



INTRODUCTION

This Integrated Planning Document has been prepared for the benefit of Hillingdon Council, on behalf of our clients, and sets out the proposals for the land at Rushmoor Close (herein referred to as 'The Site') along with accompanying design justification.

The site consists of a vacant plot of land at the rear of the Client's property on High Road Eastcote, known as Brackenwood. It currently falls under the Client's property site boundary. This planning application proposes to build two new, semi-detached dwellings, each consisting of two-storeys and four bedrooms, symmetrical in design. Each dwelling has triple-aspect outlooks, with front and rear gardens and a connecting side passage.

The external appearance of the properties will be in fitting with the style of the local vicinity, much of which is characterised by 1930s Arts & Crafts style dwellings. The design takes inspiration from the local Arts & Crafts style architecture and is informed by neighbouring ridge heights, roof shapes, window proportions, sill heights, materials and datums. Further details of the proposals and the design concept can be found in the accompanying drawings and research analysis presented in this brochure.

PART I | CONTEXT & SETTING

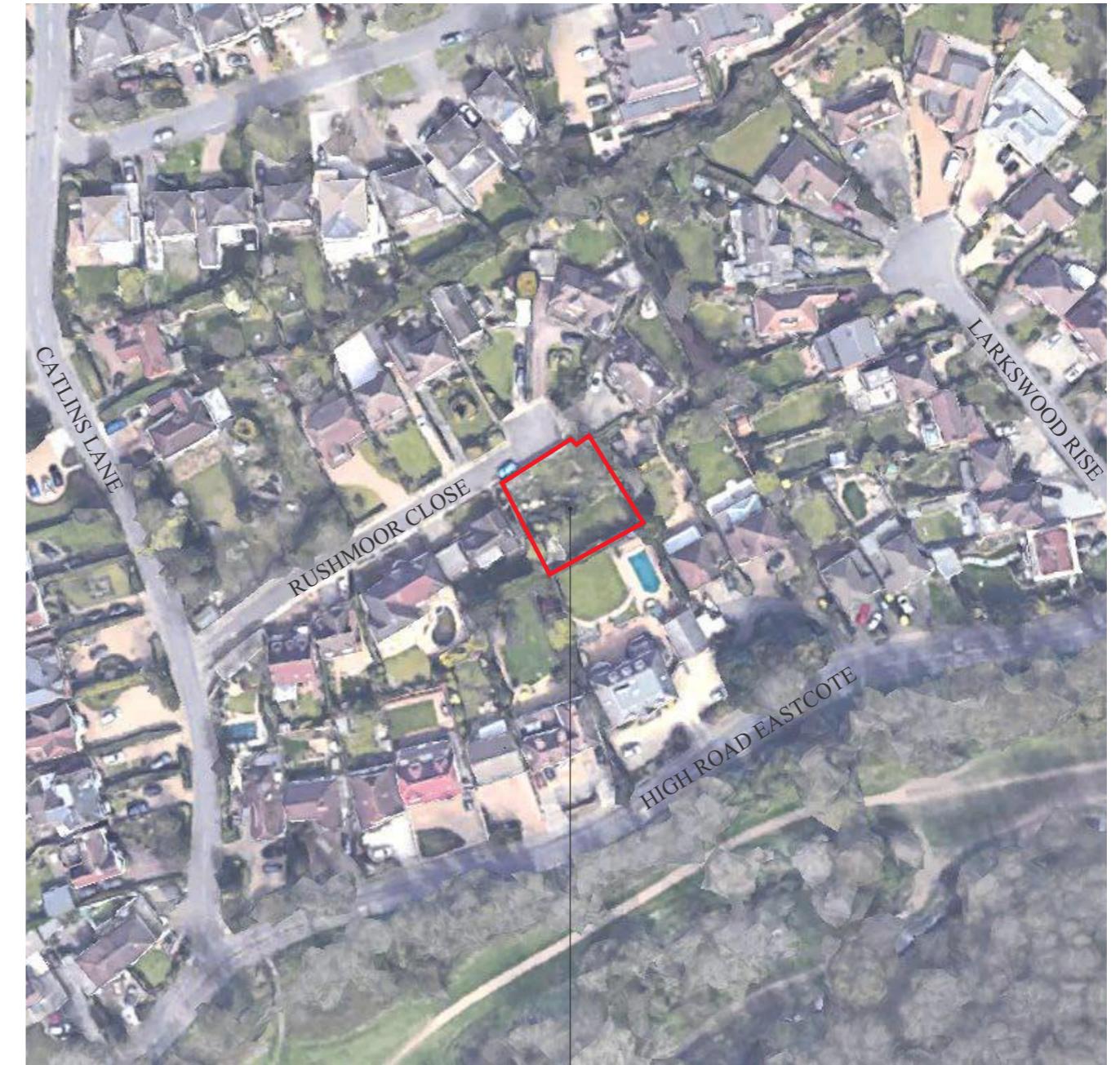


CONTEXT & SETTING

SITE LOCATION



- 'Site' - Rushmoor Close Pinner, HA5 2HF
- London Borough of Hillingdon



Site Location (indicative boundary) —



Location

The site is located in North West London, within the London Borough of Hillingdon and sits just within Eastcote Village Conservation Area. The local authority is Hillingdon Council.

CONTEXT & SETTING

PROPOSAL SITE

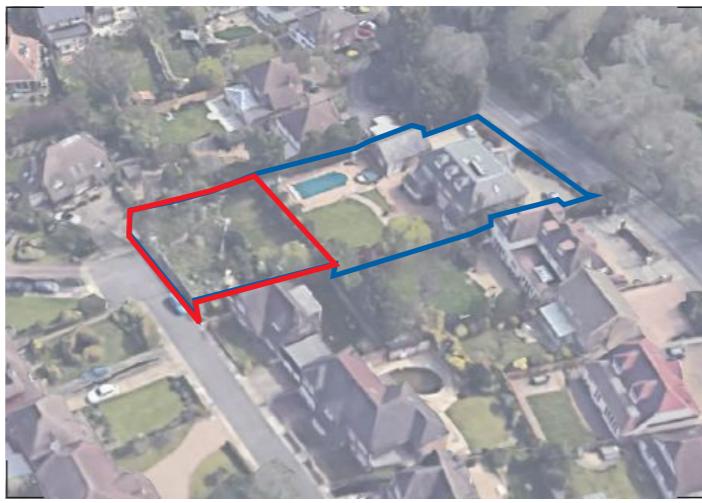
Site within ownership
 Proposed Site



Site Map



View looking North



View looking East



View looking South



View looking West

CONTEXT & SETTING

SITE PHOTOGRAPHS

THE AREA

Rushmoor Close consists of 10 residential dwellings, all varying slightly in styles, but consistent in their Art & Crafts architectural character, with many of the properties being built around the 1930s.

These properties reflect typical Arts & Crafts style architectural features, such as:

- Dominant gables
- Hipped roofs
- Clay hung tiles
- Sprocketed Eaves
- Hipped end gables
- Tall chimneys
- Symmetrical elements
- Transom window ratios
- Dormer windows with projecting gable/ hipped roofs
- Extended roofs to form entrance porches

THE SITE

Currently, the site is fenced off from the central, no-through road of Rushmoor Close, with access into the site via a central timber gate. The immediate context along Rushmoor Close and the approach to the site is shown in the adjacent photographs/ Google streetview images, as well as the current condition and boundary extents to the site itself.



View looking East within the site, showing the current perimeter fence boundary and neighbouring property at No.5.



View looking West within the site, showing the current perimeter fence boundary and neighbouring property at No.8.



View looking South within the site, showing the current perimeter fence boundary.



View down Rushmoor Close, approaching the site.

CONTEXT & SETTING

LOCAL CHARACTER

As mentioned on the previous page, Rushmoor Close is characterised by Art & Crafts style dwellings.

These properties reflect typical Arts & Crafts architectural features, such as:

- Dominant gables
- Hipped roofs
- Clay hung tiles
- Sprocketed Eaves
- Hipped end gables
- Tall chimneys
- Symmetrical elements
- Transom window ratios
- Dormer windows with projecting gable/ hipped roofs
- Extended roofs to form entrance porches

The proposed design of the two new dwellings takes inspiration from the neighbourhood setting; the external appearance to the properties will be in fitting with the architectural style of Rushmoor Close. The images adjacent reflect the neighbouring properties.



CONTEXT & SETTING

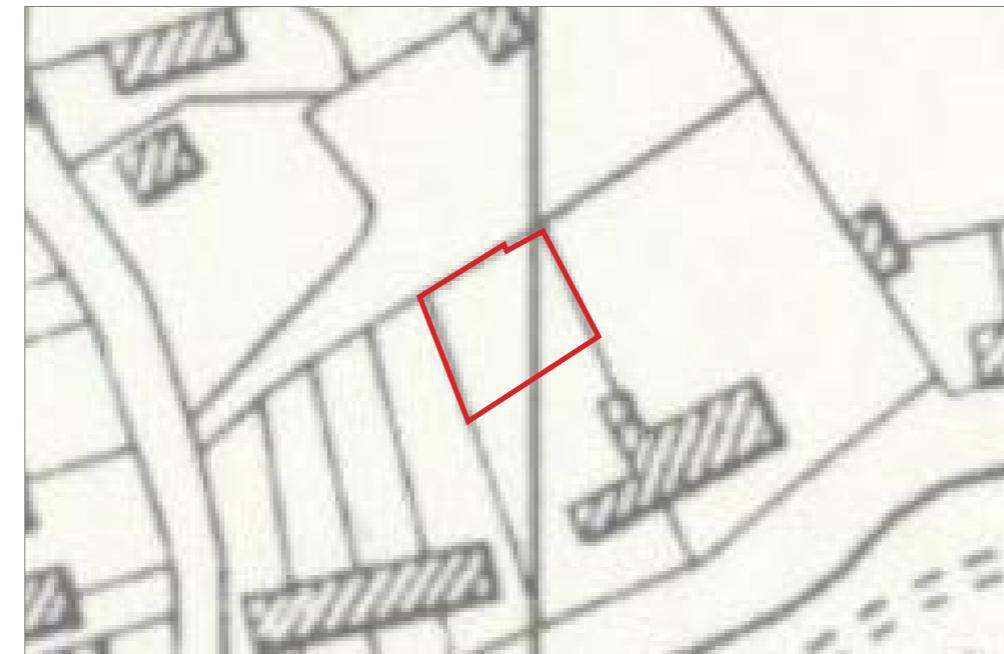
HISTORICAL CONTEXT

The adjacent maps illustrate the site and its immediate settings changing over time.

The area now comprising modern day Rushmoor Close was largely undeveloped prior to 1940, unlike the parallel High Road Eastcote, which shows evidence of buildings prior to this. Nursery buildings appear in the 1940 on the plot of land adjacent to the site, but these appear to be demolished at some point in the proceeding 20 years. In the 1960s more residential scale buildings appear in the surrounding roads and by 1970 modern day Rushmoor Close is formed with the neighbouring properties we see still today.

KEY:

■ Site



Historic map, 1930



Historic Map, 1940



Historic map, 1960



Historic map, 1970

CONTEXT & SETTING

CONSERVATION AREA

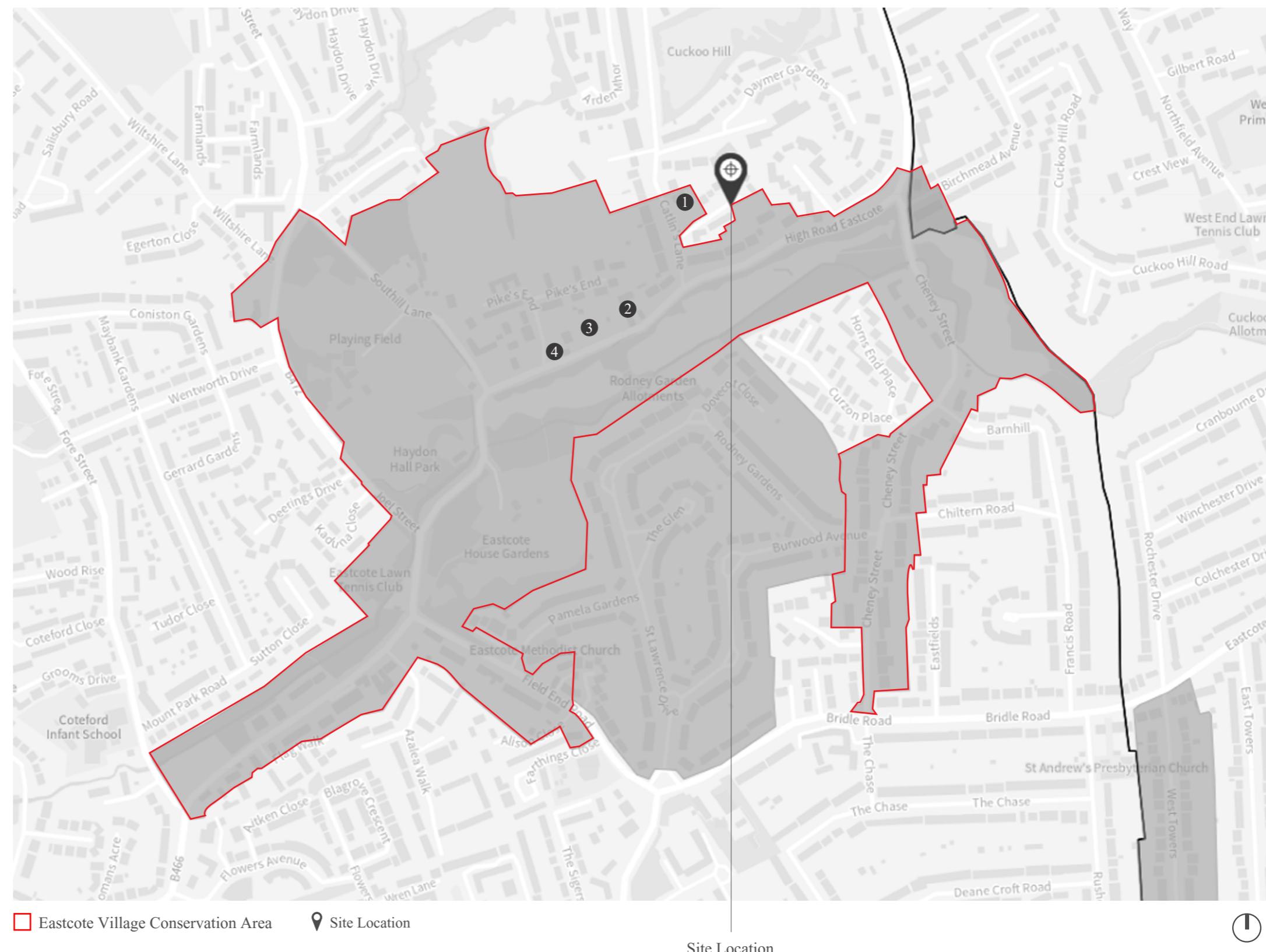
The Eastcote Village Conservation Area, designated on 16th of March 1970 and extended on 19th January 1978 & 12th January 2011, by the London Borough of Hillingdon, is an area of historical and architectural significance. Following boundary changes in 1993, a small portion of the conservation area came under Harrow's jurisdiction, covering a few houses on Cuckoo Hill and Birchmead Avenue. The area's character is defined by its mix of open green spaces and historic buildings, including Arts and Crafts-style cottages and 1930s semi-detached houses. Once part of extensive country estates, much of the original landscape has been lost to development, though remnants of green spaces help retain a semi-rural feel. The conservation area is subject to planning policies aimed at preserving its character, though challenges such as loss of historic features, poor street maintenance, traffic issues, and fly-tipping persist. Conservation efforts focus on maintaining architectural integrity and enhancing the area's natural surroundings.

