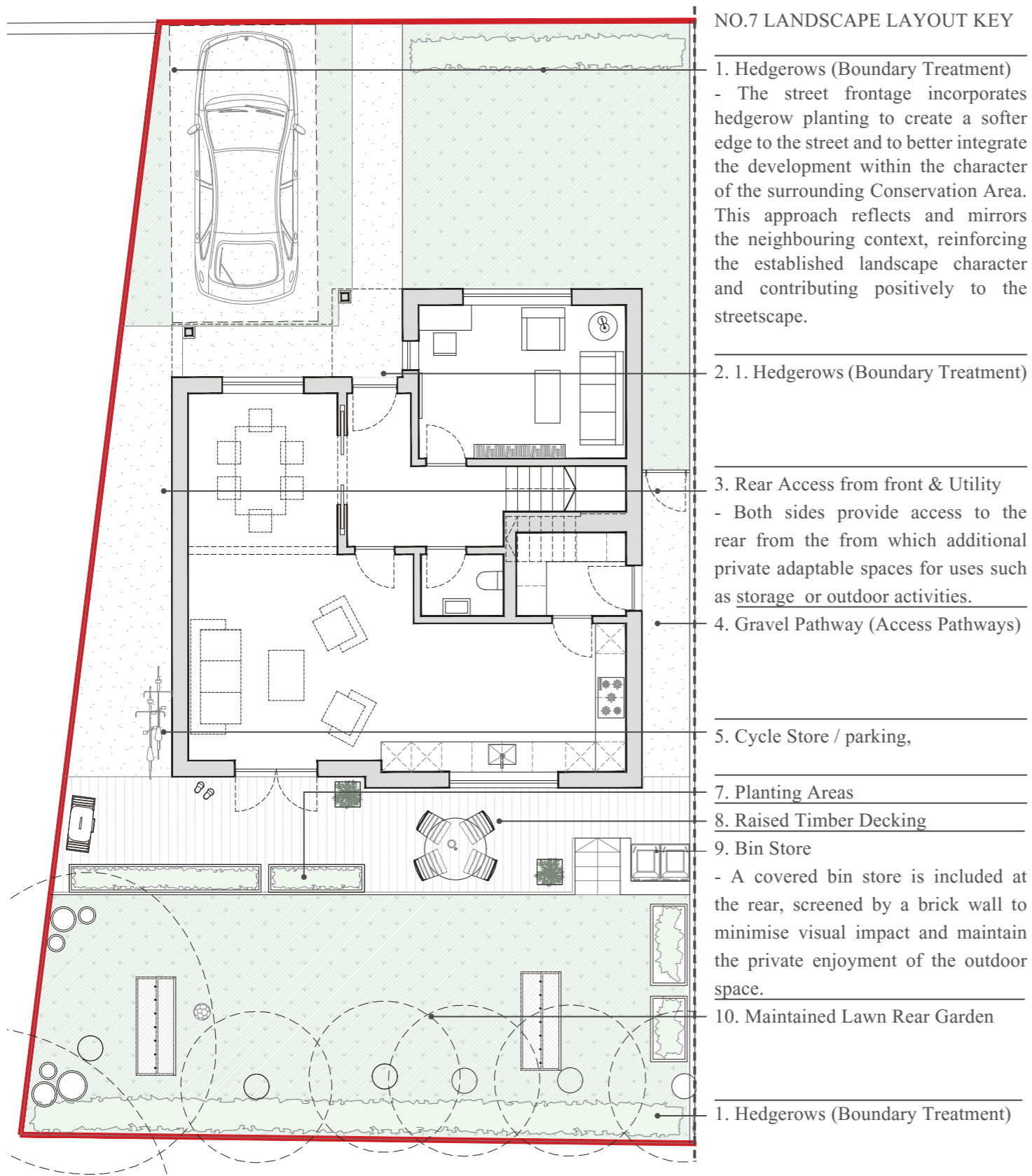
By prioritising soft landscaping rather than introducing an immediate brick wall frontage, the proposal reduces visual impact and creates a more sympathetic and legible street presence. This softer treatment enhances the appearance of the dwellings within the streetscape while reinforcing the green and open character typical of the locality. As such, the proposed frontage is considered better suited to the Conservation Area context than neighbouring examples, while still remaining complementary in scale, form, and appearance to the surrounding dwellings and in keeping with the street scene.






Proposed street Scene Visualization

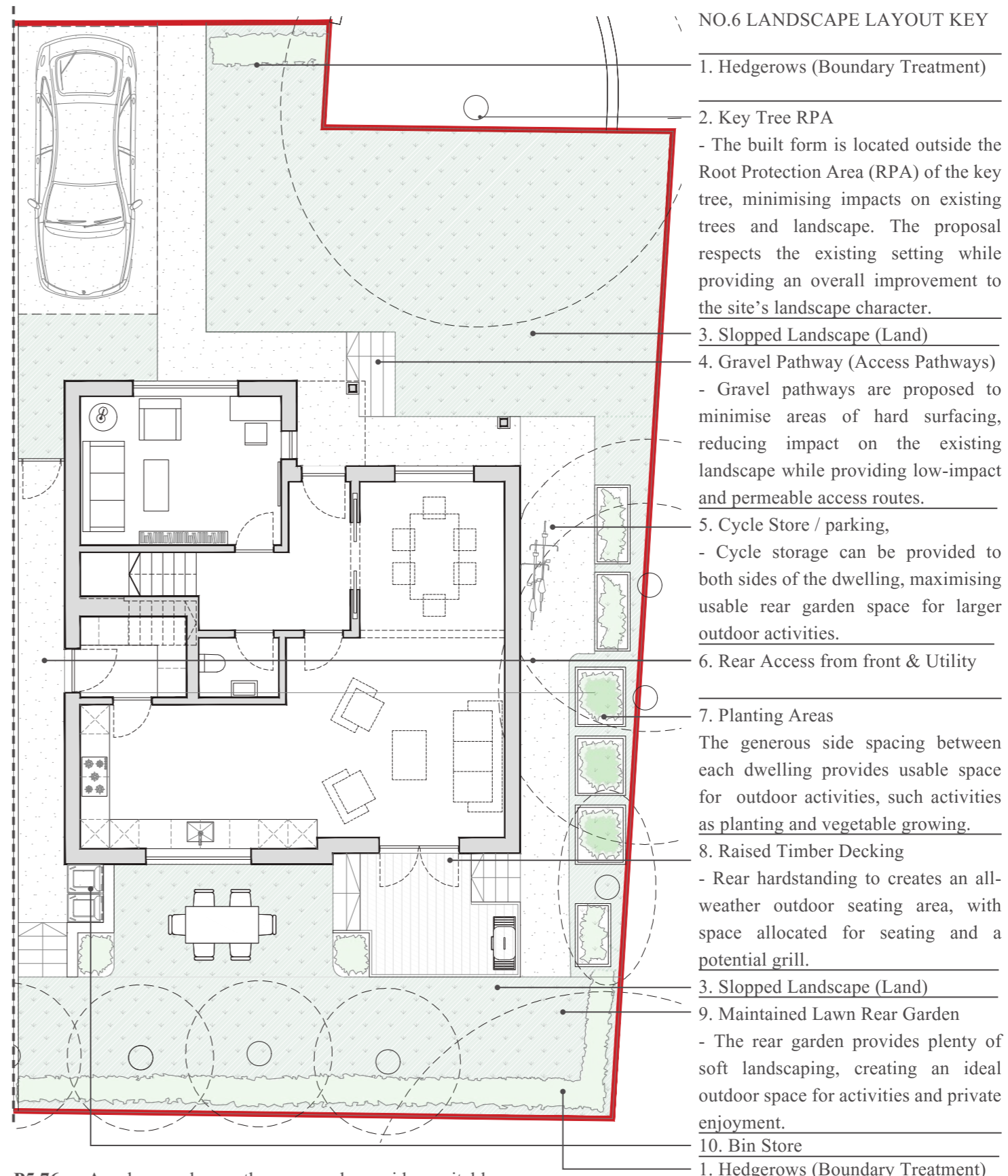


POLICY COMPLIANCE
LANDSCAPEING SCHEME



P5.74 - The above provides a breakdown of the proposed landscape scheme and the functionality of the private enjoyment space, outlining its usability.

