

**PARTY WALL NOTICES:**  
PLEASE NOTE THAT BEFORE BUILDING WORKS COMMENCES IT IS THE RESPONSIBILITY OF BUILDER OR OWNER TO SERVE PARTY WALL NOTICES TO ALL NEIGHBOURS.

**SITE SUPERVISION:**  
NO SITE SUPERVISION IS IMPLIED OR UNDERTAKEN UNLESS OTHERWISE SEPARATELY ARRANGED.

**PLAN CHECK FROM BUILDING CONTROL:**  
NO CONSTRUCTION WORK ON SITE SHOULD COMMENCE UNTIL A PLAN CHECK FROM BUILDING CONTROL IS OBTAINED. ANY WORK BEFORE AN APPROVAL OF BUILDING REGULATIONS DRAWINGS & STRUCTURAL CALCULATIONS WILL SOLELY BE AT OWNER'S RISK.

**PRICIPAL DESIGNER:**  
IT IS THE RESPONSIBILITY OF OWNER TO APPOINT A PRINCIPAL DESIGNER.  
PRINCIPAL DESIGNER WORKS TO ENSURE THAT DESIGN MEETS ALL THE NECESSARY REGULATORY REQUIREMENTS SET OUT IN THE BUILDING REGULATIONS. RESPONSIBILITIES MAY INCLUDE (BUT NOT LIMITED TO) COORDINATING WITH VARIOUS STAKEHOLDERS, SUCH AS ARCHITECTS, ENGINEERS, AND BUILDERS.




TRICON DESIGN IS NOT THE PRINCIPAL DESIGNER UNLESS IT IS SEPARATELY ARRANGED IN WRITING BY OWNER OF THE PROPERTY.

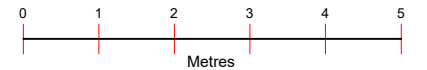
**DIMENSIONS:**  
ALL DIMENSIONS TO BE CHECKED ON SITE. CONTRACTOR TO CHECK SITE THOROUGHLY BEFORE WORK STARTS & REPORT ANY DISCREPANCIES.

DIMENSIONS STATED ARE FOR GUIDANCE ONLY, CONTRACTOR TO VERIFY ALL BOUNDARY POSITIONS AND DIMENSIONS ON SITE PRIOR TO COMMENCING ANY WORKS, MAKING WORKSHOP DRAWINGS OR OBTAINING ANY MATERIALS.

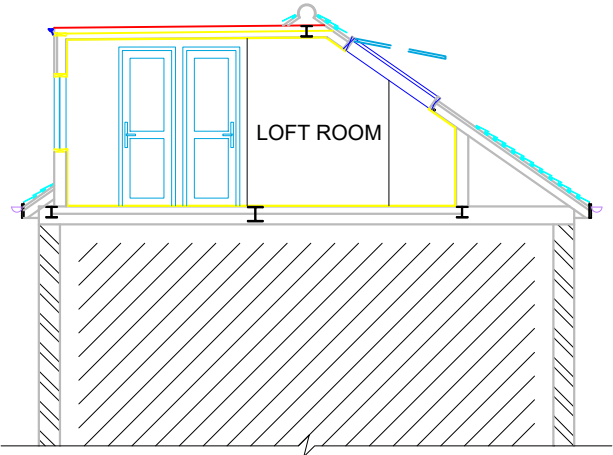
DRAWING DOES NOT INDICATE OR IMPLY THE STRUCTURAL CONDITION OF EXISTING PROPERTY. THESE DRAWINGS HAVE BEEN PREPARED FOR ASSISTANCE IN PREPARATION OF DETAILS FOR PLANNING AND BUILDING REGULATIONS PURPOSES ONLY. NO CHECK DIMENSIONS HAVE BEEN TAKEN, ALL DETAILS HAVE BEEN PROVIDED BY THE CLIENT

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- LEGEND**
-  = SMOKE DETECTOR WITH SOUNDER
  -  = EMERGENCY LIGHTING TO BS5266: Part 1 1988
  -  = HEAT DETECTOR
  - FD30 = 30 MINUTE FIRE RESISTING DOOR AND FRAME



A	280824	AT		FIRST ISSUE
ISSUE	DATE	INITIALS	GRID REF	DESCRIPTION
<div><div>STUDIO 21</div><div></div><div>497 SUNLEIGH ROAD HA0 4LY [020 8252 3233]</div></div>				
<b>PROJECT</b> 313 LANSBURY DRIVE HAYES UB4 8RZ				
<b>DWG TITLE</b> SECTION & CALCULATION				
<b>CLIENT</b> MR. BALJIT BASSI				
<b>DWG NO:</b> TRICON/313LD/204			<b>ISSUE</b> A	
<b>SCALE</b> 1:100	<b>DATE</b> 26 AUG	<b>DRAWN BY</b> AT		



## PROPOSED MATERIAL FOR HIP TO GABLE

WALLS: BRICK FACING TO MATCH EXISTING  
ROOF: TILES MATCH TO EXISTING

### PROPOSED MATERIAL

- . WALLS: STUD WALL WITH TILES
  - . ROOF: WARM DECK FLAT ROOF
  - . WINDOWS: UPVC DOUBLE GLAZED WINDOWS
  - . SKYLIGHTS NOT TO PROJECT MORE THAN 150mm FROM ROOF PLAIN
  - . DORMER FACE AND CHEEKS TO BE TILE HUNG
- ALL FINISHES TO MATCH EXISTING

## PERMITTED DEVELOPMENT RIGHT FOR LOFT CONVERSION FOR SEMI DETACHED = 50m³

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HIP TO GABLE

1/6 (DEPTH x WIDTH x HEIGHT)  
1/6 (D1 x W1 x H1)  
1/6 (7.78 x 3.91 x 2.66)  
13.48 m³

V1 - VOLUME

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PROPOSED DORMER VOLUME = 1/2 (LENGTH x DEPTH x HEIGHT)  
1/2 (L2 x D2 x H2)  
1/2 (5.49 x 3.20 x 2.16)  
18.97m³

### V2- VOLUME

TOTAL VOLUME V1 + V2

13.48 + 18.97 = 32.45m³ < 50m³