Source: Eastcote Village Conservation Area Appraisal

Listed Buildings:

1. St Catherine's Farmhouse, Catlin's Lane
List Ref: 1080270: Grade II
2. Ramin Cottage, High Road
List Ref: 1358379: Grade II
3. The Old Shooting Box, High Road
List Ref: 1080224; Grade: II
4. Eastcote Grange, High Road
List Ref: 1080223; Grade: II

More details of the above listed buildings can be found on the next page.



CONTEXT & SETTING

LISTED BUILDINGS



1) St Catherine's Farmhouse, Catlin's Lane
Grade II Listed

"Timber framed building concealed in late C19 skin. High pitched hipped tiled roof with old brick chimneys at west and north. Main south front of 2 storeys, 3 windows. 1st floor roughcast with mock timbering. Groundfloor brick. Modern 3-light and 4-light leaded casements. Inside shows the west part to have been a 2-bay structure with crown-post roof, possibly the cross-wing of a hall, but much alteration has taken place in the eastern part, although remaining timbers indicate a recessed centre bay, implying a house of Wealden type. The roof timbers have been renewed, but very heavy chamfered ceiling beams remain. 2 brick fireplaces with Tudor arches, one under a relieving arch; and a Tudor-arched plastered fireplace with Jacobean panelling above."



2) Ramin Cottage, High Road
Grade II Listed

"C17 2-storey, 2-window cottage. Visible timber framing with brick nogging on 1st floor; brick ground floor. Old tiled roof with 2 moulded compound stacks and one dormer. Oversailing gable end to road has roughcast filling. Modern small casements except on left return which has one horizontal sliding sash and one fixed light, both with glazing bars. C19 and modern additions to north and east not out of keeping with original."



3) The Old Shooting Box, High Road
Grade II Listed

"C16 cottage of 2 storeys and attic, 3 windows, extended and refaced in C18. Ground floor whitewashed weatherboarding, 1st floor tilehung. 3 double-hung sashes in architraves. Ground floor south elevation has modern brick verandah and French windows. C18 6-fielded panel door. Old tile roof, 3 modern dormers. Interior: Tudor moulded batten door. Long rear lean-to."



4) Eastcote Grange, High Road
Grade II Listed

"C16 and C17 timber framed house of 2 storeys, 2 bays; with added barn at west. 4-bay eastern part (1 bay blank on 1st floor) of C16 has returned gable at left. Old tiled roof with handsome compound stack. Next to west a C17 section of 6 bays with 3 gables at right, the left part being an adaptation of a barn. White-painted weatherboarding throughout and old tiled roofs. Modern leaded casements. Carriageway under left gable. At far west a further barn extension in tarred weatherboarding, running west for 3 bays then south for 4 bays with open carriageway through. Queen post roof trusses."

CONTEXT & SETTING

CONSERVATION AREA APPRAISAL - ARCHITECTURAL CHARACTER

The Eastcote Village Conservation Area was designated in early 1970s. The local character of the Conservation Area, highlighted in the '*Eastcote Village Conservation Area leaflet*', is defined by its semi-rural setting, historic buildings, and natural landscape features.

Architectural & Historic Character

1. The area includes the historic hamlet of Eastcote, featuring Eastcote House (16th century), Haydon Hall (17th century), and High Grove (18th century), reflecting its long history.

2. Most recently the Conservation Area was extended to include the Southern part of Cheney Street, which contains low-density housing of varied design, including large detached houses as well as bungalows. The C17th Cheney Farmhouse is the only listed building in the area (Grade II) and comprises a timber-frame with exposed framing between rendered panels.

3. Later development includes 1920s Arts & Crafts-style houses, characterised by:

- Red brick or rendered facades
- Clay roof tiles
- Tall chimneys and half-timbered details

Natural & Landscape Features

1. The area is dominated by open spaces, mature trees, and extensive natural landscaping.

2. Streetscape features include:

- Hedges and low walls bordering front gardens.
- Grass verges and a central reserve, which add to the green character.
- Curving road layout and gentle topography, enhancing visual appeal.

3. Spacing between houses allows for views through to back gardens, contributing to the open feel of the area.



Eastcote House



Cheney Farmhouse



Haydon Hall



Cheney Street, Chalet type bungalows



High Grove House

CONTEXT & SETTING

ACCESSIBILITY

The PTAL rating for the site is 1a:

The site is located just off the B466 road, which links Pinner Green with Ickenham, via Ruislip. The local underground stations offer transport links to central link via the Metropolitan and Piccadilly lines. Pinner underground station is a 23 minute walk from the site, whilst both Northwood Hills and Eastcote stations are approx. a 28 minute walk.

The site has nearby bus transportation links from Eastcote High Road and from Eastcote Methodist Church in Eastcote village. The 282 and H13 bus routes are the local links.

KEY:

A Eastcote High Road - 9 minutes walk

282

B Eastcote Methodist Church - 12 minutes walk

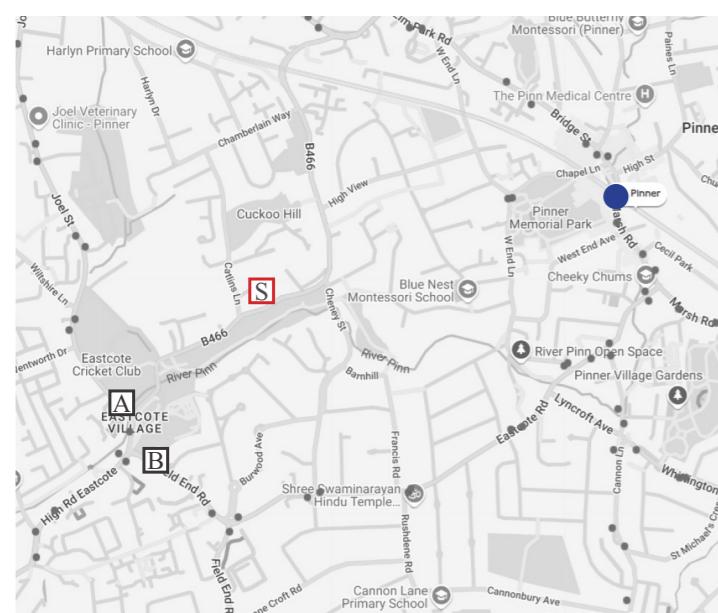
282 & H13

● Pinner - 23 minutes walk

Underground Station

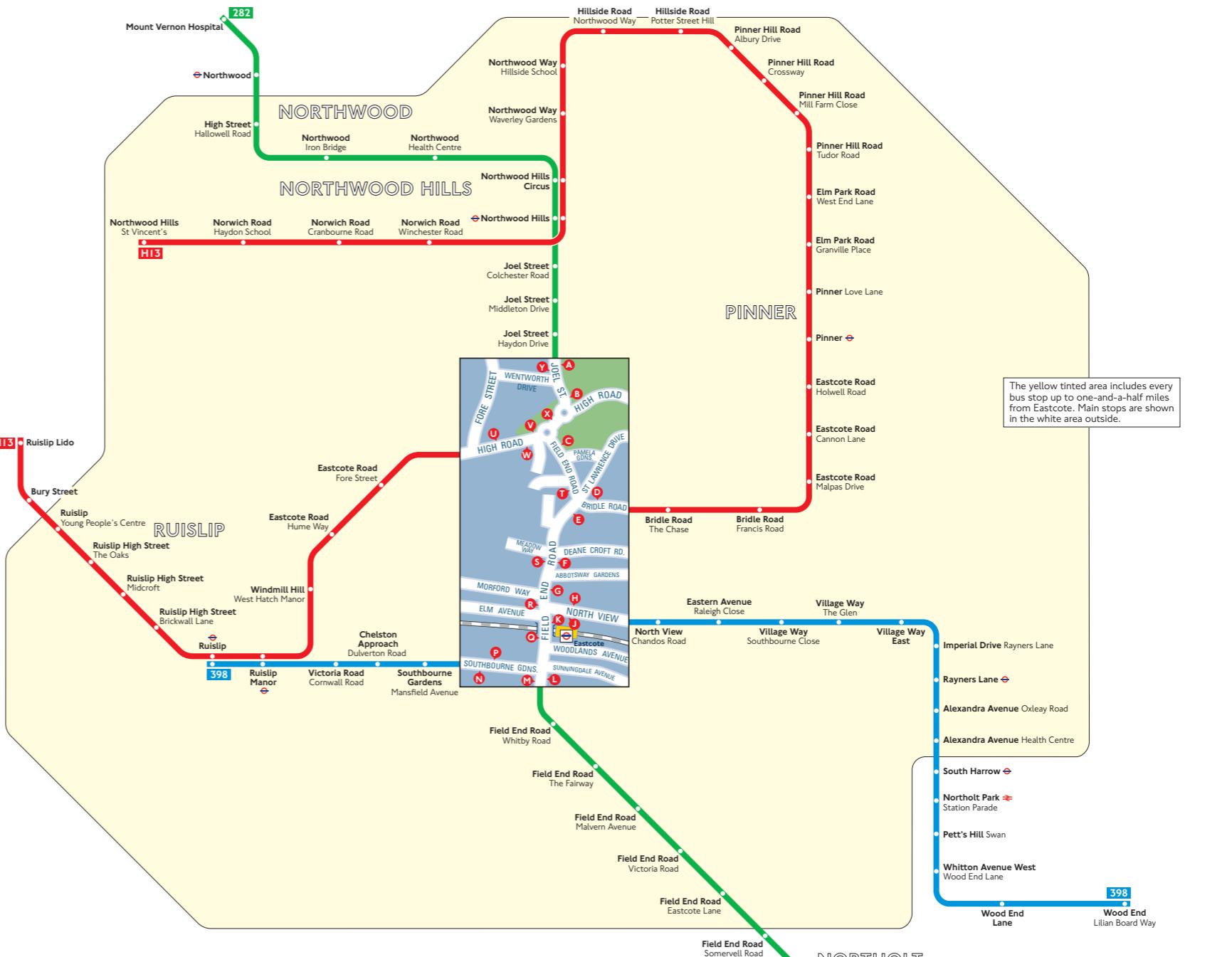
S 'Site' - Rushmoor Close Pinner, HA5 2HF

O TFL underground stations

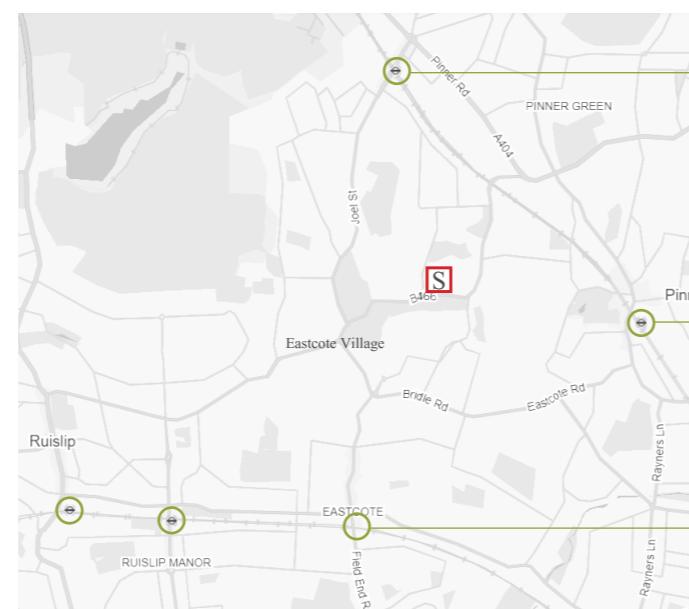


Eastcote Bus Route Map

LAND AT RUSHMOOR CLOSE PINNER, HA5 2HF



Eastcote Bus Route Map



Local TFL Underground Stations

Northwood Hills Station

Pinner Station

Eastcote Station

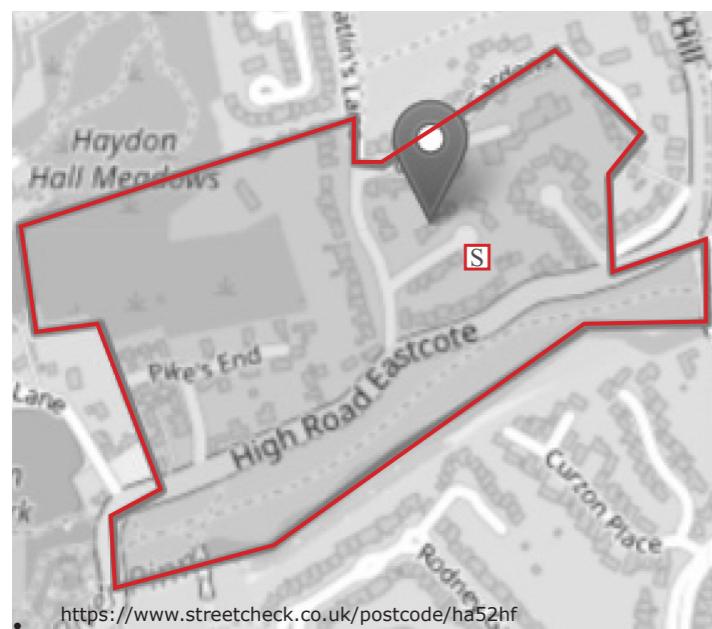


CONTEXT & SETTING

DEMOGRAPHIC INFORMATION

The information on housing, people, culture, employment and education that is displayed about Rushmoor Close, Pinner, HA5 2HF is based on the last census performed in the UK in 2021. They are performed once every 10 years. Our website shows 2021 data for England, Wales and Northern Ireland. For Scotland, 2022 data is shown (the Scottish census was performed a year later than the rest of the UK). Please note: census information may include figures for adjacent streets and postcodes. The figures are therefore representative of the local area, not a specific street address or row of houses. The census collection is designed so that each group of postcodes should contain at least 100 people (50 in Scotland). This is done to preserve the anonymity of the people in that area, as some postcodes cover a very small area, sometimes a single building. You can see the area covered by the census statistics by clicking “Show Census Area Covered” below the map above.