-  Gravel (hard landscaping)
-  Timber decking (hard landscaping)
-  Maintained grassland (soft landscaping)



P5.76 - As shown above, the proposal provides suitable accommodation space for children, including a formal external play area, and offers space for a range of outdoor activities.



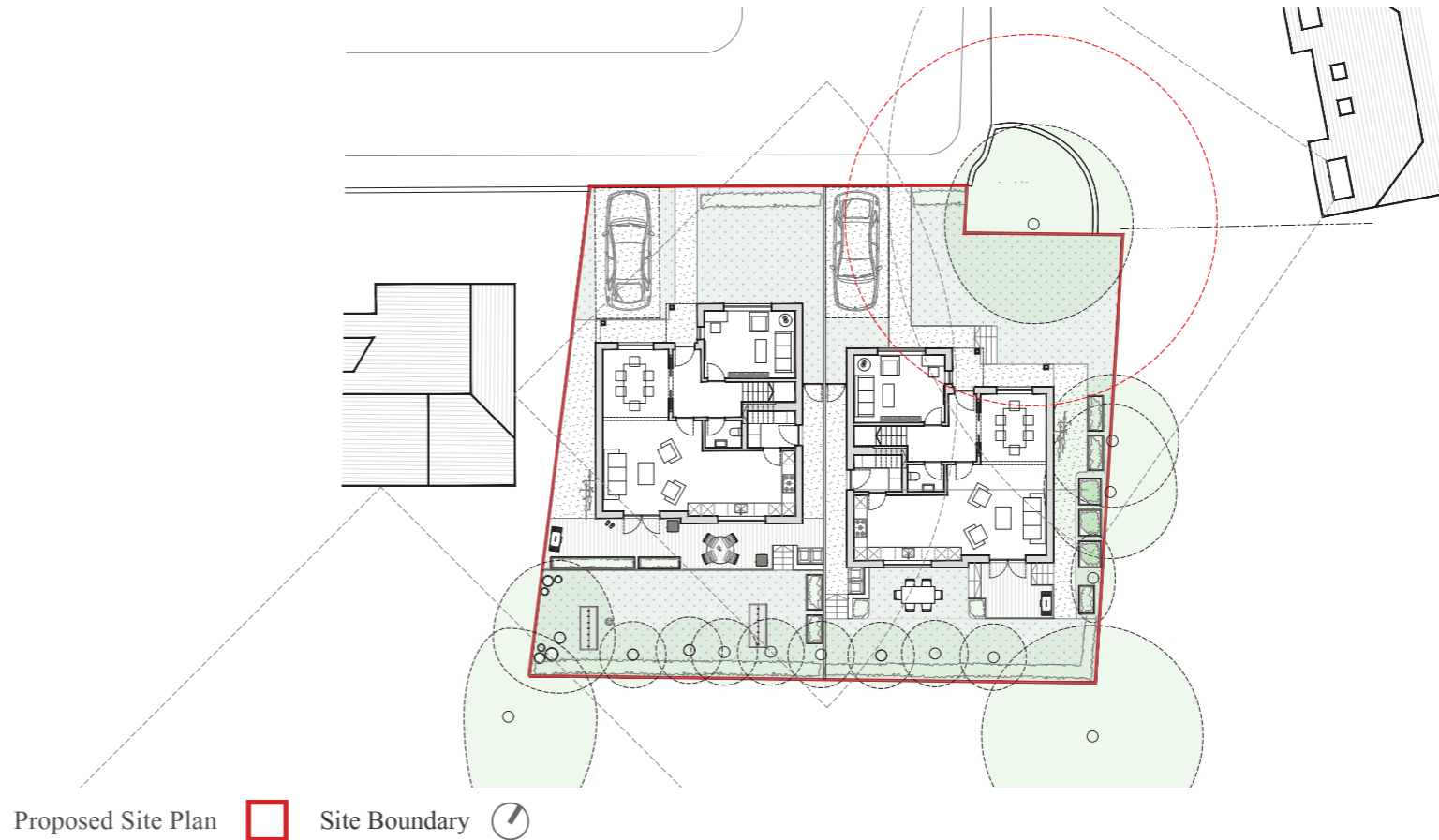
POLICY COMPLIANCE

LONDON PLAN GUIDANCE - URBAN GREENING FACTOR

As outlined within the adjacent site plan and the Urban Greening Factor (UGF) calculation prepared in accordance with the Greater London Authority guidance, the proposal not only meets the minimum UGF requirement of 0.4 but significantly exceeds it.

The scheme achieves an additional uplift of 0.053 UGF points above the minimum target, representing a meaningful enhancement beyond policy requirements. This uplift demonstrates the delivery of a high-quality landscaping strategy and a strong commitment to biodiversity enhancement across the site. Achieving a total Urban Greening Factor of 0.453 confirms that the development provides a level of greening and environmental performance substantially above the baseline expectation, contributing to improved ecological value, urban cooling, and sustainable surface treatment.

The proposed landscaping and amenity spaces are therefore considered to deliver a high standard of environmental provision while also enhancing the overall quality, usability, and visual amenity of external spaces associated with the development.



Urban Greening Factor Calculator				
Surface Cover Type	Factor	Area (m ²)	Contribution	Notes
Semi-natural vegetation (e.g. trees, woodland, species-rich grassland) maintained or established on site.	1	85	85	
Wetland or open water (semi-natural; not chlorinated) maintained or established on	1		0	
Intensive green roof or vegetation over structure. Substrate minimum settled depth of 150mm.	0.8		0	
Standard trees planted in connected tree pits with a minimum soil volume equivalent to at least two thirds of the projected canopy area of the mature tree.	0.8		0	
Extensive green roof with substrate of minimum settled depth of 80mm (or 60mm beneath vegetation blanket) – meets the requirements of GRO Code 2014.	0.7		0	
Flower-rich perennial planting.	0.7	54	37.8	
Rain gardens and other vegetated sustainable drainage elements.	0.7		0	
Hedges (line of mature shrubs one or two shrubs wide).	0.6	29	17.4	
Standard trees planted in pits with soil volumes less than two thirds of the projected canopy area of the mature tree.	0.6		0	
Green wall –modular system or climbers rooted in soil.	0.6		0	
Groundcover planting.	0.5	10	5	
Amenity grassland (species-poor, regularly mown lawn).	0.4	215	86	
Extensive green roof of sedum mat or other lightweight systems that do not meet GRO Code 2014.	0.3		0	
Water features (chlorinated) or unplanted detention basins.	0.2		0	
Permeable paving.	0.1	134	13.4	
Sealed surfaces (e.g. concrete, asphalt, waterproofing, stone).	0		0	
Total contribution			244.6	
Total site area (m²)				539.6
Urban Greening Factor				0.45329874



