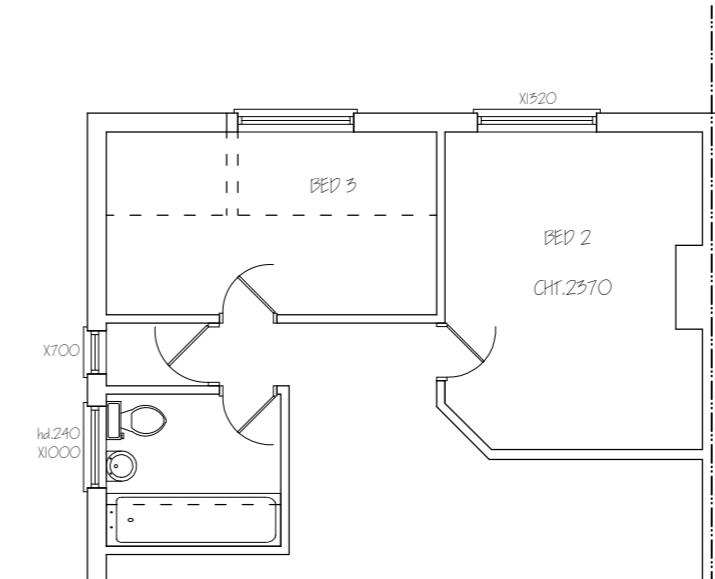


### EXISTING GROUND FLOOR PLAN



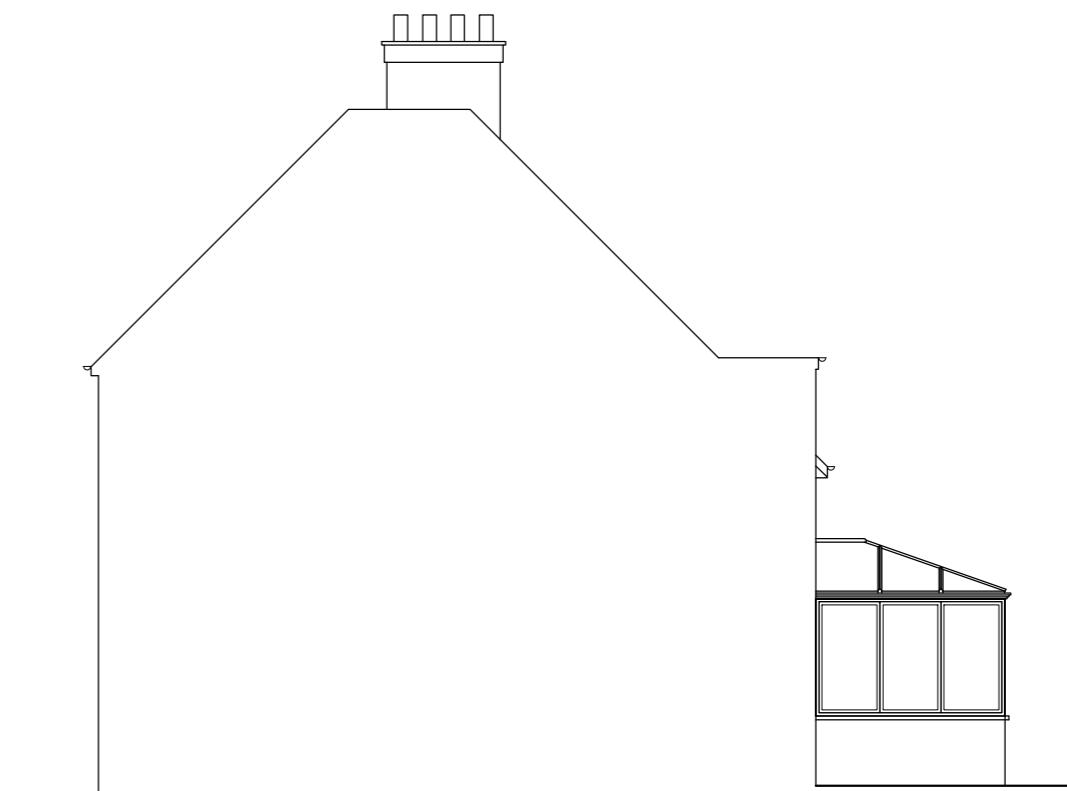
## EXISTING PART-FIRST FLOOR PLAN

<p><i>Nigel Fallon, B.Sc. (Hons)MBEng. 07768-408525</i>  <i>Planning &amp; Development Consultant, Building Engineer.</i></p> <p><i>164 Japonica Lane,      Willen Park,      Milton Keynes, MK15 0EE</i></p>	<p><u>ADDRESS:</u>  <u>65, EVELYN AVENUE,</u>  <u>RUISLIP, HA4 8AL.</u></p>
<p><u>DRAWING TITLE: EXISTING FLOOR PLANS</u></p> <p><u>SCALE: 1:100</u></p>	<p><u>NO. - 01</u></p>
<p><u>DATE: 26/01/2024</u></p>	<p><u>REV:</u></p>