KEY PLAN

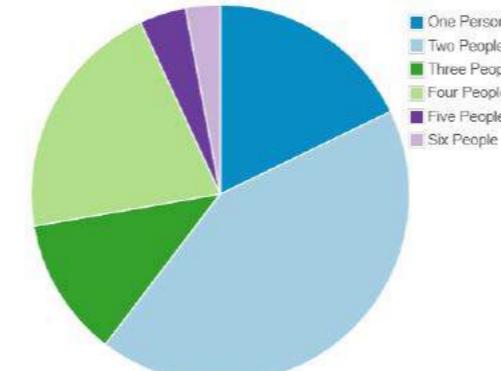


S Site - Rushmoor Close Pinner, HA5 2HF

C Covered Area

Housing Occupancy

One Person	18
Two People	43
Three People	12
Four People	21
Five People	4
Six People	3
Seven People	0
8+ People	0
Total	101



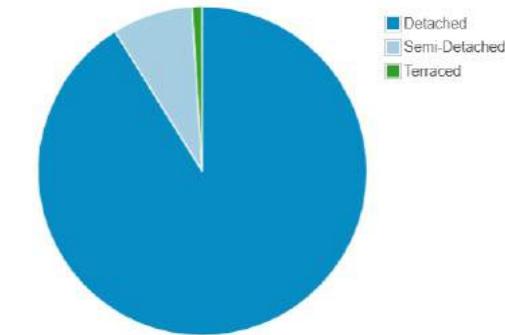
Housing Types

The area containing Rushmoor Close, Pinner consists predominantly of detached housing, a strong indicator of affluence. Please note that the figures may include adjacent streets - see the Summary tab for an explanation and map of the area that these figures cover.

Housing Types

Detached	92
Semi-Detached	8
Terraced	1
Flat (Purpose-Built)	0
Flat (Converted)	0
Total	101

Are these numbers higher than you expected? Click here for explanation.

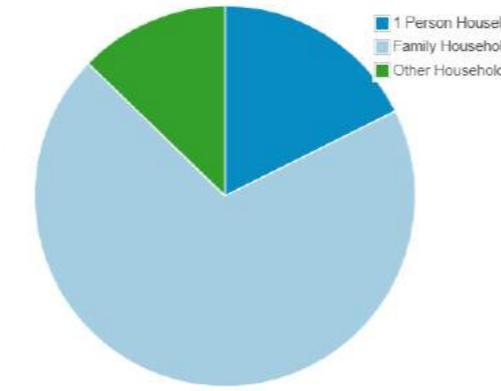


Household Composition

The area containing Rushmoor Close, Pinner consists predominantly of single-family households, which is more common in suburban areas.

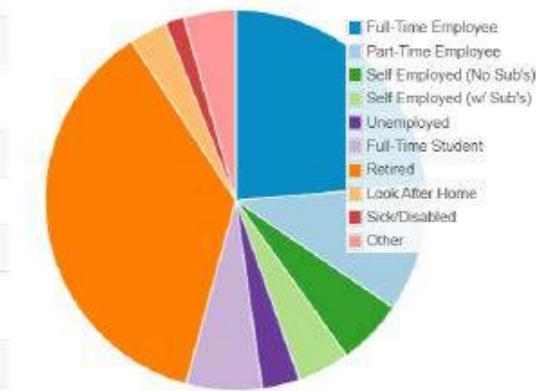
Household Composition

1 Person Household	18
Family Household	71
Other Household	13
Total	102



Economic Activity

Full-Time Employee	59
Part-Time Employee (defined as 30 hours or less per week)	27
Self Employed (No Subordinates)	14
Self Employed (With Subordinates)	11
Unemployed	8
Full-Time Student (with or without job)	16
Retired	91
Looking After Home or Family	8
Long-Term Sick or Disabled	4
Other	11
Total	249



CONTEXT & SETTING

RELEVANT PLANNING POLICIES

The following planning policies establish the guidelines set by National, London, and Local authorities, which have informed the development of this project.

National Planning Policy Framework

The most recent version of the National Planning Policy Framework (NPPF) was published in December 2024. The NPPF sets out the Government's planning policies for England and how these are expected to be applied; it is a material consideration in planning decisions.

f) "recognise that residential development often plays an important role in ensuring the vitality of centres and encourage residential development on appropriate sites."

125.b) "recognise that some undeveloped land can perform many functions, such as for wildlife, recreation, flood risk mitigation, cooling/shading, carbon storage or food production"

125.c) "give substantial weight to the value of using suitable brownfield land within settlements for homes and other identified needs, proposals for which should be approved unless substantial harm would be caused, and support appropriate opportunities to remediate despoiled, degraded, derelict, contaminated or unstable land;"

130.a) "plans should contain policies to optimise the use of land in their area and meet as much of the identified need for housing as possible. This will be tested robustly at examination, and should include the use of minimum density standards for city and town centres and other locations that are well served by public transport. These standards should seek a significant uplift in the average density of residential development within these areas, unless it can be shown that there are strong reasons why this would be inappropriate"

135.c) "are sympathetic to local character and history, including the surrounding built environment and landscape setting, while not preventing or discouraging appropriate innovation or change (such as increased densities)"

London Plan (2021)

Regional planning policy for London is contained within the March 2021 London Plan which sets out planning policy for the capital for

the next 20-25 years, integrating social, economic and environmental policy. The underlying objective is to accommodate London's population and economic growth through sustainable development. The following designation in London Plan (2021) is relevant to the application site:

"Policy H2 Small sites": "A Boroughs should pro-actively support well-designed new homes on small sites (below 0.25 hectares in size) through both planning decisions and plan-making in order to: "

- "support small and medium-sized housebuilders"
- "achieve the minimum 10 year targets for small sites" in "Hillingdon: 2,950"

Policy H4 Delivering affordable housing: "Boroughs may also require affordable housing contributions from minor housing development in accordance with Policy H2 Small sites"

Future of London (2050), Delivering Infill Development:

"New entrants can also lead to innovation in the market, as is the case with Pocket Living. Pocket delivers infill homes that are at least 20% cheaper than the local market rate by challenging conventional private sale developments parameters. While 500sq ft had typically been the minimum space standard accepted by councils for new one-bedroom homes, Pocket's highly-designed plans succeeded in winning mayoral backing for a 400sq ft minimum. Pocket has had further public sector support: to help it build up to 4000 homes over 10 years."

Hillingdon Local Plan

The *Hillingdon Local Plan (Part 1)* Strategic Policies was adopted in November 2012 and is the key strategic planning document for Hillingdon. It sets out a long-term spatial vision and objectives for the Borough, what is planned to happen, where and how it will be achieved. The *Hillingdon Local Plan (Part 2)* is made up of the Development Management Policies, this Site Allocations and Designations document and an Atlas of Changes to the existing Policies Map. Together with the Local Plan Part 1, these documents make up the Local Plan for Hillingdon, replacing all saved policies of the Unitary Development Plan (September 2007).

Design and Density

6.23 "High quality design for new homes will continue to be a priority

for the Council and the type of dwellings provided should reflect housing needs identified in the borough, particularly the need to provide more family homes with adequate garden space. Further policy guidance on the type of dwellings required in Hillingdon will be contained in the Hillingdon Local Plan: Part 2- Development Management Policies LDD. The density of residential development should take account of the need to optimise the potential of sites compatible with local and historic context, while respecting the quality, character and amenity of surrounding uses. The density and design of residential development will be addressed through the provision of appropriate policies in the emerging Hillingdon Local Plan: Part 2-Development Management Policies LDD."

Affordable Housing

6.25 "Increasing the supply of affordable housing (37) is a key priority for this Hillingdon Local Plan: Part 1- Strategic Policies and the Council as a whole. Subject to other planning considerations, measures that increase the supply of affordable housing will be supported. The Council's policy on affordable housing is guided by evidence of housing needs in the borough and the provisions of the current London Plan (2011). The Council's HMA recommends that 50% of net new housing provision (supply from all sources) should be affordable housing and that 22% of the total net requirement is for intermediate housing."

6.31 "Affordable housing achieved across the borough should reflect the distinct needs of different sections of the community. It should include provision for older people and for other groups in need of supported housing, specifically people with mental health needs and people with physical and sensory disabilities or learning difficulties. The council's aim is to maximise independence and provide self-contained accommodation with appropriate support."

6.32 "The type and size of dwellings that are delivered will be as important as the overall number of units. The HMA indicates that 70% of net need for affordable housing is for two and three bed accommodation, more than a fifth is for four bed accommodation and almost 7% is for one bedroom accommodation. The need relative to supply is greatest for larger"

SO1: "Conserve and enhance the borough's heritage and their settings by ensuring new development, including changes to the public realm, are of high quality design, appropriate to the

significance of the heritage asset, and seek to maintain and enhance the contribution of built, landscaped and buried heritage to London's environmental quality, cultural identity and economy as part of managing London's ability to accommodate change and regeneration."

BE1: "The Council will require all new development to improve and maintain the quality of the built environment in order to create successful and sustainable neighbourhoods, where people enjoy living and working and that serve the long-term needs of all residents. All new developments should:

1. Achieve a high quality of design in all new buildings, alterations, extensions and the public realm which enhances the local distinctiveness of the area, contributes to community cohesion and a sense of place;
2. Be designed to be appropriate to the identity and context of Hillingdon's buildings, townscapes, landscapes and views, and make a positive contribution to the local area in terms of layout, form, scale and materials and seek to protect the amenity of surrounding land and buildings, particularly residential properties;
3. Be designed to include "Lifetime Homes" principles so that they can be readily adapted to meet the needs of those with disabilities and the elderly, 10% of these should be wheelchair accessible or easily adaptable to wheelchair accessibility encouraging places of work and leisure, streets, neighbourhoods, parks and open spaces..."

"The height of all buildings should be based upon an understanding of the local character and be appropriate to the positive qualities of the surrounding townscape." pg 83 London Borough of Hillingdon

9. Promoting new development to contribute to the upgrading of existing housing stock where appropriate.

12. Giving preference to development of previously developed land to avoid the loss of further green areas.



PART II | RELEVANT PLANNING APPLICATIONS



RELEVANT PLANNING APPLICATIONS

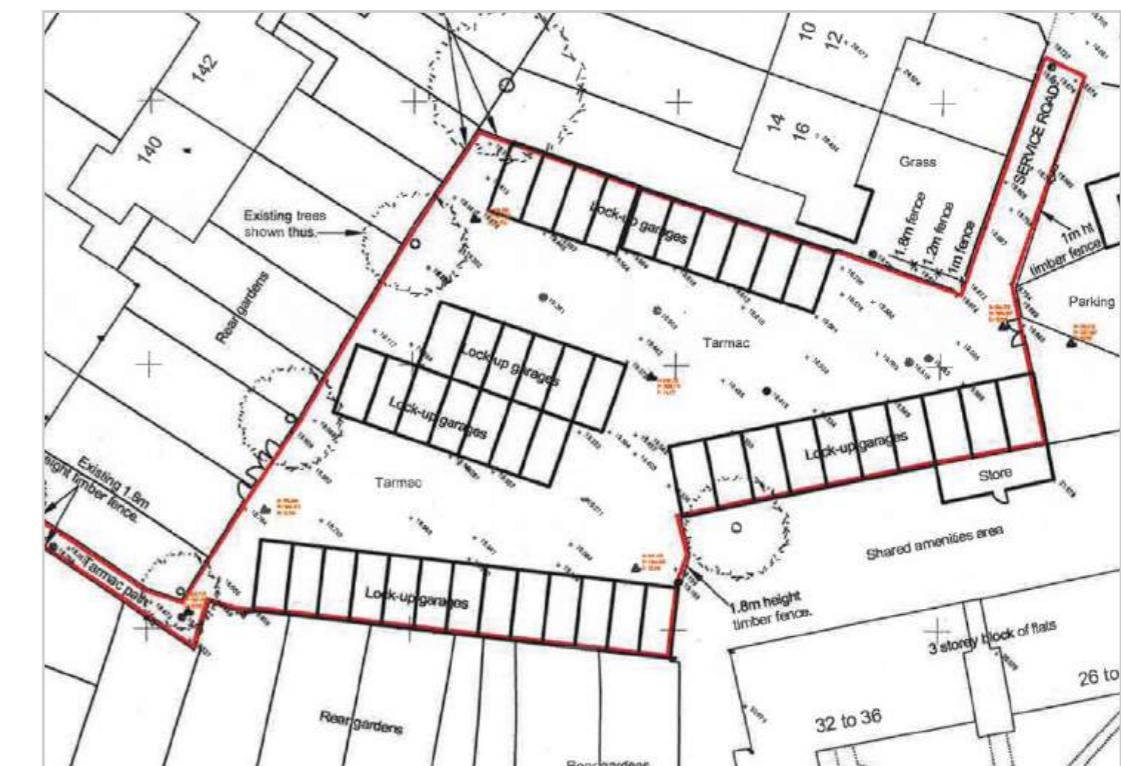
PLANNING APPLICATION - 73231/APP/2017/3665

Description: Demolition of existing garage blocks and construction of a terrace of 5 x two-storey 4-bedroom dwellings with additional rooms in roof space and 11 x car parking spaces provided on former garage plot.