POLICY COMPLIANCE

HILLINGDON LOCAL PLAN PART 2 - POLICY DMEI 7: BIODIVERSITY PROTECTION AND ENHANCEMENT

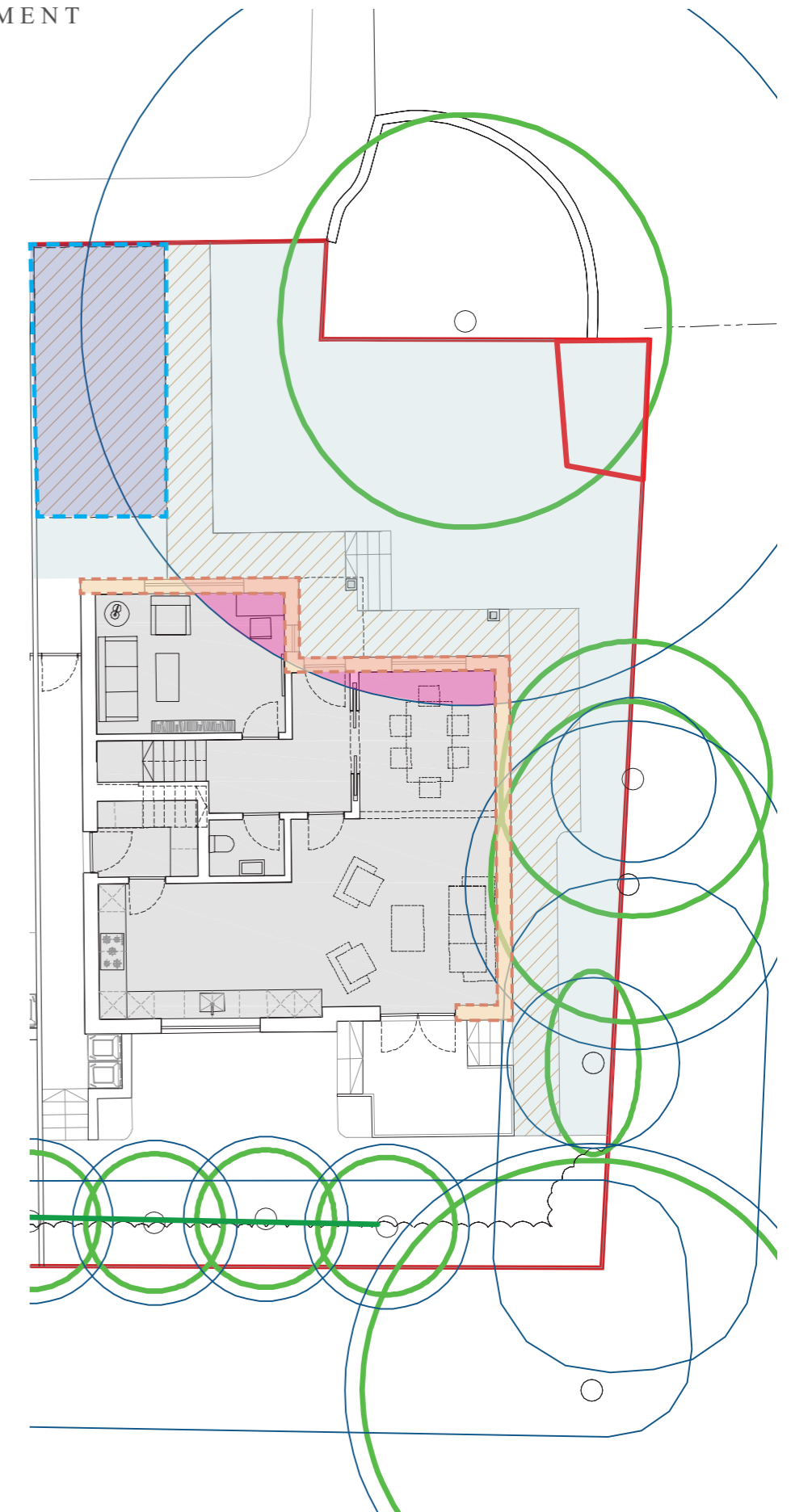
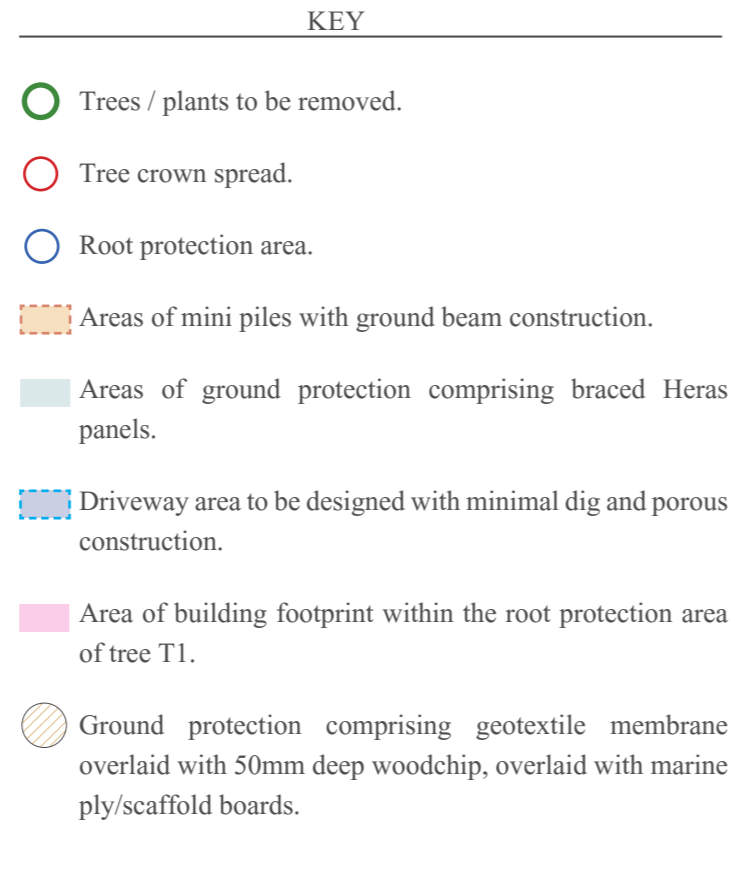
Policy DMEI 7 - the proposed development has been carefully designed to retain, protect and enhance the existing biodiversity and landscape setting of the application site. The proposal adopts a sensitive layout and design approach which seeks to maintain existing landscape features where possible while introducing new planting and ecological enhancements to improve overall biodiversity value.

The development responds positively to the existing site context and surrounding character, ensuring that the proposal both conserves and enhances the landscape setting in accordance with the objectives of Policy DMEI 7 and the wider conservation area character. The siting and design of the proposed dwelling minimises intervention within the site's existing topography and landscaping, thereby reducing potential ecological disturbance.

This approach has been outlined in greater detail elsewhere within this document which extracts seen adjacent, including the proposed use of screw pile foundations to minimise ground disturbance and protect existing root structures. Appropriate mitigation and enhancement measures have also been incorporated to safeguard the setting of the tree RPA located along the north-east boundary. In response, Dwelling No. 6 has been set back within the site to mitigate potential impacts on the tree and its root protection area. The recessed positioning of both dwellings allows for the provision of a landscaped frontage, creating a visually improved street scene while reinforcing the site's green character and contributing positively to the overall landscape setting.

Where the current site condition is characterised by limited ecological value due to vacancy and low-quality vegetation, the proposal introduces improved landscaping and biodiversity measures that will deliver a measurable net enhancement over the existing baseline conditions. These improvements will provide higher quality habitats and increased opportunities for biodiversity compared to the existing situation.

Accordingly, the proposal is considered to comply with Policy DMEI 7 by safeguarding existing ecological features, minimising impacts on the natural environment, and delivering enhancements that contribute positively to biodiversity and the overall environmental quality of the site



Ground Floor Plan Extract



POLICY COMPLIANCE

HILLINGDON LOCAL PLAN PART 2 - POLICY DMEI 2: REDUCING CARBON EMISSIONS

These sustainability aspirations set out the approach focusing on low-carbon operation, resource efficiency, occupant wellbeing, and ecological enhancement for the proposed residential building utilising the existing barn. The strategy integrates principles of Net Zero Operational Carbon, ethical material use, circular economy, water efficiency, sustainable transport, and health-focused design to deliver high-performance, resilient, and environmentally responsible home. RIBA Sustainable Outcomes Guide was followed to create the following aspirations

As outlined previously within this document, sustainability sits at the heart of the design as a practice we strive to deliver and incorporating as many sustainable practices as possible throughout the design, the materiality of the proposed dwellings while remaining responsive to the character of the surrounding area and Conservation Area context, explores sustainable principles such as Net Zero embodied carbon can be integrated into the development.

Accordingly, the scheme explores the use of low-embodied-carbon, natural, and healthy materials such as locally sourced materiality such as brickwork, clay tiles, and timber, selected for their durability, low environmental impact, and compatibility with the local vernacular.

The project also targets zero construction waste through careful specification and material efficiency, with an ambition to minimise waste generated during the construction process and ensure that minimal impact both during construction and after to the setting of the site, as seen through the use of screw pile foundations an mitigation approaches to the exiting landscape has been explored. Detailing will focus on longevity and robustness, ensuring long-life performance through durable materials, resilient junctions, and well-considered weatherproofing strategies.

