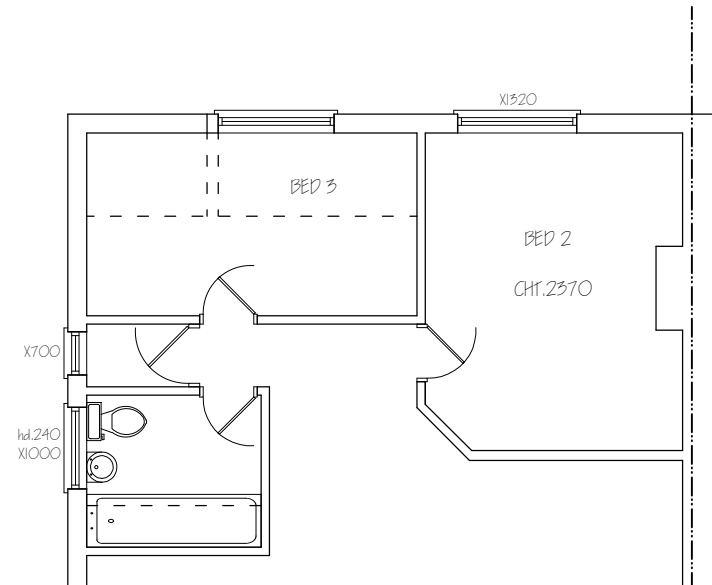
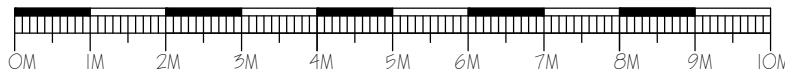


EXISTING GROUND FLOOR PLAN



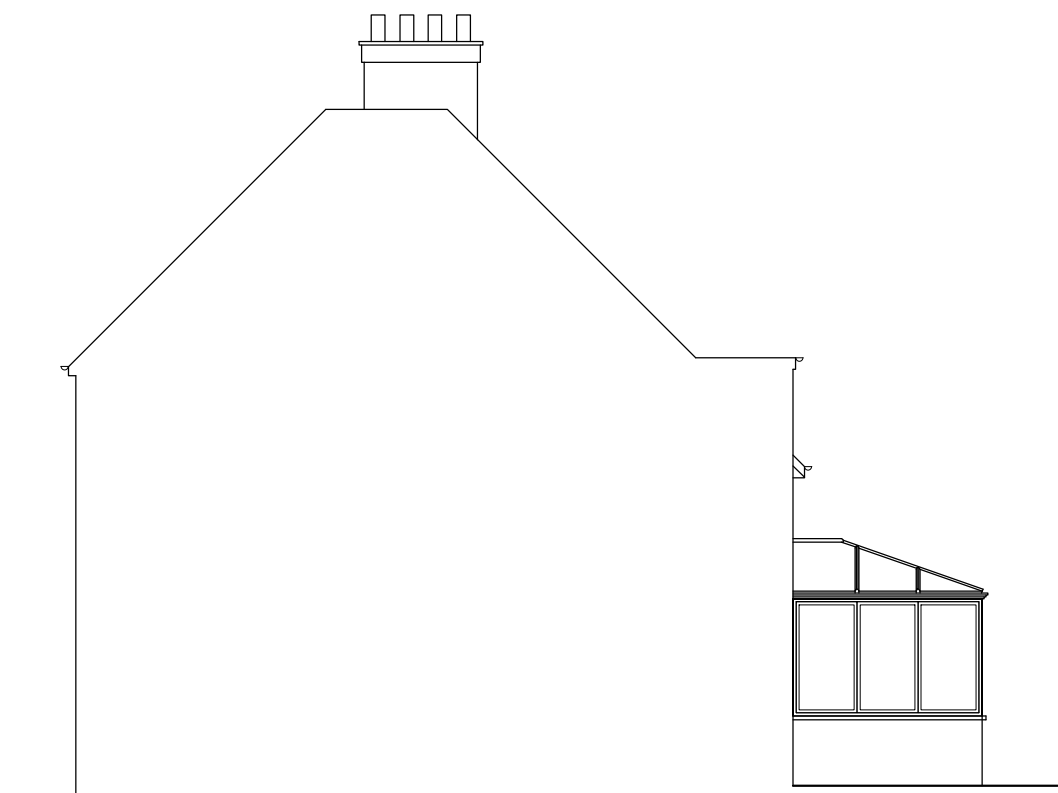
EXISTING PART-FIRST FLOOR PLAN

| | | | |
|---|------------------|--|------|
| Nigel Fallon, B.Sc. (Hons)MBEng. 07768-408525 Planning & Development Consultant, Building Engineer. 164 Japonica Lane, Willen Park, Milton Keynes, MK15 9EE. | | ADDRESS: 65, EVELYN AVENUE, RUISLIP, HA4 8AL. | |
| DRAWING TITLE: EXISTING FLOOR PLANS | | NO. - 01 | REV: |
| SCALE - 1:100 | DATE: 26/01/2024 | DRG. PAPER SIZE: A3 | |