Address: Former Garage Site Off Malmesbury Close Pinner HA5 2NG

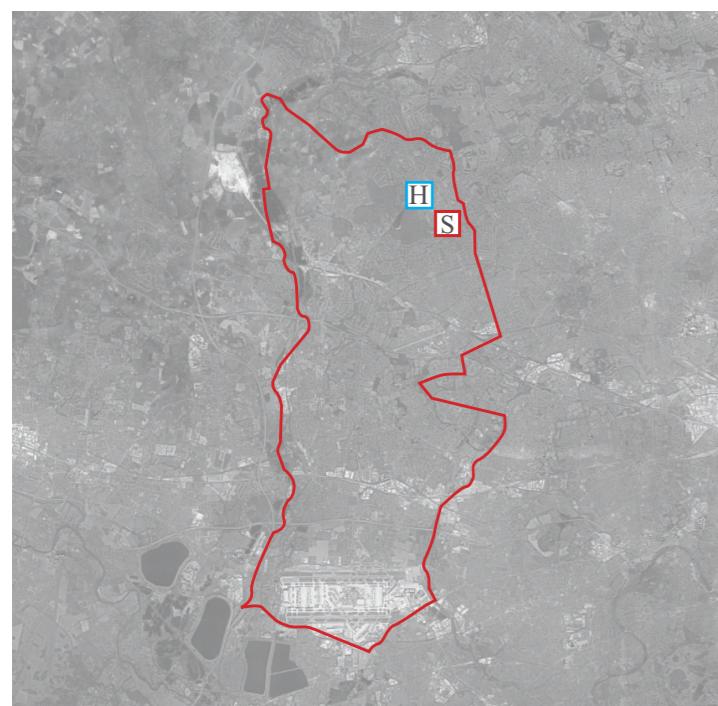
Planning Reference: 73231/APP/2017/3665

Status: Approved



Existing Site Plan

KEY PLAN



H Malmesbury Close Pinner HA5 2NG

S 'Site' - Rushmoor Close Pinner, HA5 2HF

 London Borough of Hillingdon



Proposed Elevations



Proposed Site Plan

RELEVANT PLANNING APPLICATIONS

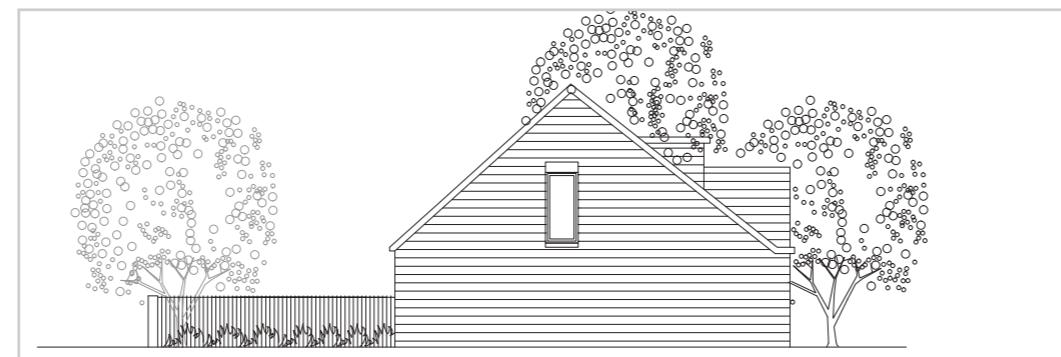
PLANNING APPLICATION - 75530/APP/2022/485

Description: Erection of a 2-bedroom 4 person dormer bungalow with associated car parking and landscaping

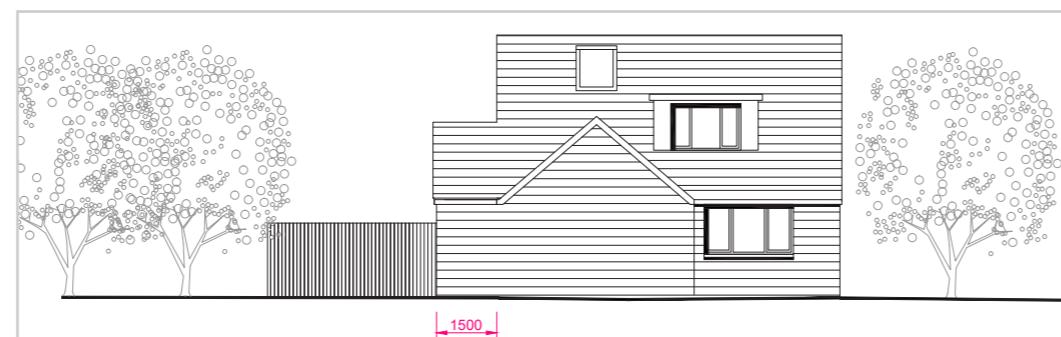
Address: Garage Site Adj 9 And 10 Fairacre Malmesbury Close Pinner

Planning Reference: 75530/APP/2022/485

Status: Approved



Proposed North Elevation

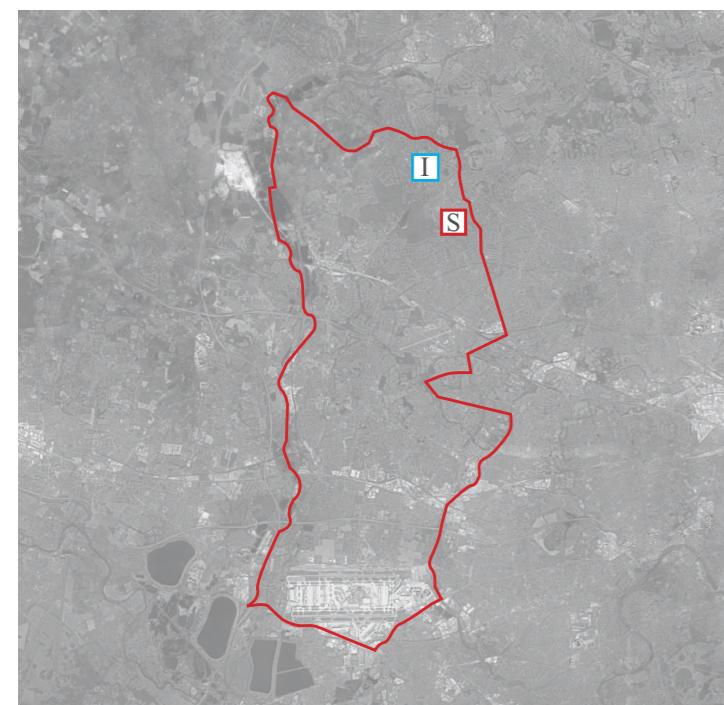


Proposed East Elevation



Existing Site Plan

KEY PLAN



I 9 And 10 Fairacre Malmesbury Close Pinner

S 'Site' - Rushmoor Close Pinner, HA5 2HF

LB London Borough of Hillingdon



Proposed South Elevation



Proposed West (Front) Elevation



Proposed Site Plan

RELEVANT PLANNING APPLICATIONS

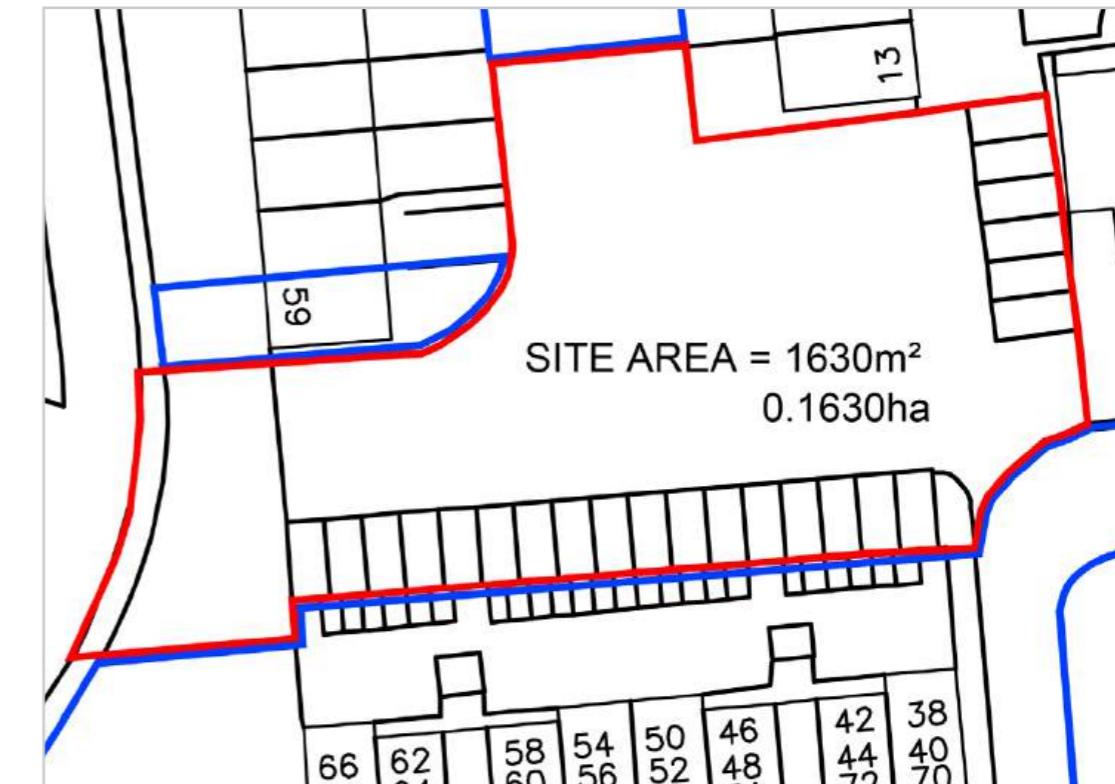
PLANNING APPLICATION - 74342/APP/2018/4084

Description: Demolition of existing garages and construction of 1 x one bedroom attached bungalow, 2 x two storey (with rooms in the roof space), four bedroom dwellings and 4 x two storey, three bedroom dwellings, with associated parking and landscaping

Address: Former Garages Site A Rear Of 38-84 Coleridge Way West Drayton UB4 9HR

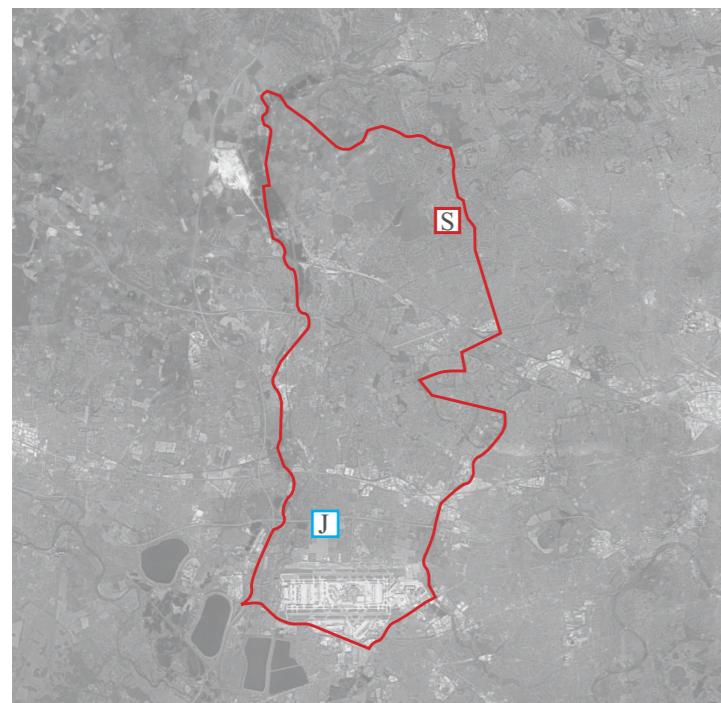
Planning Reference: 74342/APP/2018/4084

Status: Approved



Existing Site Plan

KEY PLAN



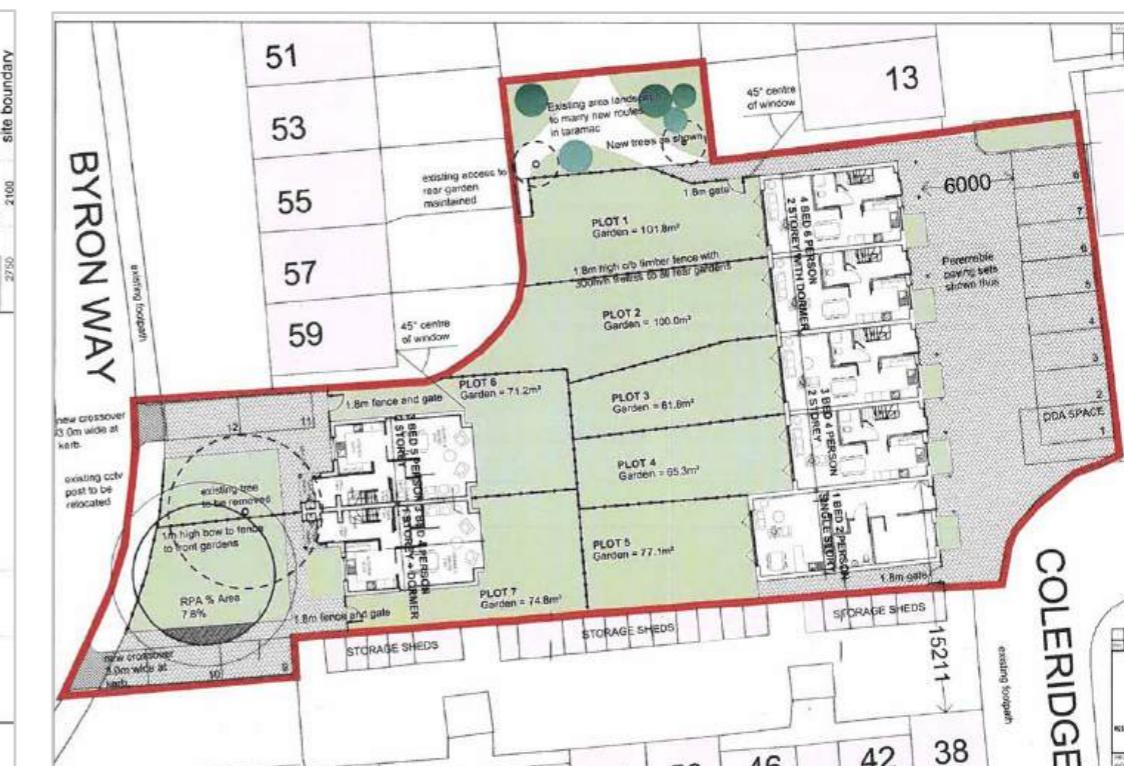
J 38-84 Coleridge Way West Drayton UB4 9HR

S ‘Site’ - Rushmoor Close Pinner, HA5 2HF

London Borough of Hillingdon



Proposed Elevations



Proposed Site Plan

RELEVANT PLANNING APPLICATIONS

PLANNING APPLICATION - 72704/APP/2017/1068

Description: Proposed demolition of the existing garage blocks and erection of 6 houses with rear dormers, parking spaces, all associated external works and changes to the front and rear gardens of 13 Nelson Road to widen the existing access.