Net Zero Operational Use:

FABRIC FIRST PRINCIPLES FOR BUILDING FORM AND ENVELOPE.

The core strategy is to maximise insulation, ensure airtightness, minimise thermal bridging, and optimise solar gain to reduce a building’s overall energy demand, leading to lower bills and carbon emissions. The measures include:

- High performance insulation
- Air tight construction
- Double glazed windows
- No thermal bridging
- Photovoltaic Panels
- Air Source Heat Pump

- ULTRA-LOW ENERGY APPLIANCES
 - Refrigerator/freezer of Energy rating A or better
 - Washing machine/dryer: low water use, variable-speed motor, moisture sensors for drying.
 - Dishwasher: Energy rating A or ENERGY STAR, low water cycle
 - Oven / Hob: induction hob, fan-assisted ovens for higher efficiency, A-rated
 - Lighting: 100% LED or equivalent high efficiency luminaires
- Other: Energy-efficient pumps, controls, and smart sockets to reduce standby power.

FINE TUNE INTERNAL ENVIRONMENT WITH EFFICIENT MECHANICAL SYSTEMS.

Passive design and mechanical systems will optimise comfortable, healthy internal environment, maintain good air quality and temperature while minimising energy use. The measures include:

- Natural ventilation
- Maximised daylight through generous openings
- High performance insulation
- Double glazed windows
- Mechanical ventilation system with heat recovery (HRV)
- Smart LED lighting with occupancy sensors adjusting to daylight levels

Net Zero Embodied Carbon:

ETHICAL AND RESPONSIBLE SOURCING OF ALL MATERIALS

All materials will be sourced ethically and locally where possible.

LOW EMBODIED CARBON, NATURAL AND HEALTHY MATERIALS

Proposed materials are natural and of low embodied carbon (brickwork, clay tiles, timber).

TARGET ZERO CONSTRUCTION WASTE

It is an ambition to control the construction waste of building materials.

DETAILING TO BE LONG LIFE AND ROBUST

- durable materials will be used
- robust junctions and weather detailing will be developed
- flexible layouts to accommodate future use changes
- low-maintenance external finishes, reduce lifecycle impacts

RESPONSIVE LOCAL CONTROLS TO BE PROVIDED

- Thermostats automatically adjusting heating to internal temperature change, located in habitable rooms for local control



PART VII | PROPOSED DRAWINGS

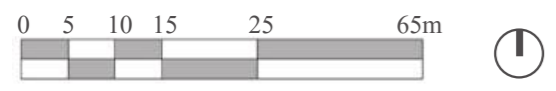
Note: The following drawings are illustrative only; the formal proposed planning drawings are submitted separately with this application.

PROPOSED DRAWINGS
SITE LOCATION PLAN



 Site Boundary

PROPOSED SITE LOCATION PLAN. 1:1250@A3



LAND AT RUSHMOOR CLOSE PINNER. HA5 2HF



PROPOSED DRAWINGS
SITE BLOCK PLAN



 Site Boundary

PROPOSED SITE BLOCK PLAN. 1:500@A3



LAND AT RUSHMOOR CLOSE PINNER. HAS 2HF



PROPOSED DRAWINGS
SITE PLAN



□ Site Boundary

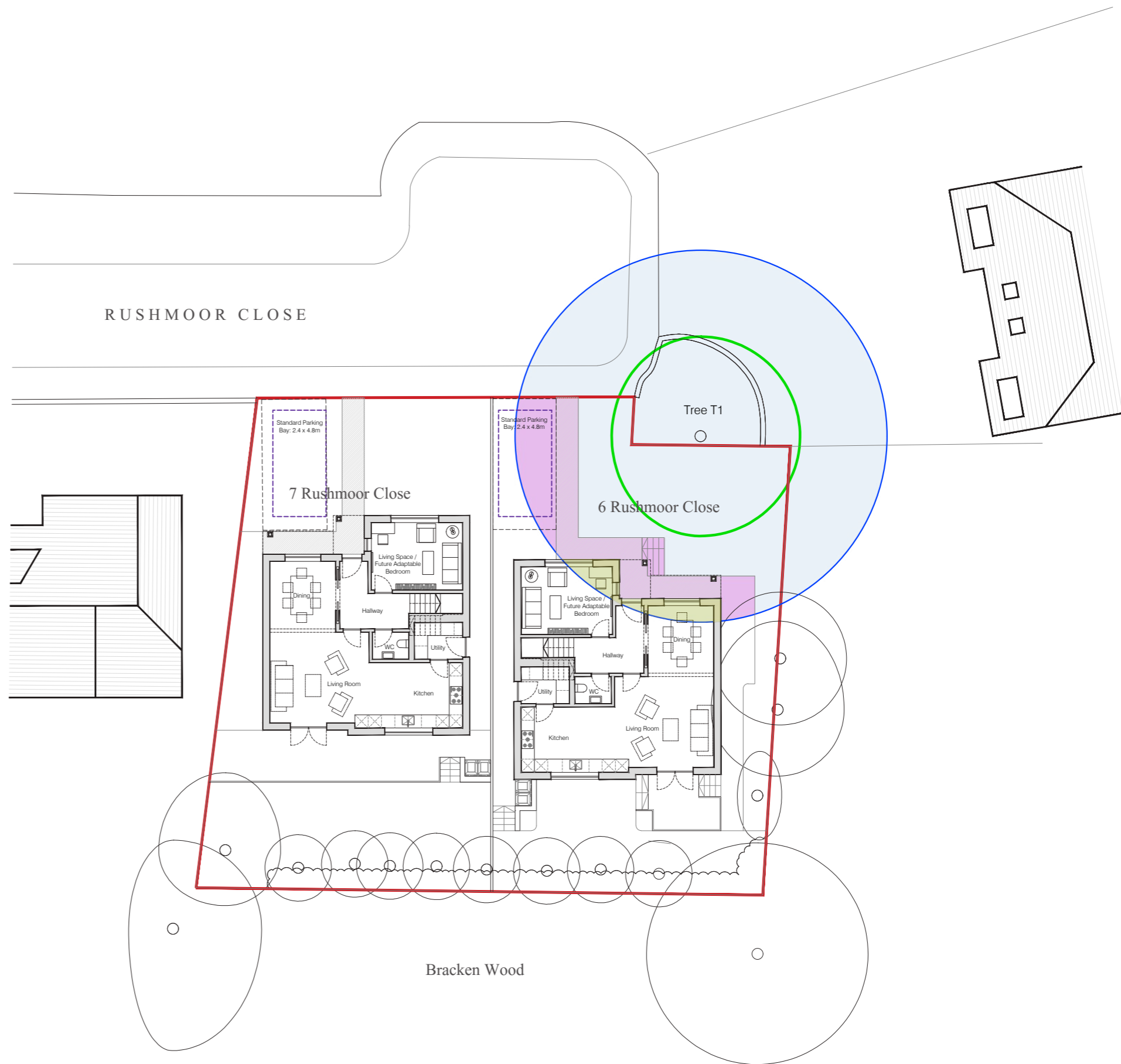
PROPOSED SITE PLAN. 1:200@A3



LAND AT RUSHMOOR CLOSE PINNER. HA5 2HF



PROPOSED DRAWINGS
 SITE PLAN - ROOT PROTECTION ZONE



○ T1 Tree Crown
○ Root Protection Zone - 221.2sqm
■ Foundations within RPZ - 6.8sqm
■ Hardstanding within RPZ - 30 sqm

 Total Encroachment Sqm = 36.8sqm
 Percentage Encroachment = 16.64%

□ Site Boundary

PROPOSED SITE PLAN - ROOT PROTECTION ZONE. 1:200@A3



PROPOSED DRAWINGS

GROUND FLOOR PLAN

The adjacent floor plans reflect the proposal for both dwelling houses at Ground Floor level. The design is symmetrical in nature with minor differences, creating a mirrored floor plan as a whole.