EXISTING FRONT ELEVATION



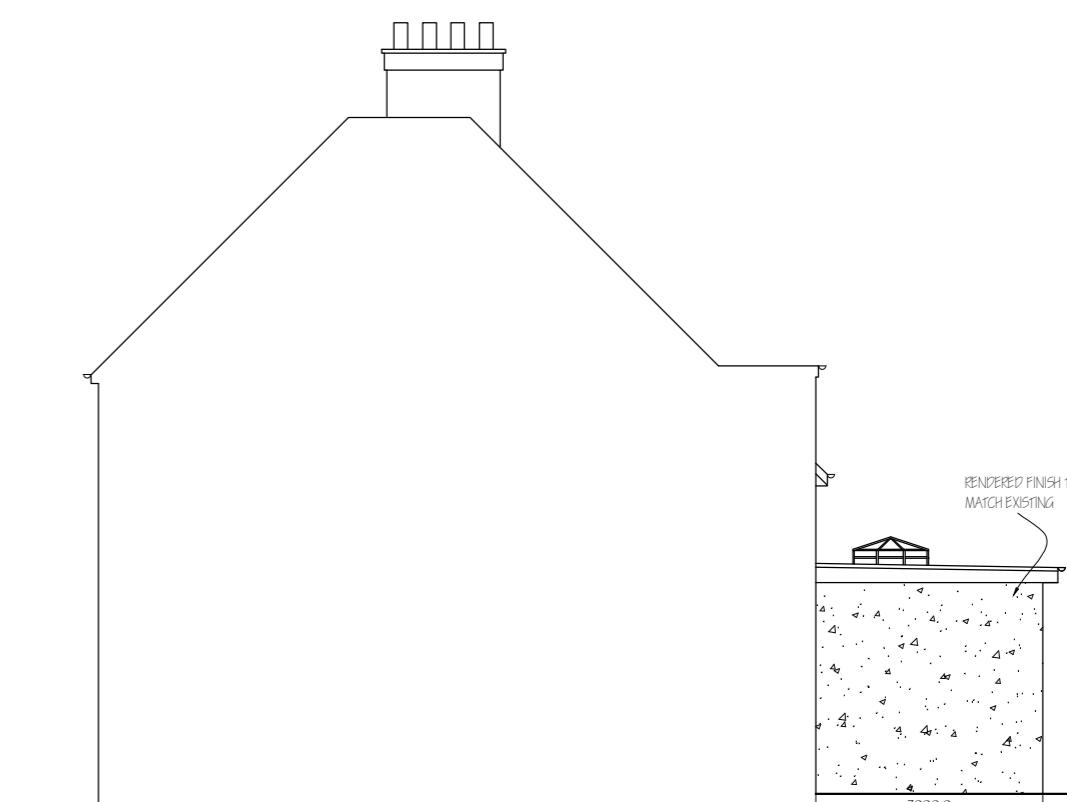
EXISTING SIDE ELEVATION

<b>Nigel Fallon, B.Sc. (Hons) MBEng. 07768-408525</b>	<b>ADDRESS:</b>
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<i>164 Japonica Lane, Willen Park, Milton Keynes, MK15 9EE.</i>	<b>DRAWING TITLE: EXISTING / PROPOSED ELEVATIONS</b>
<b>SCALE: 1:100</b>	<b>NO. - 02</b> <b>REV:</b>
<b>DATE: 26/01/2024</b>	<b>DRG. PAPER SIZE: A3</b>

0M 1M 2M 3M 4M 5M 6M 7M 8M 9M 10M



PROPOSED FRONT ELEVATION



PROPOSED SIDE ELEVATION

NOTE : MATERIALS USED IN ANY EXTERIOR WORK TO BE OF A SIMILAR APPEARANCE TO THOSE USED IN THE CONSTRUCTION OF THE EXTERIOR OF THE EXISTING DWELLING HOUSE.



EXISTING REAR ELEVATION



EXISTING SIDE ELEVATION

<b>Nigel Fallon, B.Sc. (Hons) MBE</b> 07768-408525 <i>Planning &amp; Development Consultant, Building Engineer.</i> <b>164 Japonica Lane, Willen Park, Milton Keynes, MK15 9EE</b>		<u>ADDRESS:</u> <u>65, EVELYN AVENUE, RUISLIP, HA4 8AL.</u>
<b>DRAWING TITLE: EXISTING / PROPOSED ELEVATIONS</b>		<b>NO. - 03</b> <b>REV:</b>
<b>SCALE - 1:100</b>	<b>DATE: 26/01/2024</b>	<b>DRG. PAPER SIZE: A3</b>