Address: Former Garage Site R/O 6-16 Nelson Road
Hillingdon

Planning Reference: 72704/APP/2017/1068

Status: Approved

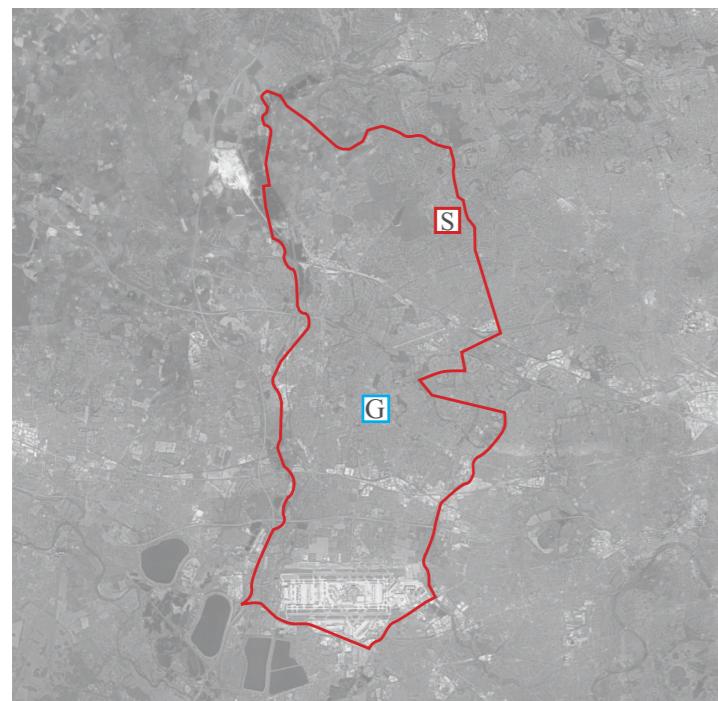


Proposed Front Elevations - Block A



Proposed Rear Elevations - Block A

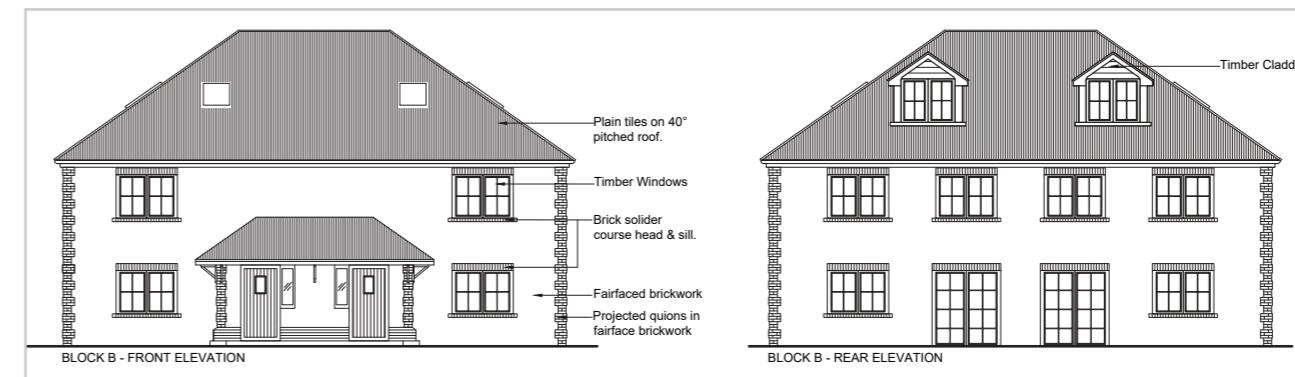
KEY PLAN



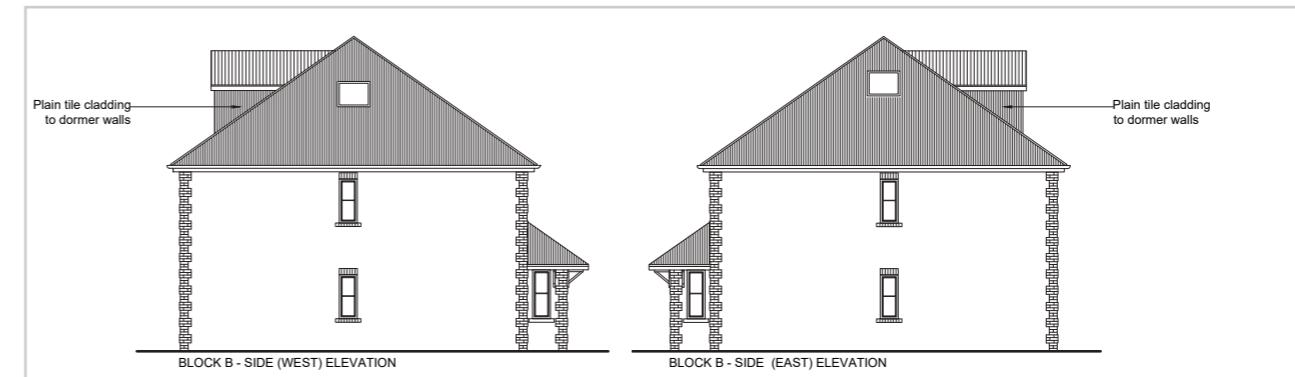
G 6-16 Nelson Road Hillingdon

S 'Site' - Rushmoor Close Pinner, HA5 2HF

L London Borough of Hillingdon



Proposed Front & Rear Elevations - Block B



Proposed Side Elevations - Block B

PART III | SITE ANALYSIS



SITE ANALYSIS

LOCATION & ORIENTATION

The adjacent diagram illustrated site analysis and key aspects required for consideration.

 Site Boundary

 Site Access

 Rushmoor Close & High Road Eastcote, potential noise & pollution affecting the proposal

 Neighbouring Building - 10 & 11 Rushmoor Close Eastcote Pinner - Historically approved planning application ref. 42564/88/2196 - 'Erection of 2 two-bedroom detached dwellings with integral garages'.

 Neighbouring Building - 1 Rushmoor Close Eastcote Pinner - Historically approved planning application ref. 29818/81/0088 - 'Residential development, Housing (Full) (P)'.

 Neighbouring Building - 1A Rushmoor Close Eastcote Pinner - Historically approved planning application ref. 33986/84/1923 - 'Residential development-1 units (Full) (P)'.

 Sunpath Orientation

 Eastcote Village Conservation Area

 Metropolitan Open Land



SITE ANALYSIS.

DRAWING no. 0700 1:500@A3

0 2.5 5 10 15 25m



LAND AT RUSHMOOR CLOSE PINNER. HAS 2HF

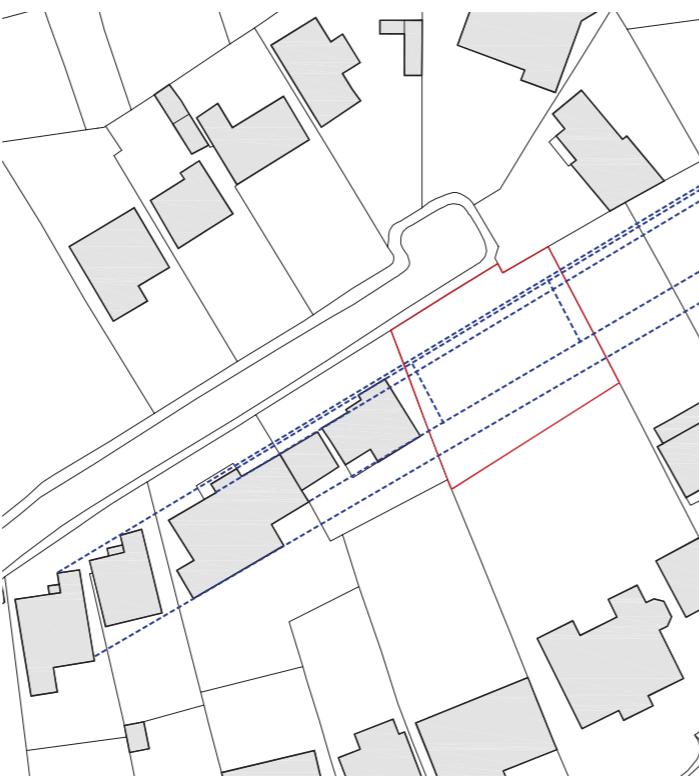


SITE ANALYSIS

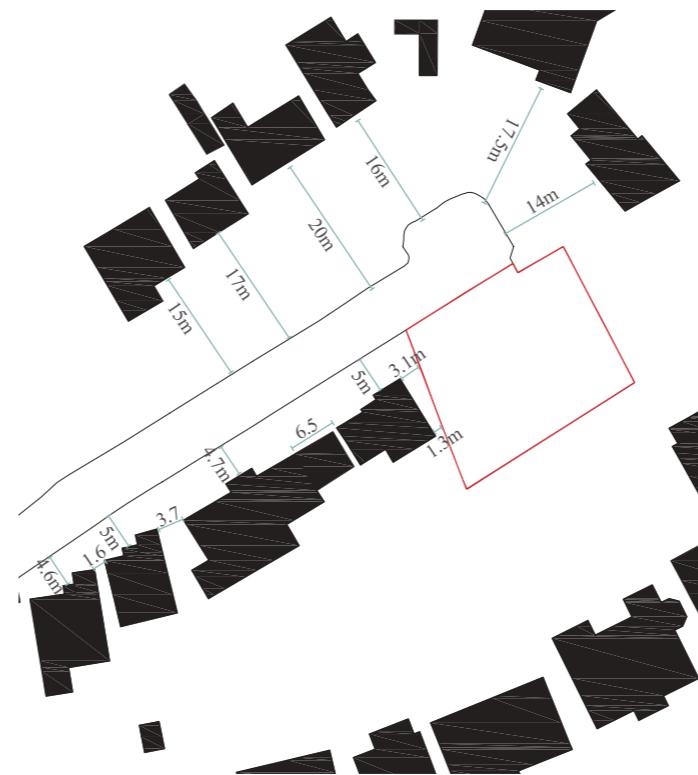
FIGURE GROUND & SPATIAL RELATIONSHIPS

The adjacent diagrams illustrate site analysis in relation to the neighbouring properties and existing datums. These have been used to establish a perimeter area for development. From this area, outline massing proposals can be situated within the perimeter, to form the basis of the building outlines. Four massing scenarios are shown below, with the third option (highlighted by the blue dashed box) being the scenario that was further developed into the final proposal.