6 Rushmoor Close

Ground Floor:	71.8 sq.m	GIA
	83.7 sq.m	GEA
	65.5 sq.m	NIA

First Floor:	59.1 sq.m	GIA
	76.9 sq.m	GEA
	50.0 sq.m	NIA

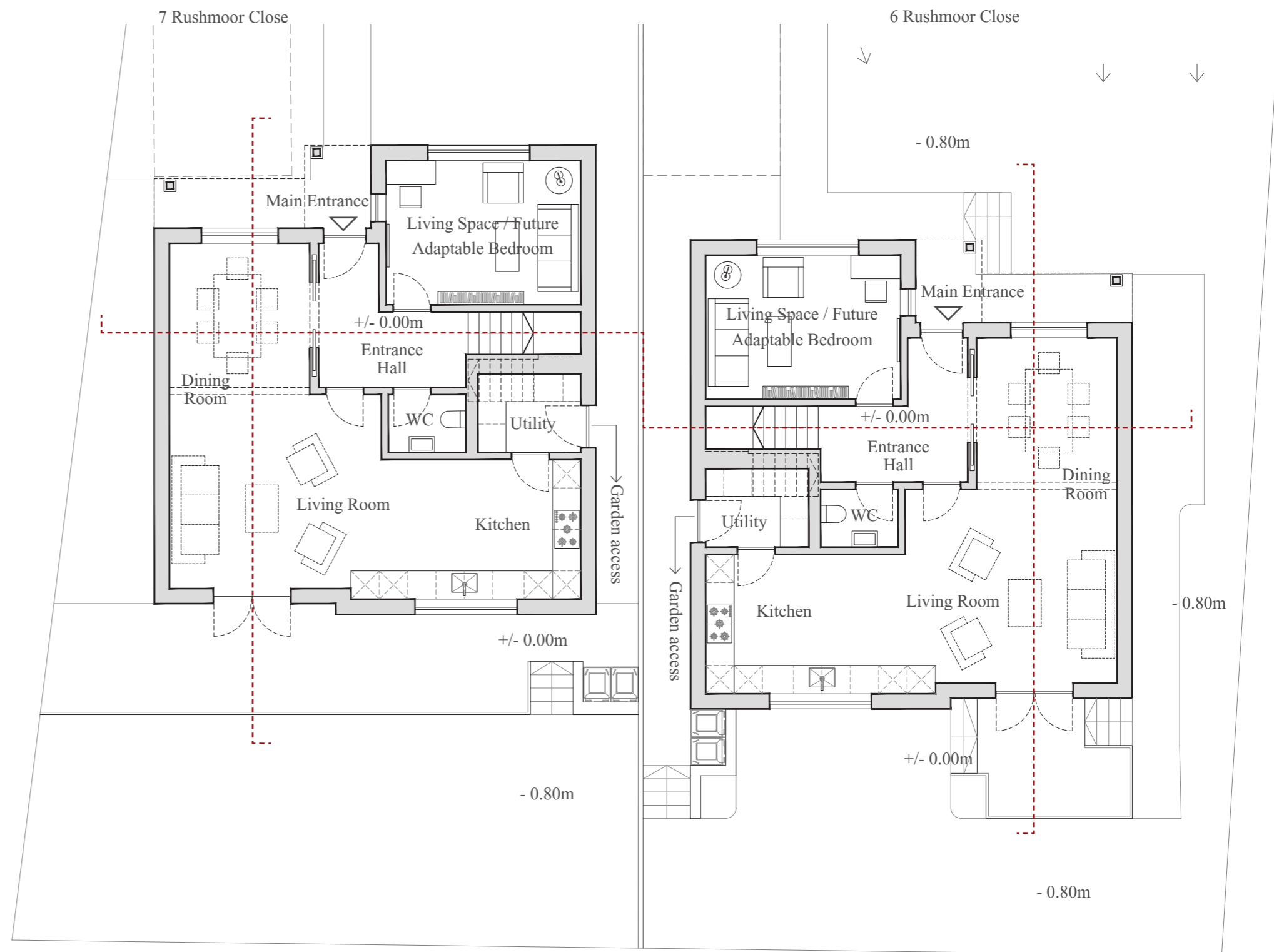
7 Rushmoor Close

Ground Floor:	71.8 sq.m	GIA
	83.7 sq.m	GEA
	65.5 sq.m	NIA

First Floor:	59.1 sq.m	GIA
	76.9 sq.m	GEA
	50.0 sq.m	NIA

Total per dwelling:	130.9 sq.m	GIA
	160.6 sq.m	GEA
	115.5 sq.m	NIA

Note - NIA calculations do not include the staircase or MEP cupboard, but do include stair landings.



Ground Floor Plan

PROPOSED GROUND FLOOR PLAN. 1:100@A3



PROPOSED DRAWINGS

FIRST FLOOR PLAN

The adjacent floor plans reflect the proposal for both dwelling houses at First Floor level. The design is symmetrical in nature, creating a mirrored floor plan as a whole.

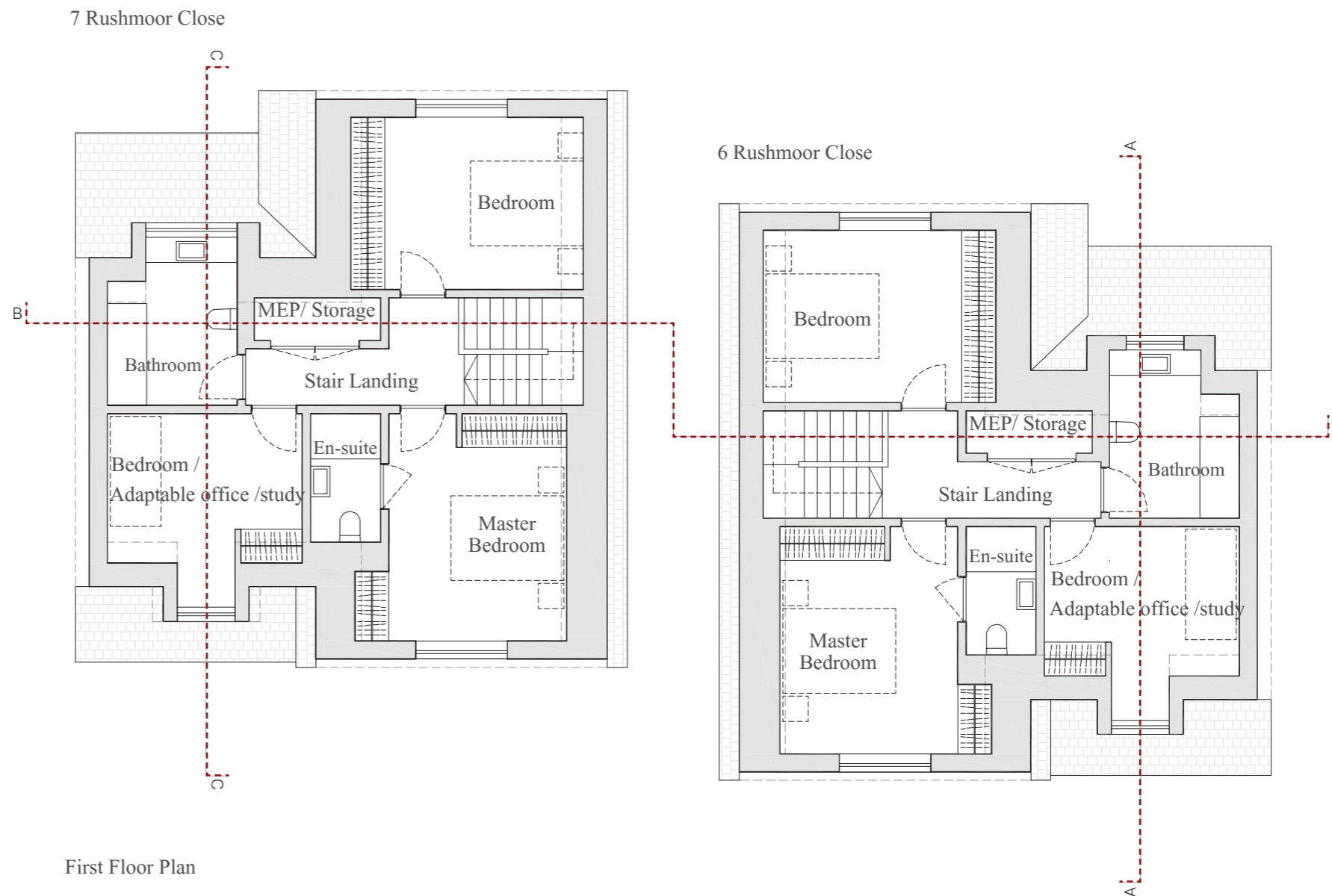
6 Rushmoor Close

Ground Floor:	71.8 sq.m	GIA
	83.7 sq.m	GEA
	65.5 sq.m	NIA
First Floor:	59.1 sq.m	GIA
	76.9 sq.m	GEA
	50.0 sq.m	NIA

7 Rushmoor Close

Ground Floor:	71.8 sq.m	GIA
	83.7 sq.m	GEA
	65.5 sq.m	NIA
First Floor:	59.1 sq.m	GIA
	76.9 sq.m	GEA
	50.0 sq.m	NIA

Total per dwelling:	130.9 sq.m	GIA
	160.6 sq.m	GEA
	115.5 sq.m	NIA



Note - NIA calculations do not include the staircase or MEP cupboard, but do include stair landings.