0M 1M 2M 3M 4M 5M 6M 7M 8M 9M 10M



PROPOSED REAR ELEVATION



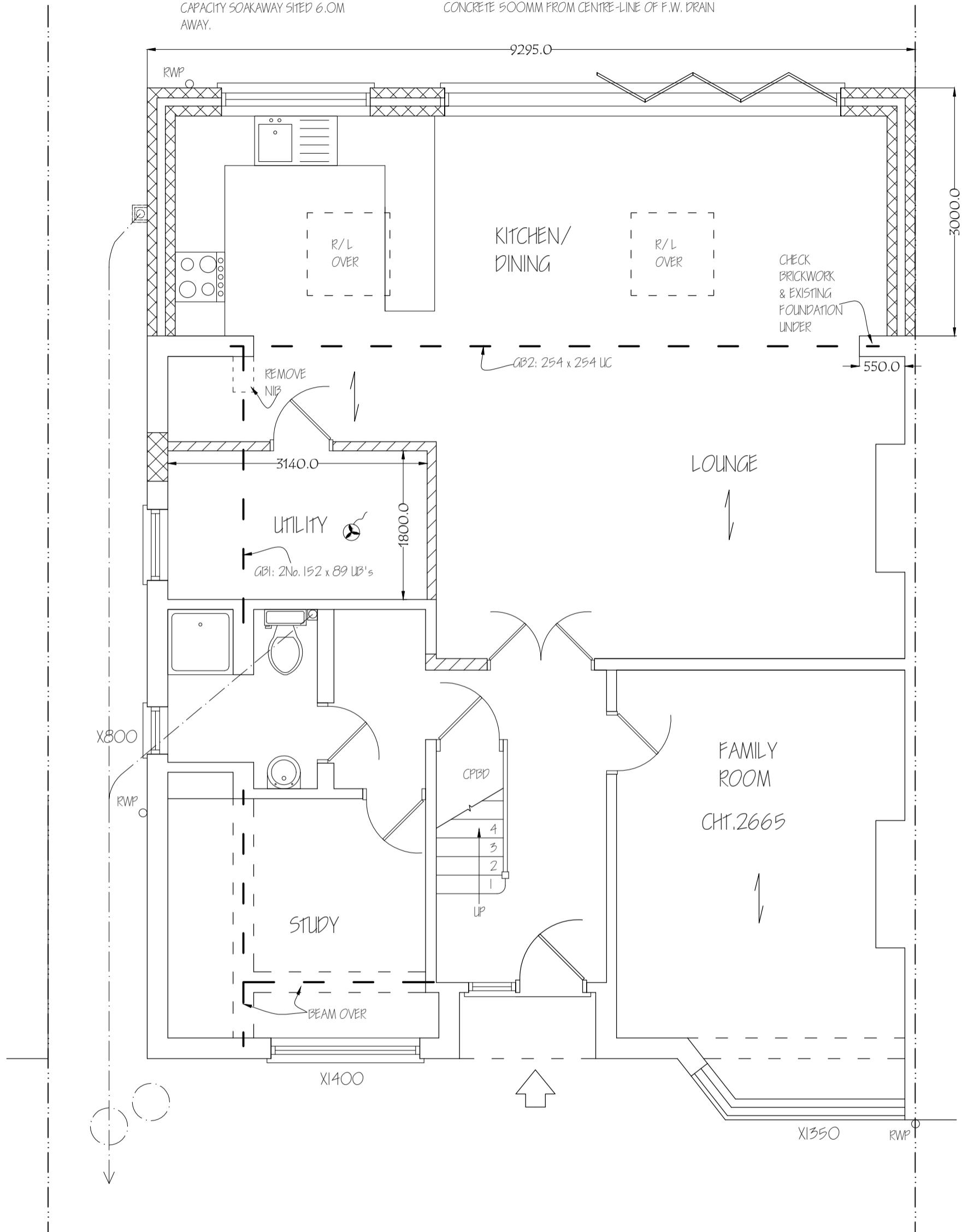
PROPOSED SIDE ELEVATION

NOTE : MATERIALS USED IN ANY EXTERIOR WORK TO BE OF A SIMILAR APPEARANCE TO THOSE USED IN THE CONSTRUCTION OF THE EXTERIOR OF THE EXISTING DWELLING HOUSE.

RWP IS TO DISCHARGE TO EXISTING S.W. DRAIN ( IF ONE LOCATED DURING CONSTRUCTION) OR ELSE TO 2M<sup>3</sup> CAPACITY SOAKAWAY SITED 6.0M AWAY.

FOR SEWERS BETWEEN 0 - 1.1M DEEP MINIMUM CLEARANCE OF 150MM EITHER SIDE OF THE PIPE

FOR SEWERS BETWEEN 1.1 - 2M DEEP MINIMUM CLEARANCE OF 500MM EITHER SIDE TO BE PROVIDED. BRIDGE OVER DRAIN WITH 2NO. 150 X 100 R.C. LINTELS AND STOP FOUNDATION CONCRETE 500MM FROM CENTRE-LINE OF F.W. DRAIN



*Nigel Fallon, B.Sc. (Hons)MBEng. 07768-408525*  
*Planning & Development Consultant, Building Engineer.*

Planning & Development Consultant, Building Engineer.  
164 Japonica Lane, DRAWING 111-E: PROPOSED GROUND FLOOR PLAN

167 Bapst Road,  
Willen Park,  
Milton Keynes, MK1

ADDRESS:  
65, EVELYN AVENUE,  
RUISLIP, HA4 8AL.