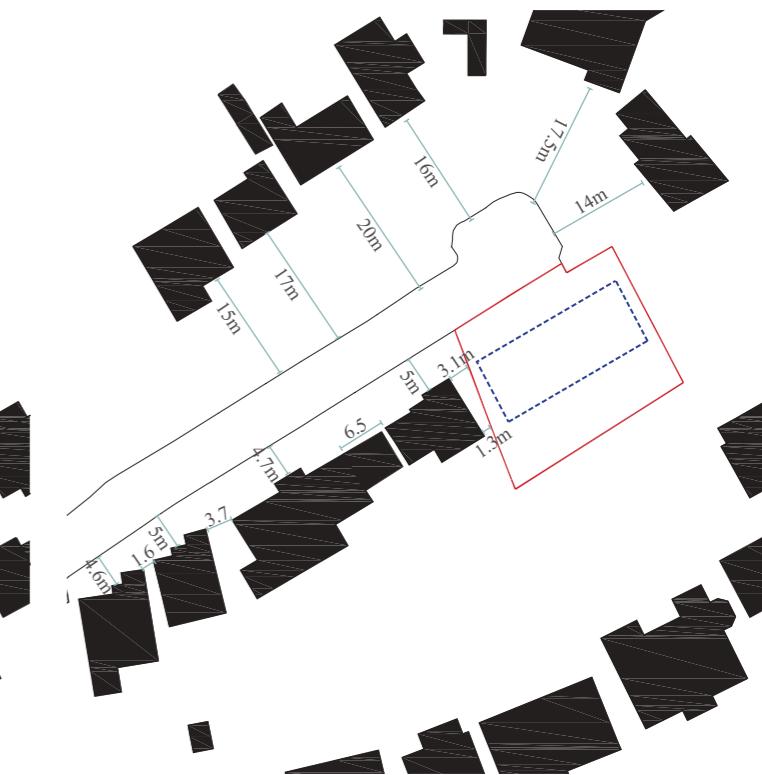
 Site Boundary
 Building Mass Proposals



1. Existing building and boundary lines.



2. Key distances between existing dwellings, to the edge of pavement and from the neighbouring property line.



3. Establishing a perimeter area for development, from the figure ground analysis.



4. Massing option 1, within the perimeter area.



4. Massing option 2, within the perimeter area.



4. Massing option 3, within the perimeter area.



4. Massing option 4, within the perimeter area.

CONTEXT & SETTING

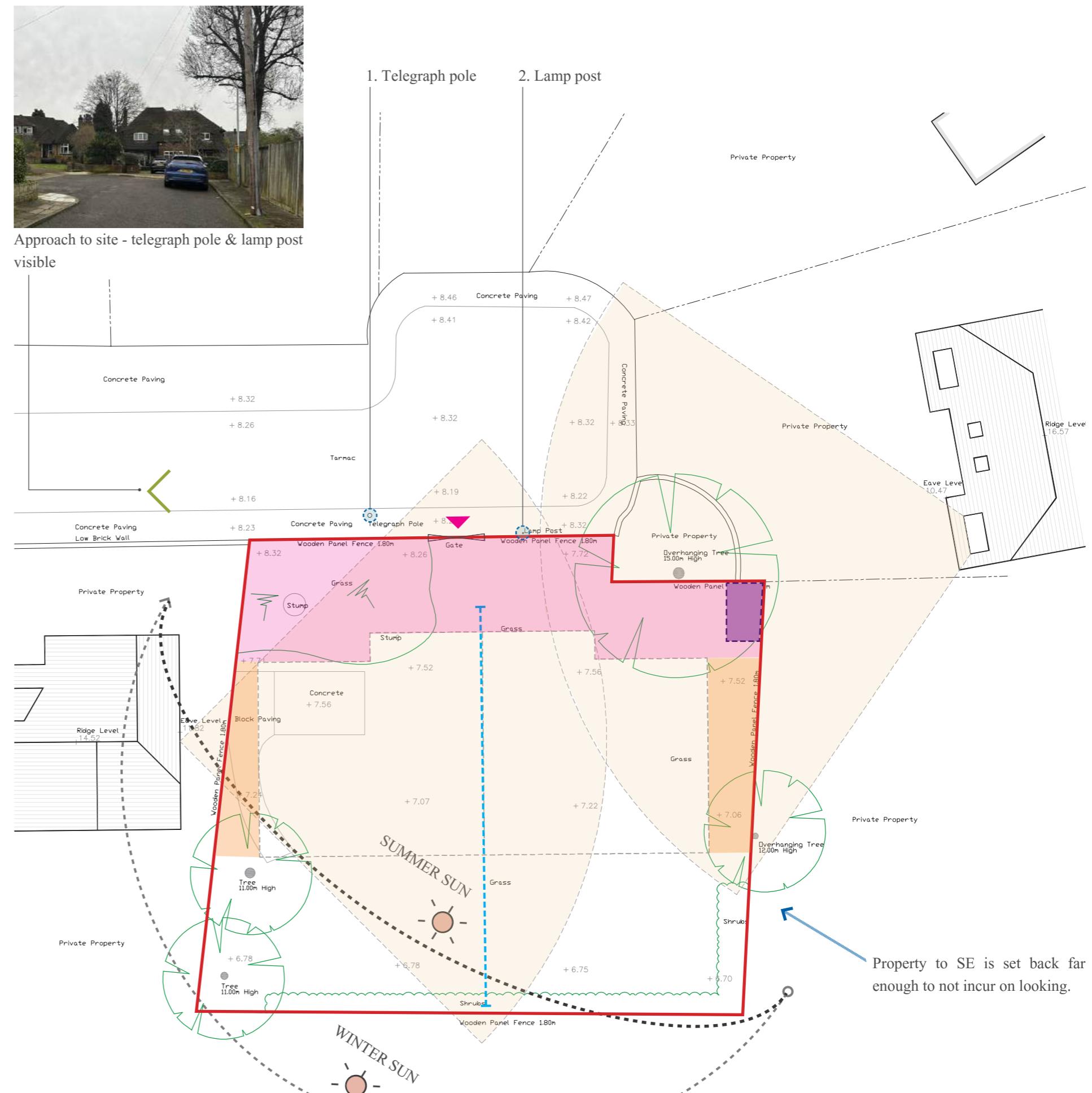
SITE CONSTRAINTS & OPPORTUNITIES

The adjacent diagram illustrates key site constraints taken into consideration when designing the proposal. It informs usability, site access, building orientation, room layouts, building footprint and other key design elements. It also highlights the existing opportunities of the site and its surrounding setting, which can be utilised into design opportunities.

Note: The whole site sits within Eastcote Village Conservation Area.

- Site Boundary
- ▶ Current site access gate - central dual accessway to be retained
- Shared driveway to maximise space.
- Sunpath Orientation
- Communal council built elements
- Trees - arboricultural survey will be required to assess the impact of tree roots and the tree value.
- Potential on-looking from neighbouring properties, to a 20m radius.
- Provisional dwelling outlines
- Side access connecting gardens or a utility room.
- Potential to mirror dwellinghouses and the rear landscape.
- Area for bin/ bike storage - away from streetscape view.

SITE ANALYSIS. 1:200@A3



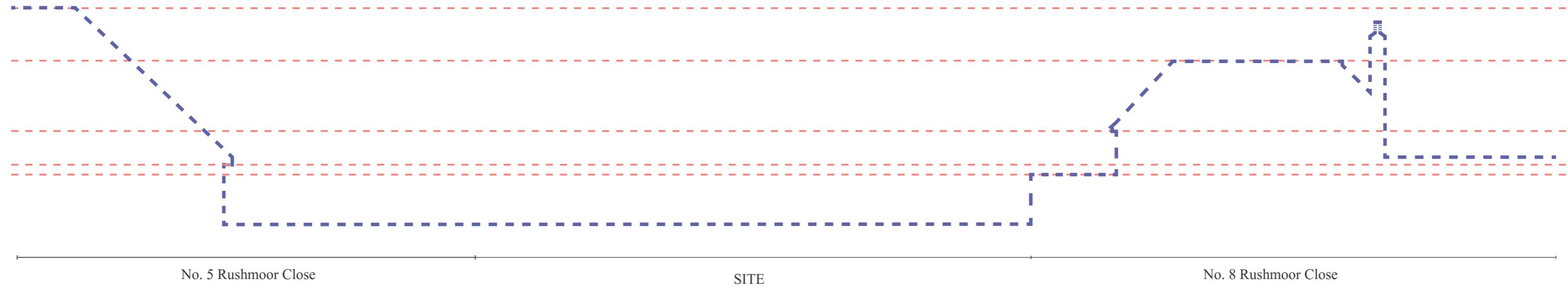
CONTEXT & SETTING

SITE CONSTRAINTS & OPPORTUNITIES

The following analysis identifies current datum lines of the neighbouring streetscape properties, comparing the differences in roof and feature line heights.

The diagram illustrates how there is an opportunity for the proposal site to form an intermediate datum massing line between the existing properties.

- Datum lines
- Building outlines



Existing streetscape datums

PART IV | CONCEPT



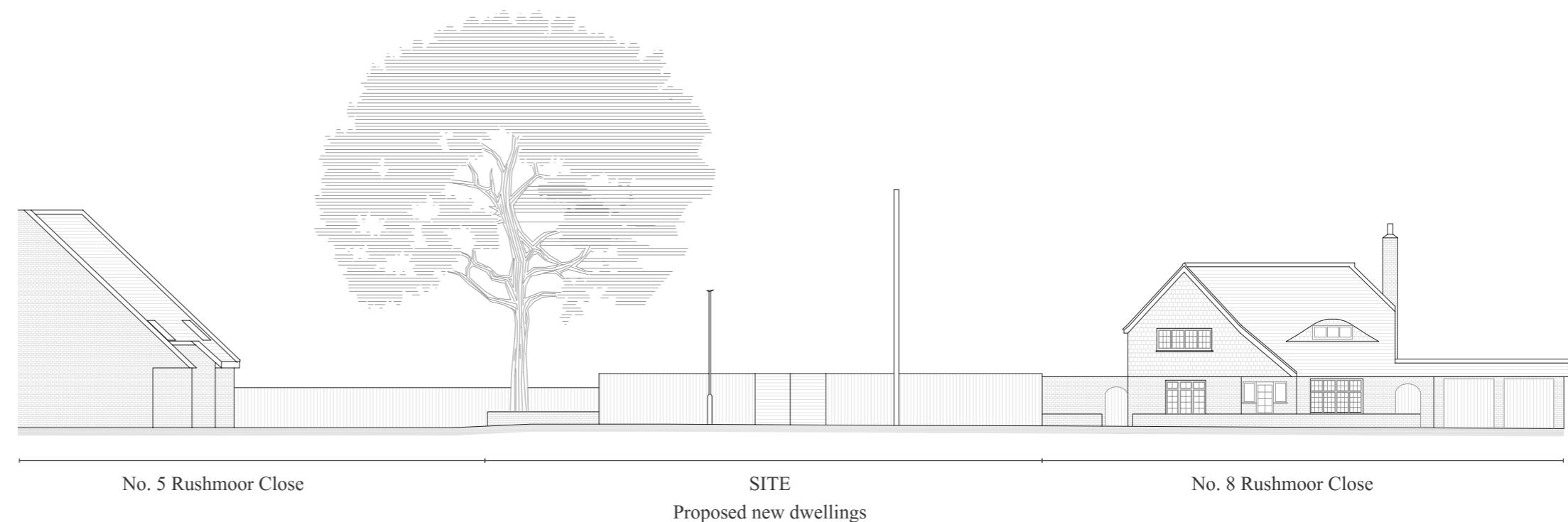
C O N C E P T

S U M M A R Y

The proposal provides two new, semi-detached dwellings, each consisting of two-storeys and four bedrooms, symmetrical in design. Each dwelling has triple-aspect outlooks, with front and rear gardens and a connecting side passage. The dwellings will have a shared access driveway for vehicular parking, with separate pedestrian pathways leading to the front doors. Private gardens are provided for each property to the rear.

The external appearance of the properties will be in fitting with the style of the local vicinity, much of which is characterised by 1930s Arts & Crafts style dwellings. The design takes inspiration from the local Arts & Crafts style architecture and is informed by neighbouring ridge heights, roof shapes, window proportions, sill heights, materials and datums.

The proposal will benefit from sustainable and energy credentials through specifying improved industry insulatory products to new external walls and roof, through the fitting of double glazed windows and doors, through the installation of photovoltaic panels on the rear pitched roof and through the planting of hedgerow, greenery and flowers.



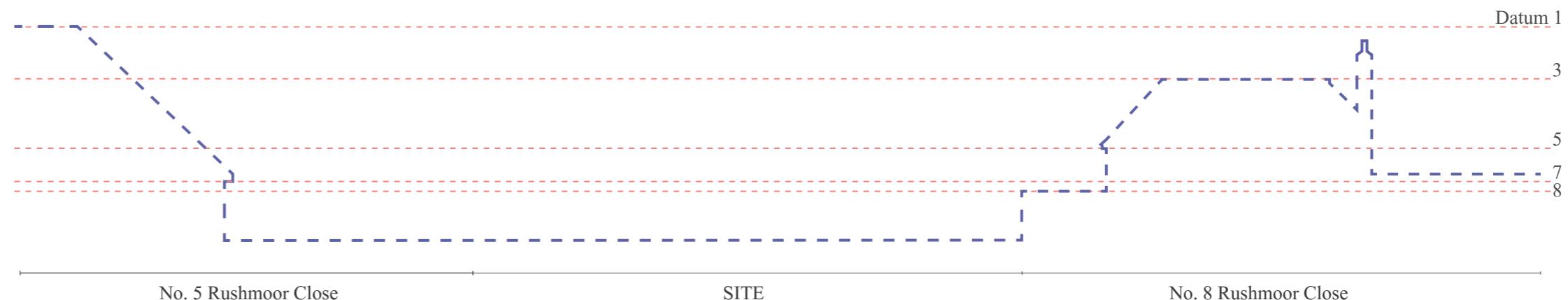
CONCEPT

ELEVATION STREETSCAPE ANALYSIS

The following analysis identifies current datum lines of the neighbouring streetscape properties, comparing the differences in roof and feature line heights. The diagrams show how the new proposal uses the existing masses as a basis from which intermediate proportions between the two properties have been carried through to inform the proportions of the new dwelling.

The proposed mass is lower than the overall prevailing building height of No. 5 Rushmoor Close, but taller than that of No.8, thereby bridging the gap between the two properties into a more seamless transition.

The principle facades of the new dwelling will be read in conjunction with No.8 Rushmoor Close more so than No.5, as the site lies parallel to this building. Therefore, the proposal takes cues from key datums of the elevation to No.5 to inform certain feature lines of the new facades. For example, the roofline of No. 5 (datum 3) and the eaves line (datum 5) inform the roof heights of the dormer windows and the eaves line to the gables of the new proposal.



Combined existing streetscape + proposal datums

CONCEPT

FAÇADE STUDY

The following reflects the proposed finished elevation of the two new, semi-detached, dwellings. After refining the internal layouts, we had established an understanding as to the rough location of openings. We developed this in elevation, taking into consideration to relationship between Ground and First floor and the size and proportion of openings in relation to one another and the internal spaces.

Much of the local vicinity is characterised by 1930s Arts & Crafts style dwellings. These properties reflect typical Arts & Crafts style architectural features, such as:

- Dominant gables
- Hipped roofs
- Clay hung tiles
- Sprocketed Eaves
- Hipped end gables
- Tall chimneys
- Symmetrical elements
- Transom window ratios
- Dormer windows with projecting gable/ hipped roofs
- Extended roofs to form entrance porches

The adjacent facade study reflects how the design takes inspiration from the local Arts & Crafts style of architecture and how it is informed by neighbouring ridge heights, roof shapes, window proportions, sill heights, materials and datums.

Traditional slate tile roofs, with curved ridge tiles are introduced to match the neighbouring buildings in Rushmoor close. Hipped roofs to the side elevation follow the same pitch line as the principle gable roofs and are a prominent feature in the Close. Dormer windows are introduced into the roof to alleviate the steep pitch line in the first floor rooms. These will have clay hung elevations to match the material palette of the projecting roof and the gable form mirrors that of the main gable walls. The projecting roof line extends to form a porch, supported with a timber post and brick footing, seen elsewhere in the street and typical Arts & Craft style dwellings. The dominant gables form the basis from which all pitch lines follow and the gable eaves continues on from the same datum line as the neighbouring property at No. 5 Rushmore Close. The walls will be constructed from matching red tone bricks in stretcher bond and vertical brick headers will adorn all openings. The surrounding properties contain uPVC casement windows, predominantly white in colour, and a mix of timber/ uPVC doors with glazed vision panels.

1. Principle gable wall.
2. Stretcher bond brickwork with lime mortar.
3. Clay roof with hipped tiles.
4. Clay ridge tiles.
5. Gable pitched dormer windows with clay hung tiles.
6. Solider brickwork window headers.
7. Timber posts to support projecting porch above.
8. Brickwork post footings in stretcher bond brickwork to match elevations.
9. Timber fascias.
10. Black rainwater hopper.
11. Black rainwater goods to be circular profile with authentic bracketry.
12. White uPVC casement, double glazed windows, with glazing bar divides to match existing streetscape proportions.
13. White uPVC window cills.
14. Black timber door with double glazed pane openings, proportions to match adjacent windows.
15. Hipped roof to side elevations.