PROPOSED FIRST FLOOR PLAN. 1:100@A3



PROPOSED DRAWINGS

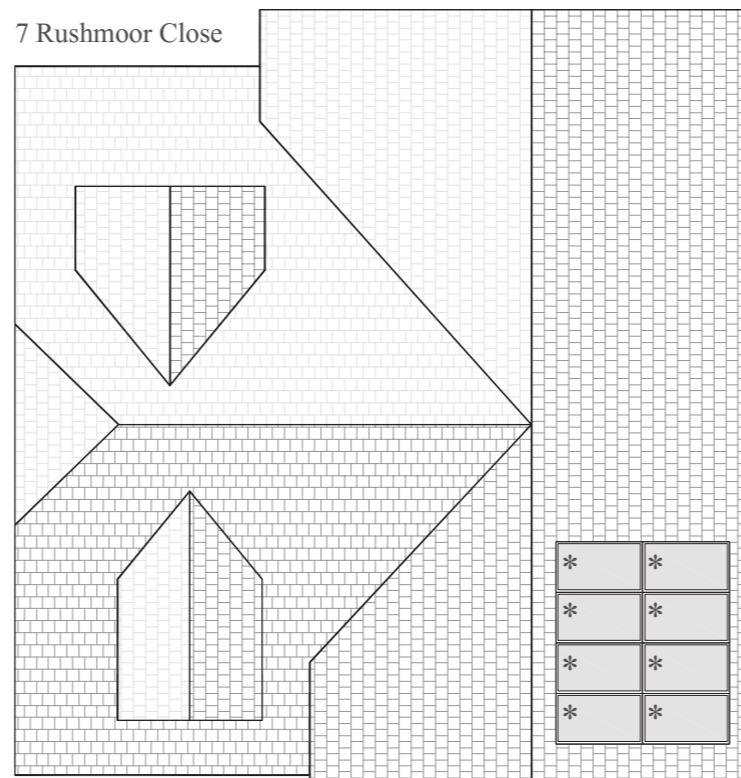
ROOF PLAN

The adjacent floor plans reflect the proposal for both dwelling houses at Roof level. The design is symmetrical in nature, creating a mirrored floor plan as a whole.

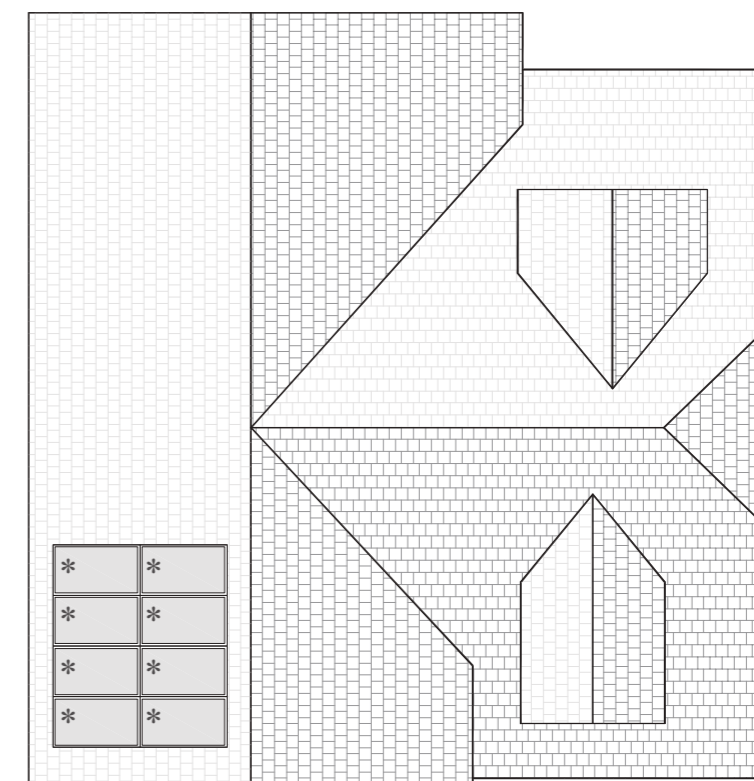
KEY:

* Solar Panels

7 Rushmoor Close



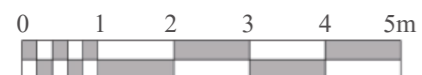
6 Rushmoor Close



Roof Plan

PROPOSED ROOF PLAN.

DRAWING no. 2002_F 1:100@A3



LAND AT RUSHMOOR CLOSE PINNER. HA5 2HF



PROPOSED DRAWINGS

FRONT ELEVATION

The adjacent drawing reflects the Proposed Front Elevations of both dwelling houses.



PROPOSED FRONT ELEVATIONS. 1:100@A3



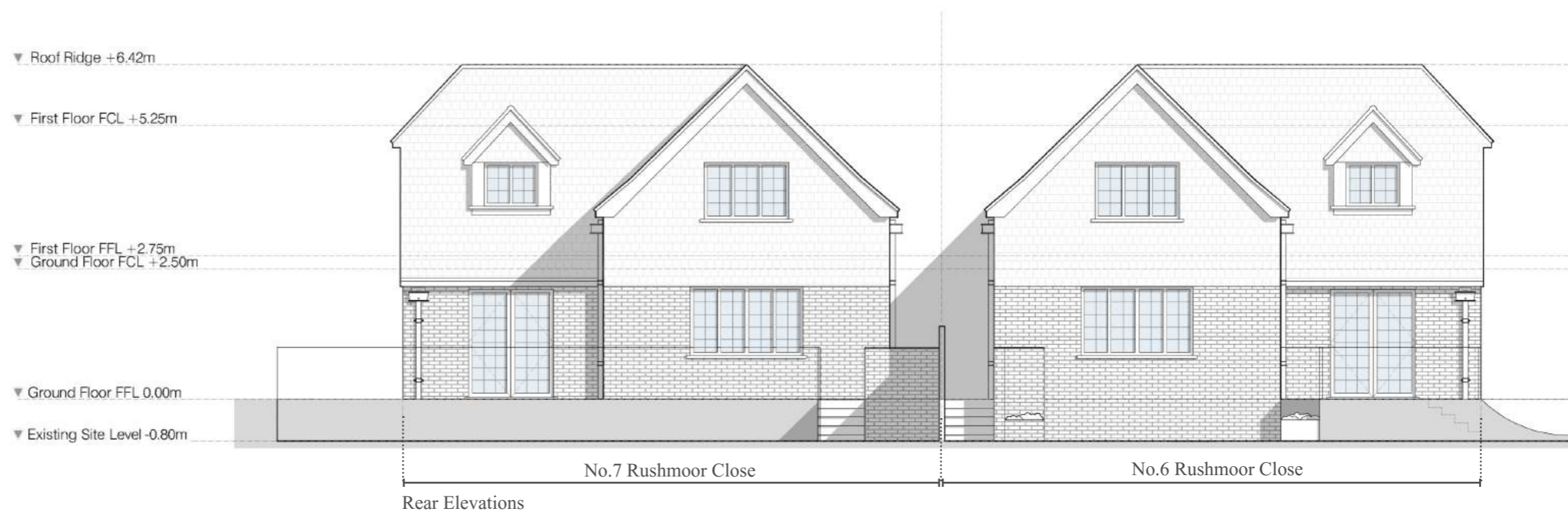
LAND AT RUSHMOOR CLOSE PINNER. HA5 2HF



PROPOSED DRAWINGS

REAR ELEVATION

The adjacent drawing reflects the Proposed Rear Elevations of both dwelling houses.