KUNST, TAT, UND

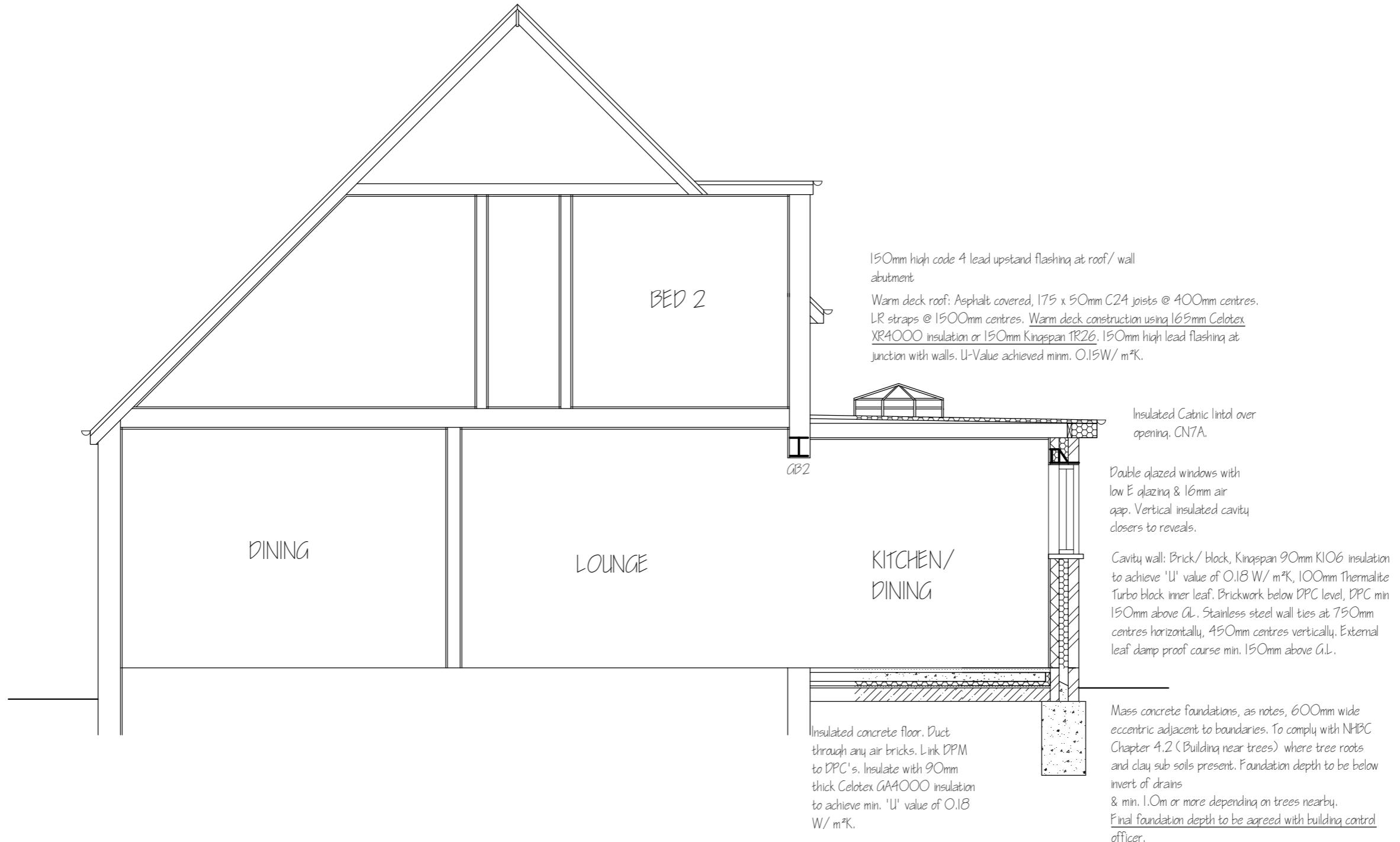
DRAWING 111-E: PROPOSED GROUND FLOOR PLAN

PFV: A

DRAWING TITLE:

## OUR PLAN

NO. - 04



<b>Nigel Fallon, B.Sc. (Hons)MBEng. 07768-408525</b>		ADDRESS: 65, EVELYN AVENUE, RUISLIP, HA4 8AL.
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349, Chartridge Lane, Chesham, HP5 2SH.	DRAWING TITLE: PROPOSED SECTION	NO. - 05
	SCALE - 1: 50	REV:
	DATE: 26/01/2024	DRG. PAPER SIZE: A3