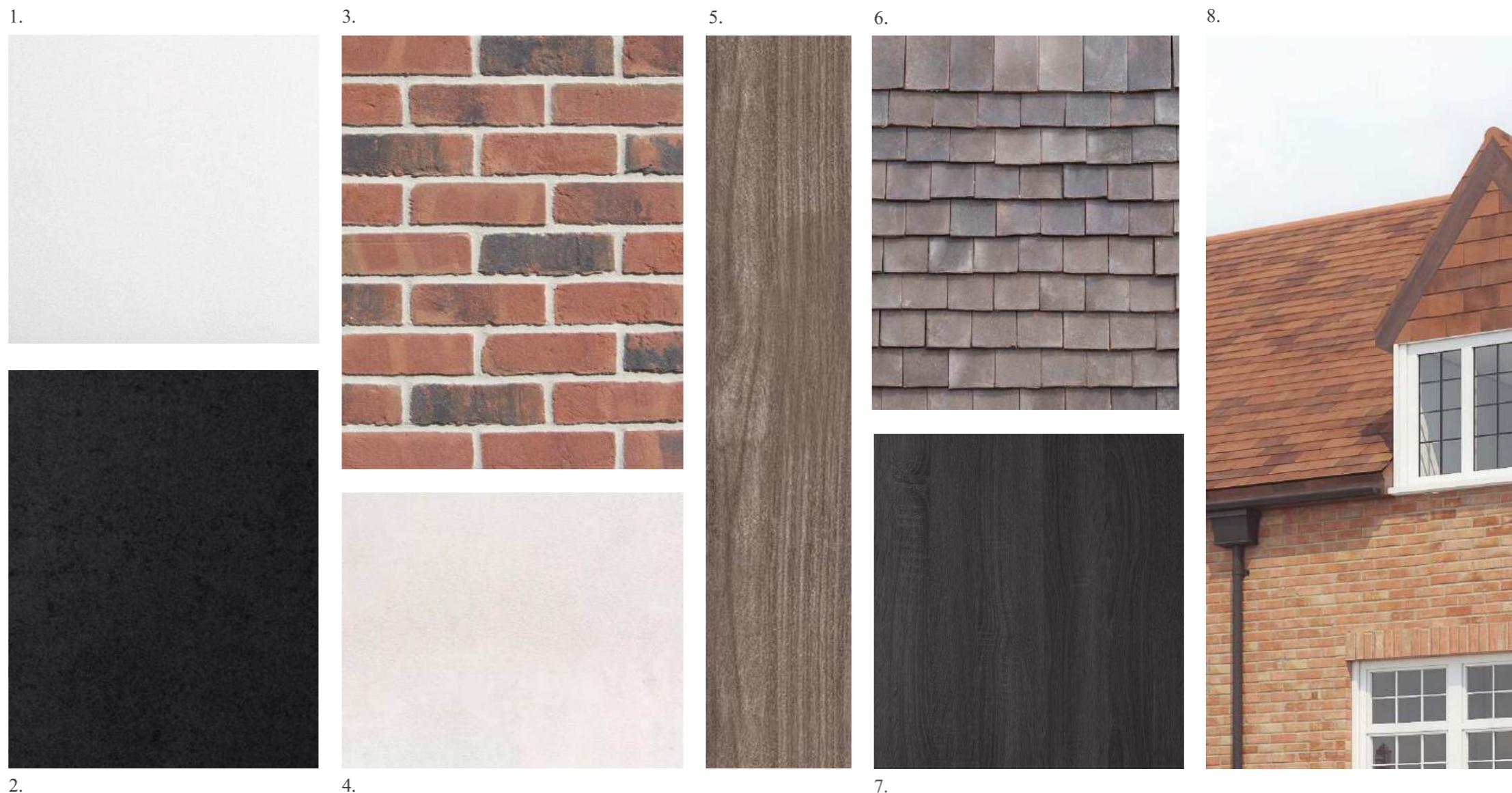
Principle Façade Study,
(reflecting one dwelling but mirrored for both facades)
Scale 1:100

CONCEPT

MATERIAL PALETTE

The following sets out the proposed material palette for the building and is explained in more detail in the facade study on the previous page.

1. White uPVC casement windows and cills.
2. Black aluminium rainwater goods.
3. Red/brown multistock brickwork in stretcher bond.
4. White/ cream stone wall profiles and paving.
5. Timber fascias and posts.
6. Clay tiles to roofs and hung tiles to dormer window faces.
7. Black painted timber door.
8. Combination of proposed materials.



CONCEPT

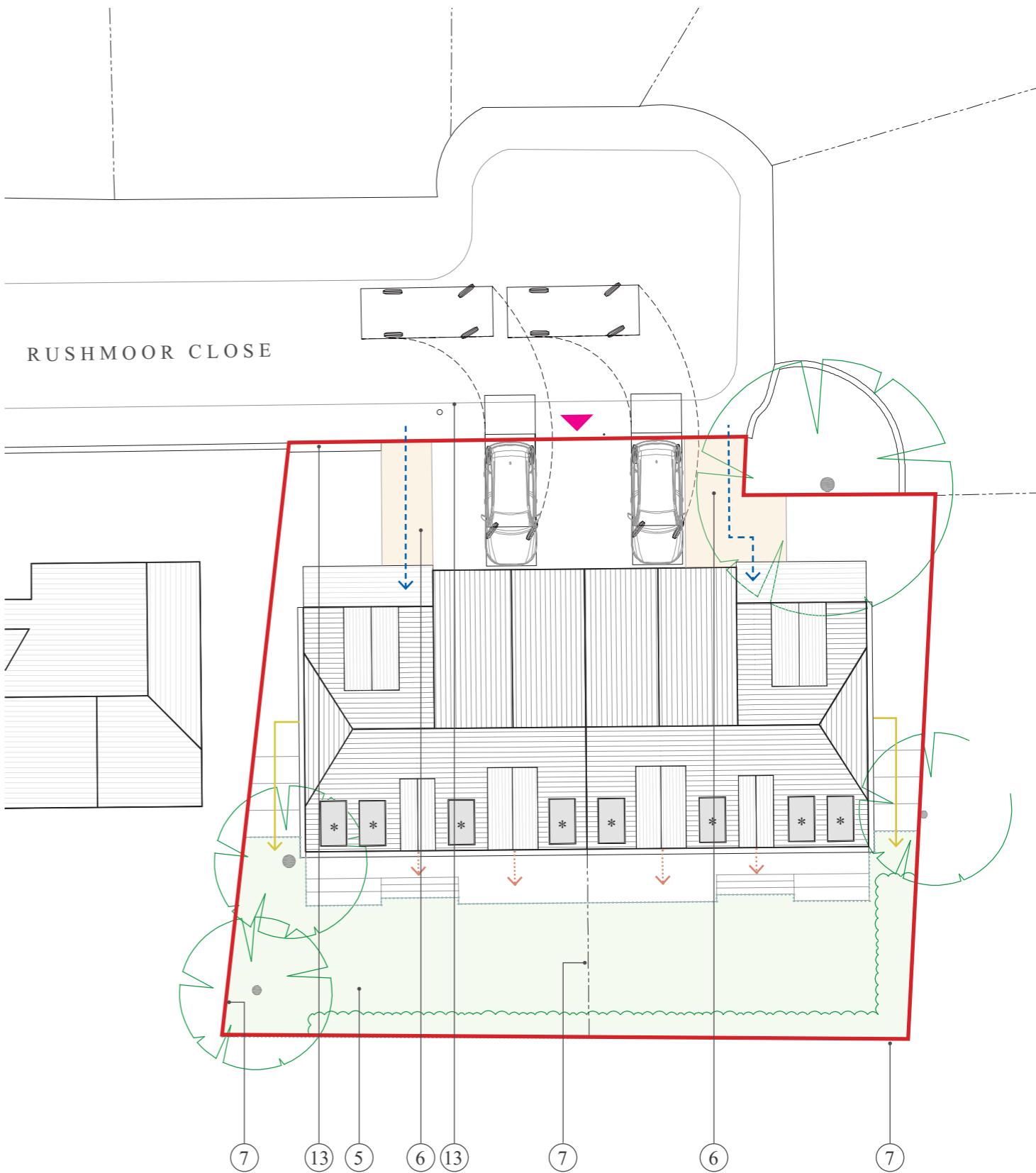
SUSTAINABILITY, ENERGY & ACCESSIBILITY

The proposed works include the introduction of various sustainability, energy and accessibility considerations listed below. The adjacent diagram illustrates the proposed site plan, highlighting the access routes and car parking turn paths for the properties.

1. The performance of the new building fabric and services will achieve good overall standards of energy efficiency in line with Building Regulations.
2. High performance insulation to walls, floor and roofs will achieve thermal values that meet/ exceed the minimum requirements for Building Regulations.
3. Heat loss via non-repeating thermal bridging within all building elements will be minimised by the use of Accredited Construction Details where possible.
4. Photovoltaic panels (*) introduced to the rear pitched roofs (South facing), creating a sustainable source of energy that will serve the new dwellings.
5. Existing area of grass/ mixed planting to the rear of the site to be maintained and improved through increased planting, comprised of new plants, flowers and hedgerows, to form new rear garden areas.
6. Existing area of overgrown grass/ planting to the front of the site to be cleared and replaced with a mix of paving/ planting to form new driveway access. Separate pathway created for pedestrian access.
7. Existing fencing to boundary lines to be maintained, with any damaged panels to be fixed and upgraded where necessary. New fencing installed as a privacy screen between the two dwellings at the rear.
8. Materials- High Green Guide ratings will be achieved where possible and materials will be assessed for suitability with regards to Whole Life Carbon Costs.
9. The use of recycled products will be pursued wherever feasible and the use of other low embodied energy products will be further investigated.
10. Responsible sourcing will be pursued. All timber used on site during the construction phase and within the building will be from FSC sources or equivalent. Other materials, including insulation, will be sourced from manufacturers who employ environmental management systems such as ISO 14001 or BES 6001. Where possible, materials will be sourced locally. Non-toxic materials will be used wherever possible, including the specification of products with low VOC content in line with European testing standards.
11. The construction site will be managed in such a way that the environmental impact is minimised. This includes following best practice policies for dust pollution by using dust sheets, covering skips and damping down where appropriate. The contractor will register the project on the Considerate Constructors Scheme and adhere to its requirements throughout the entirety of the build. All plant and equipment installed in the building will be appropriately sized and selected for efficiency in order to reduce greenhouse gas emissions. All equipment will be frequently maintained to ensure it continues to run efficiently and cleanly. Site working hours will be managed to mitigate the possibility of causing a nuisance to the surrounding properties.
12. A construction site resource management plan will be developed and implemented to ensure that construction site waste is effectively reduced and recycled. Material ordering control and modern construction methods will be employed to minimise the potential for waste on site. Waste will either be segregated on site into at least 5 different streams for recycling or collected, sorted and recycled by an external recycling contractor. Re-use of construction waste will also be encouraged. The site waste management plan will also ensure that hazardous waste is properly managed.
13. Accessibility to the site will be improved through the replacement of the existing fence aligning the front pavement, with a low level brick wall and large central opening. A dropped kerb will be introduced for vehicular access.

KEY

- Site Boundary
- ▶ Shared site entrance - central dual accessway.
- Pedestrian access routes to front doors.
- Site access routes from utility rooms to rear gardens.
- Rear garden & terrace access from Kitchen/ Breakfast room area.



PART V | PROPOSED DRAWINGS



PROPOSED DRAWINGS

SITE LOCATION PLAN



□ Site Boundary

PROPOSED SITE LOCATION PLAN.

DRAWING no. 0500 1:1250@A3



LAND AT RUSHMOOR CLOSE PINNER. HAS 2HF



PROPOSED DRAWINGS
SITE BLOCK PLAN



Site Boundary

PROPOSED SITE BLOCK PLAN.
DRAWING no. 0501 1:500@A3

0 2.5 5 10 15 25m



LAND AT RUSHMOOR CLOSE PINNER. HAS 2HF



PROPOSED DRAWINGS

SITE PLAN



PROPOSED SITE PLAN.

DRAWING no. 0502 1:200@A3



LAND AT RUSHMOOR CLOSE PINNER. HAS 2HF



PROPOSED DRAWINGS

GROUND FLOOR PLAN

The adjacent floor plans reflect the proposal for both dwelling houses at Ground Floor level. The design is symmetrical in nature, creating a mirrored floor plan as a whole.

Areas per dwelling:

	Ground Floor:	GIA
	92.4 sq.m	92.4 sq.m
	103.1 sq.m	GEA
	87.4sq.m	NIA
First Floor:		
	92.4 sq.m	GIA
	103.1 sq.m	GEA
	82.0 sq.m	NIA
Total:		
	184.8 sq.m	GIA
	206.1 sq.m	GEA
	168.4 sq.m	NIA

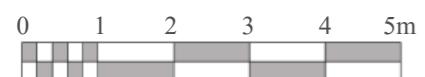
Note - NIA calculations do not include the staircase or MEP cupboard, but do include stair landings. It also does not include areas in rooms where the floor to ceiling height is less than 1100mm (this accounts for a small area in the main bathroom and in the front bedroom with the dormer window).



Ground Floor Plan

PROPOSED GROUND FLOOR PLAN.