PROPOSED REAR ELEVATIONS. 1:100@A3

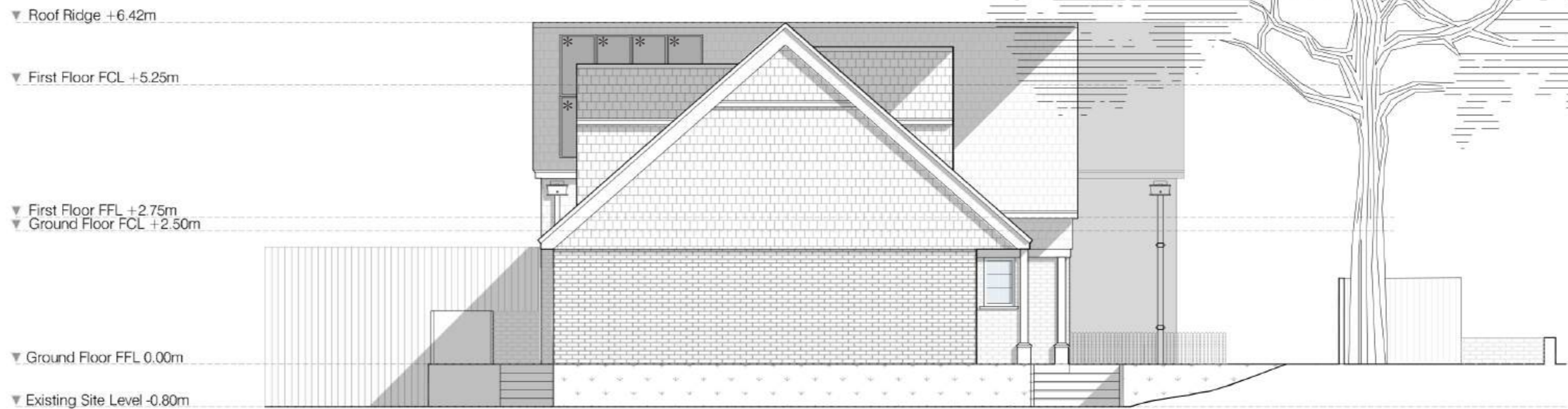


PROPOSED DRAWINGS

SIDE ELEVATION

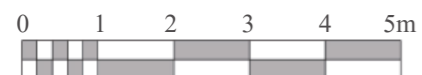
The adjacent drawing reflects the Proposed Side Elevation of one dwelling house - No.6 Rushmoor Close.

KEY:
* Solar Panels



No.6 Rushmoor Close
Side Elevation

PROPOSED SIDE ELEVATION. 1:100@A3



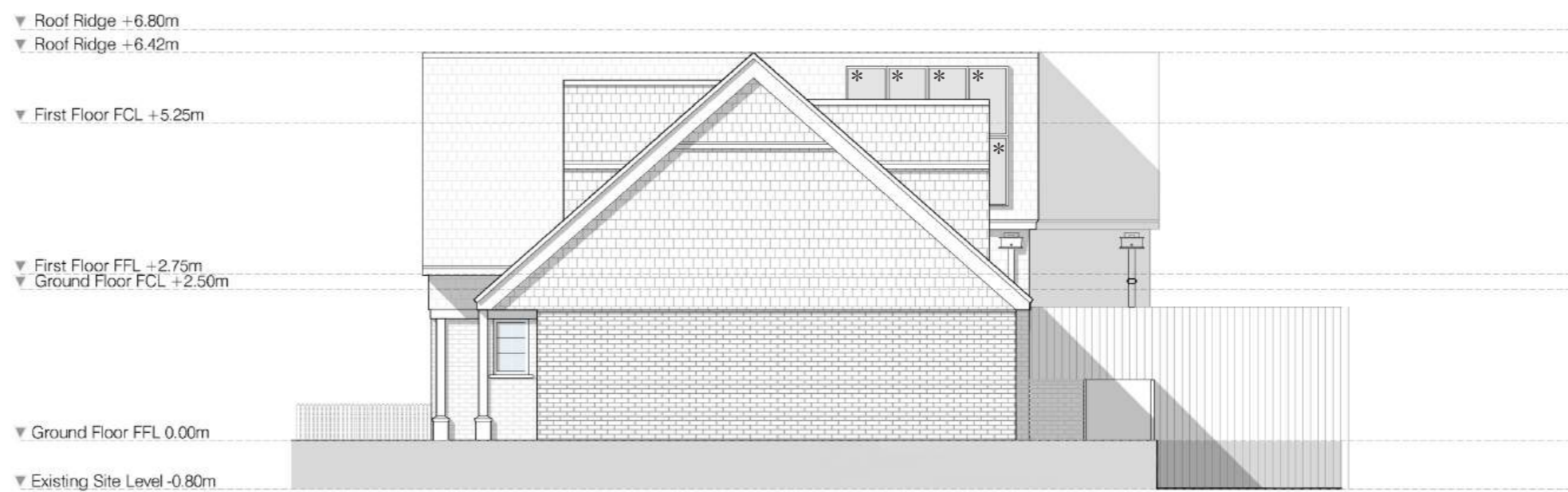
LAND AT RUSHMOOR CLOSE PINNER. HA5 2HF



PROPOSED DRAWINGS
SIDE ELEVATION

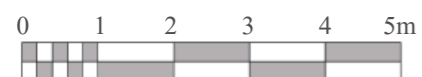
The adjacent drawing reflects the Proposed Side Elevation of one dwelling house - No.7 Rushmoor Close.

KEY:
 * Solar Panels



No.7 Rushmoor Close
 Side Elevation

PROPOSED SIDE ELEVATION. 1:100@A3



LAND AT RUSHMOOR CLOSE PINNER. HA5 2HF



PROPOSED DRAWINGS

STREET ELEVATION

The adjacent drawing reflects the proposed Front Elevation of both dwelling houses in the wider context of the surrounding streetscape.



Proposed Streetscape Elevation

PROPOSED STREETSCAPE ELEVATION. 1:200@A3



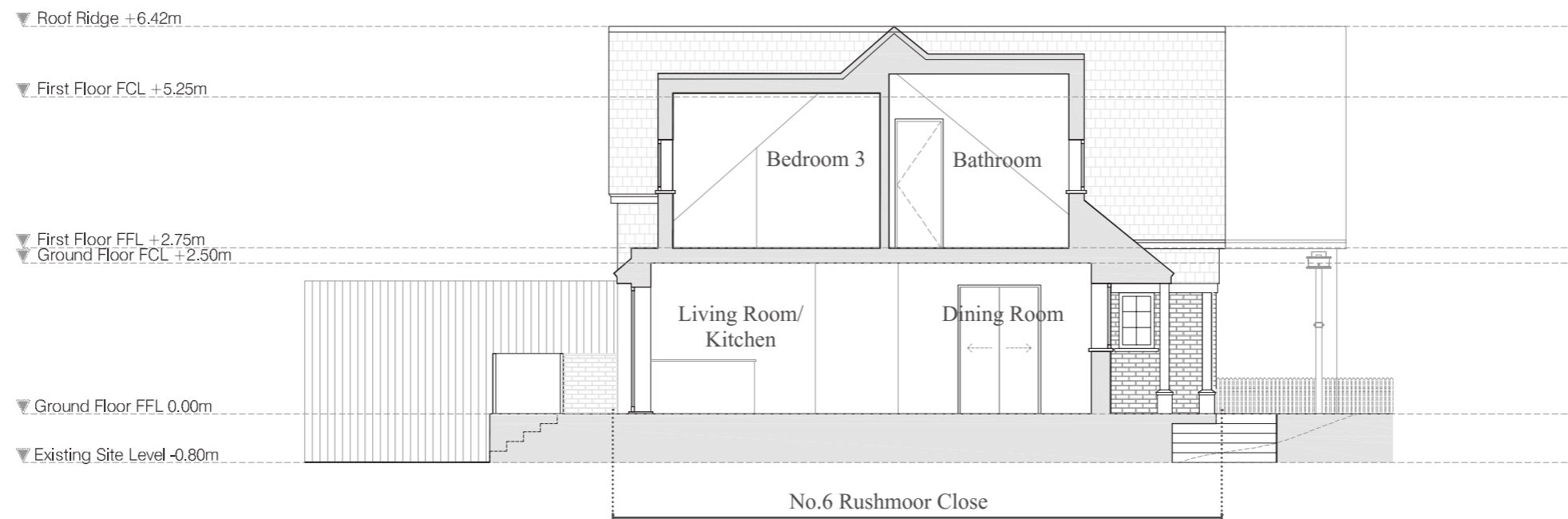
LAND AT RUSHMOOR CLOSE PINNER. HA5 2HF



PROPOSED DRAWINGS

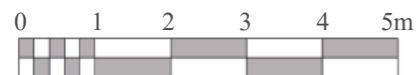
SECTION AA

The adjacent drawing reflects Proposed Section AA, a short sections cutting through dwelling No.6 Rushmoor Close.



Section AA

PROPOSED SECTION AA. 1:100@A3



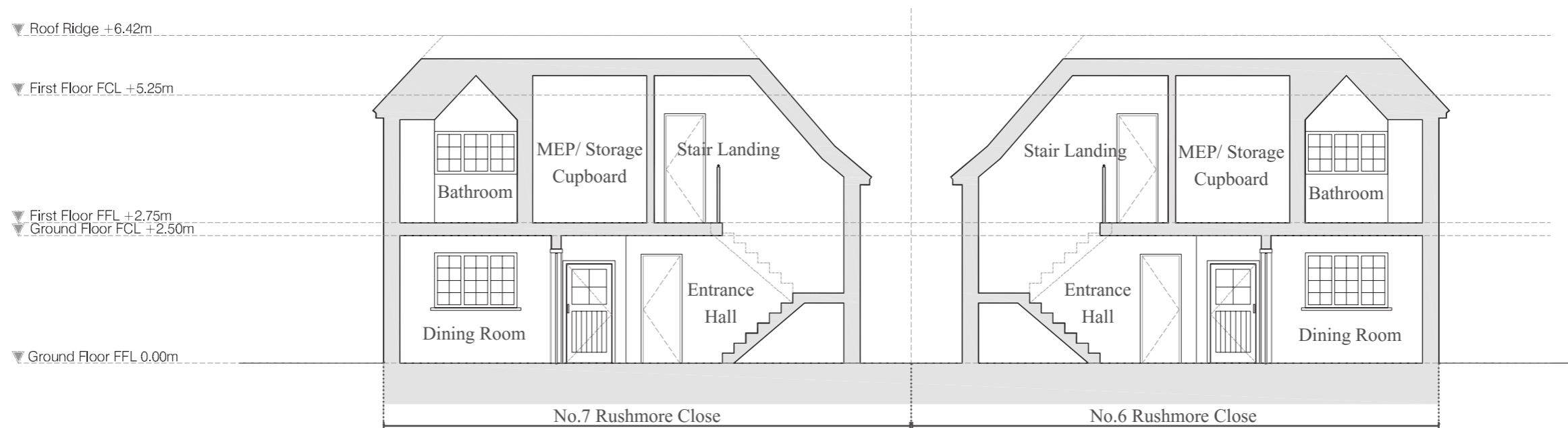
LAND AT RUSHMOOR CLOSE PINNER. HA5 2HF



PROPOSED DRAWINGS

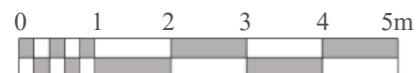
SECTION BB

The adjacent drawing reflects Proposed Section BB, a long section cutting through both dwelling houses.



Section BB

PROPOSED SECTION BB. 1:100@A3



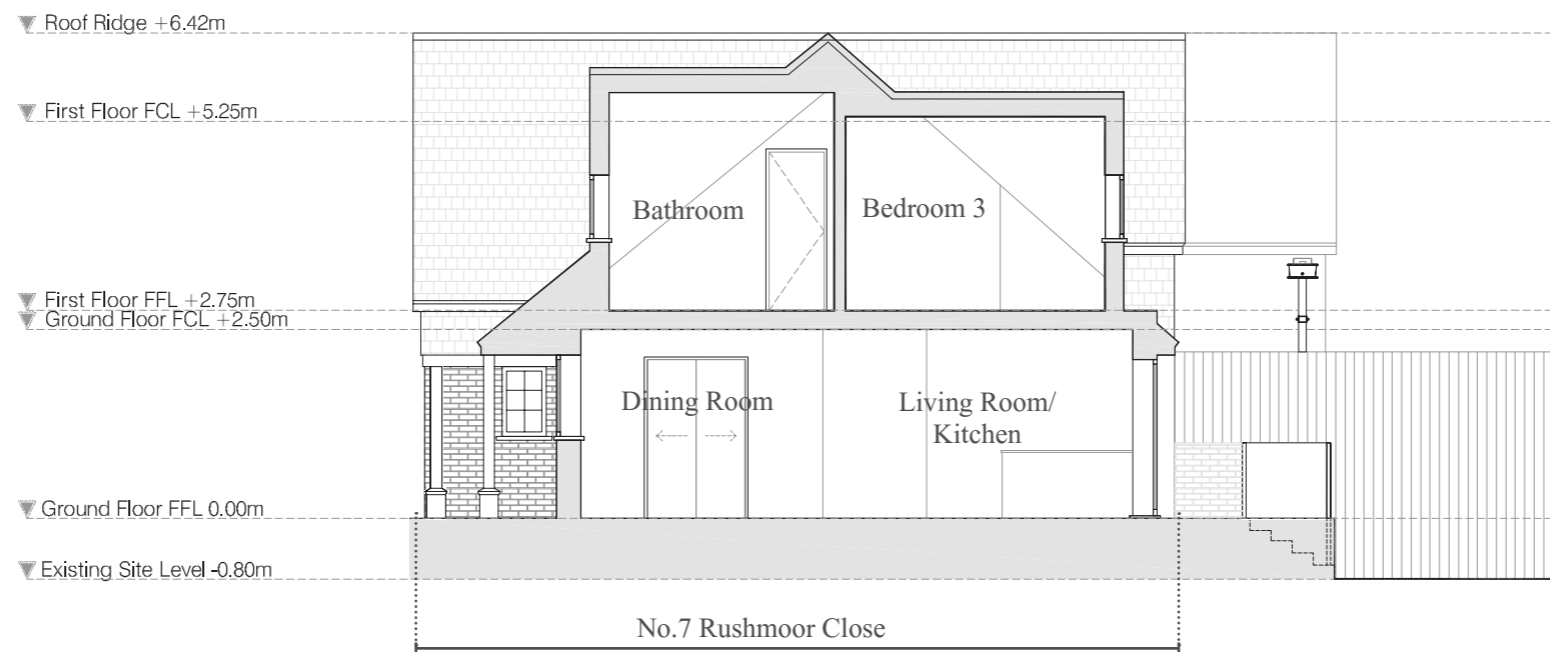
LAND AT RUSHMOOR CLOSE PINNER. HA5 2HF



PROPOSED DRAWINGS

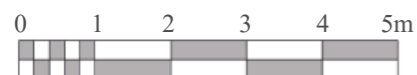
SECTION CC

The adjacent drawing reflects Proposed Section CC, a short sections cutting through dwelling No.7 Rushmoor Close.



Section CC

PROPOSED SECTION CC. 1:100@A3



LAND AT RUSHMOOR CLOSE PINNER. HA5 2HF





Studio Kyson
28 Scrutton Street
London
EC2A 4RP

020 7247 2462
www.kyson.co.uk

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