DRAWING no. 2000 1:100@A3



PROPOSED DRAWINGS

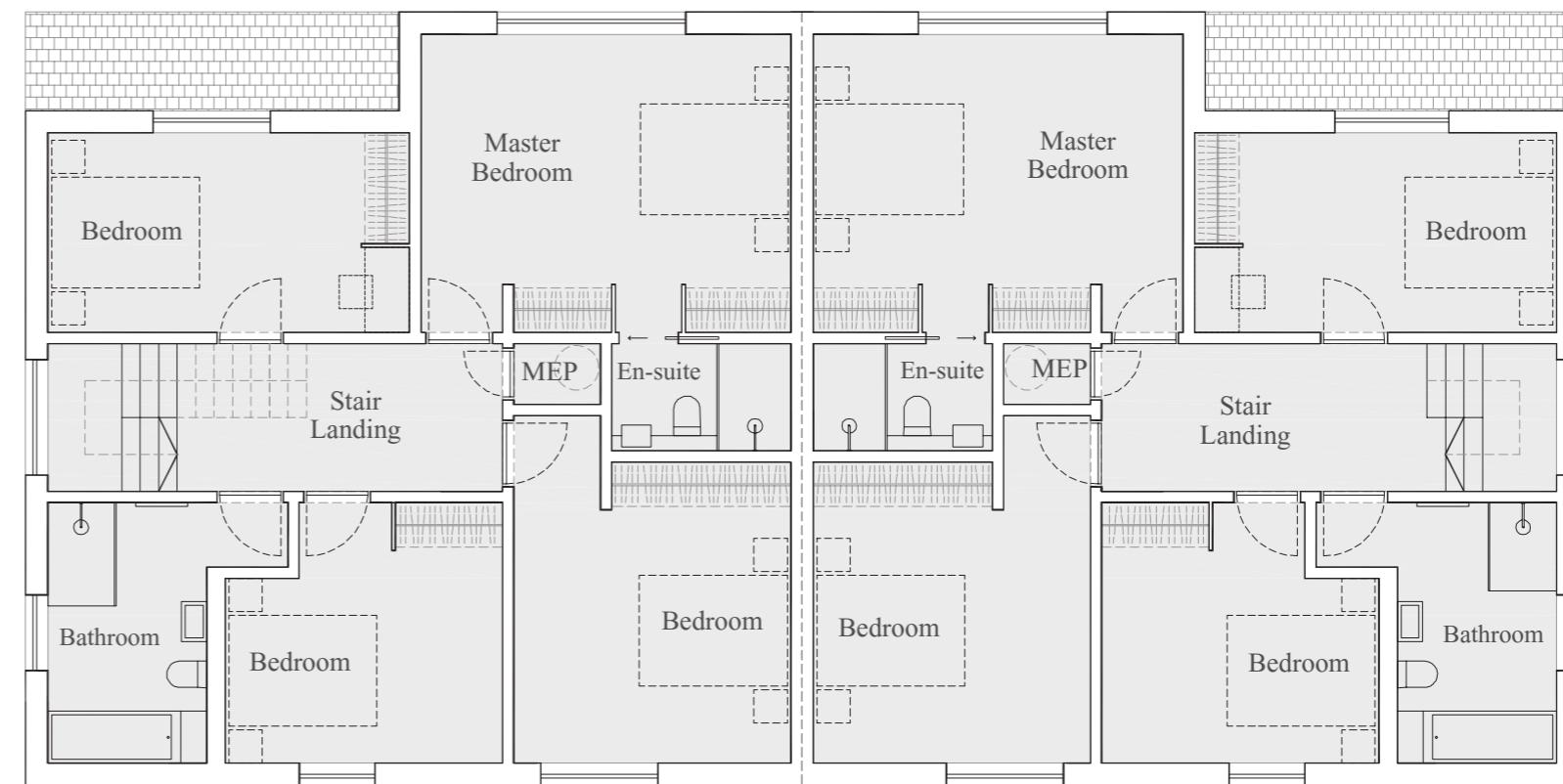
FIRST FLOOR PLAN

The adjacent floor plans reflect the proposal for both dwelling houses at First Floor level. The design is symmetrical in nature, creating a mirrored floor plan as a whole.

Areas per dwelling:

	92.4 sq.m	GIA
Ground Floor:	103.1 sq.m	GEA
	87.4sq.m	NIA
First Floor:	92.4 sq.m	GIA
	103.1 sq.m	GEA
	82.0 sq.m	NIA
Total:	184.8 sq.m	GIA
	206.1 sq.m	GEA
	168.4 sq.m	NIA

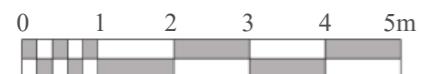
Note - NIA calculations do not include the staircase or MEP cupboard, but do include stair landings. It also does not include areas in rooms where the floor to ceiling height is less than 1100mm (this accounts for a small area in the main bathroom and in the front bedroom with the dormer window).



First Floor Plan

PROPOSED FIRST FLOOR PLAN.

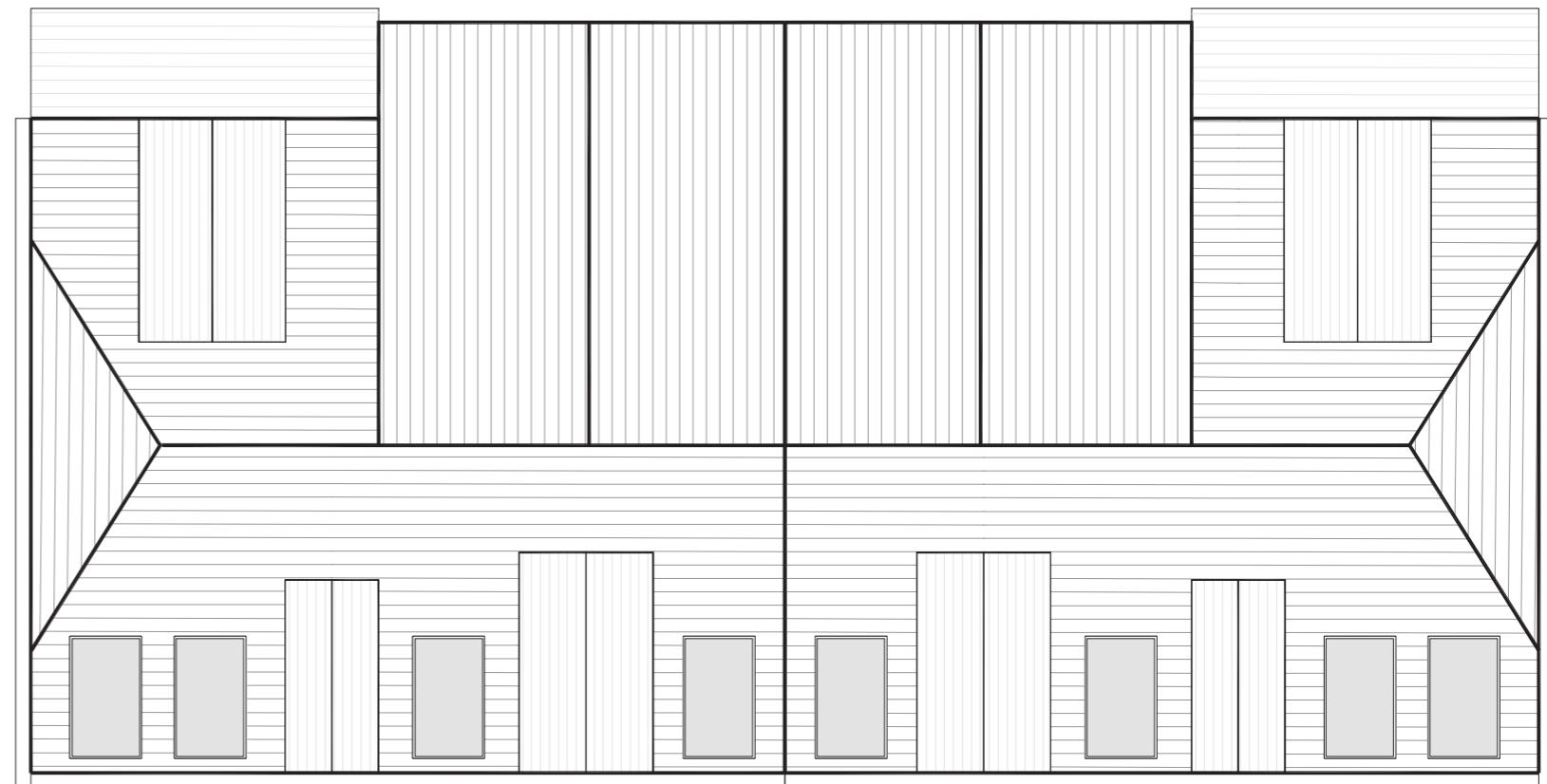
DRAWING no. 2001 1:100@A3



PROPOSED DRAWINGS

ROOF PLAN

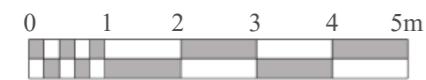
The adjacent floor plans reflect the proposal for both dwelling houses at Roof level. The design is symmetrical in nature, creating a mirrored floor plan as a whole.



Roof Plan

PROPOSED ROOF PLAN.

DRAWING no. 2002 1:100@A3



LAND AT RUSHMOOR CLOSE PINNER. HA5 2HF



PROPOSED DRAWINGS

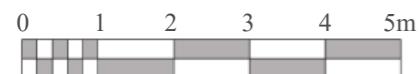
FRONT ELEVATION

The adjacent drawing reflects the Proposed Front Elevations of both dwelling houses.



PROPOSED FRONT ELEVATIONS.

DRAWING no. 3000 1:100@A3



LAND AT RUSHMOOR CLOSE PINNER. HA5 2HF



PROPOSED DRAWINGS

REAR ELEVATION

The adjacent drawing reflects the Proposed Rear Elevations of both dwelling houses.

* Photovoltaic panels



PROPOSED REAR ELEVATIONS.

DRAWING no. 3001 1:100@A3



LAND AT RUSHMOOR CLOSE PINNER. HA5 2HF



PROPOSED DRAWINGS

SIDE ELEVATION

The adjacent drawing reflects the Proposed Side Elevation of one dwelling house, but which will also be mirrored for the other dwelling house on the non-detached wall.

* Obscured glazing to bathroom.



PROPOSED SIDE ELEVATION.

DRAWING no. 3002 1:100@A3



LAND AT RUSHMOOR CLOSE PINNER. HA5 2HF



C O N C E P T

E L E V A T I O N D E V E L O P M E N T

The adjacent drawing reflects the proposed Front Elevation of both dwelling houses in the wider context of the surrounding streetscape.



PROPOSED STREETSCAPE ELEVATION.

DRAWING no. 3010 1:200@A3



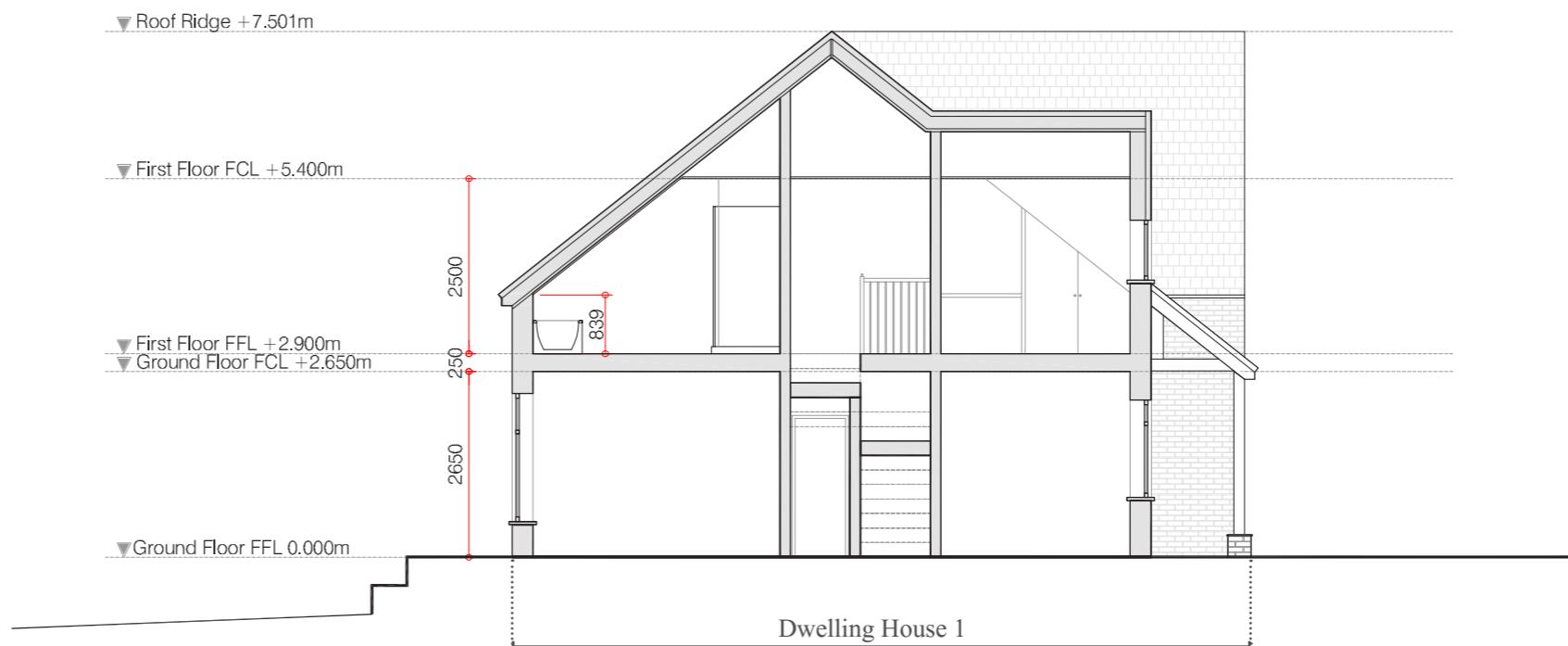
LAND AT RUSHMOOR CLOSE PINNER. HA5 2HF



PROPOSED DRAWINGS

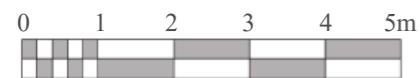
SECTION AA

The adjacent drawing reflects Proposed Section AA, a short section cutting through just one dwelling house, but which will be mirrored for the other dwelling house.



PROPOSED SECTION AA.

DRAWING no. 4000 1:100@A3



LAND AT RUSHMOOR CLOSE PINNER. HAS 2HF



PROPOSED DRAWINGS

SECTION BB

The adjacent drawing reflects Proposed Section BB, a long section cutting through both dwelling houses.



PROPOSED SECTION BB.

DRAWING no. 4001 1:100@A3



LAND AT RUSHMOOR CLOSE PINNER. HAS 2HF



PROPOSED DRAWINGS

VISUALISATIONS



Proposed front elevation, showing the approach to the new dwellings in the context of the existing streetscape.

PROPOSED DRAWINGS

VISUALISATIONS



Proposed front elevation, showing the new dwellings as viewed from across the road.

PROPOSED DRAWINGS

VISUALISATIONS



Proposed rear elevation, showing the two dwellings in the context of one another.

PART VI | EXISTING DRAWINGS



EXISTING DRAWINGS

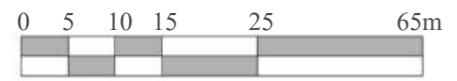
SITE LOCATION PLAN



Site Boundary

EXISTING SITE LOCATION PLAN.

DRAWING no. 1000 1:1250@A3



LAND AT RUSHMOOR CLOSE PINNER. HAS 2HF



EXISTING DRAWINGS
SITE BLOCK PLAN



Site Boundary

EXISTING SITE BLOCK PLAN.
DRAWING no. 1001 1:500@A3

0 2.5 5 10 15 25m



LAND AT RUSHMOOR CLOSE PINNER. HAS 2HF





Studio Kyson
28 Scrutton Street
London
EC2A 4RP

020 7247 2462
www.kyson.co.uk

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