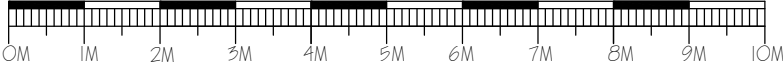


EXISTING FRONT ELEVATION

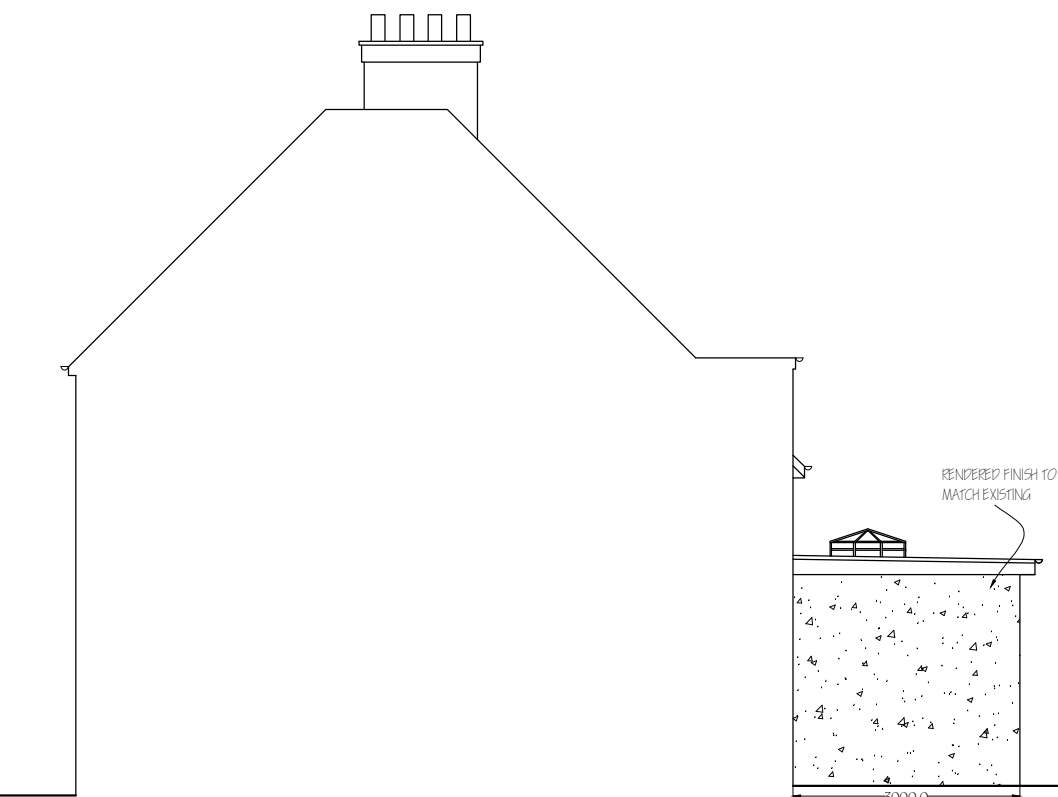


EXISTING SIDE ELEVATION

| | | | |
|---|--|---|------|
| <i>Nigel Fallon, B.Sc. (Hons) MEng. 07768-408525</i> | | ADDRESS: 65, EVELYN AVENUE, RUISLIP, HA4 8AL. | |
| <i>Planning & Development Consultant, Building Engineer.</i> | | DRAWING TITLE: EXISTING/ PROPOSED ELEVATIONS | |
| 164 Japonica Lane, Willen Park, Milton Keynes, MK15 9EE. | | NO. - 02 | REV: |
| SCALE - 1:100 | | DATE: 26/ 01/ 2024 | |
| | | DRG. PAPER SIZE: A3 | |



PROPOSED FRONT ELEVATION



PROPOSED SIDE ELEVATION

NOTE : MATERIALS USED IN ANY EXTERIOR WORK TO BE OF A SIMILAR APPEARANCE TO THOSE USED IN THE CONSTRUCTION OF THE EXTERIOR OF THE EXISTING DWELLING HOUSE.



EXISTING REAR ELEVATION



EXISTING SIDE ELEVATION

Nigel Fallon, B.Sc. (Hons) MEng. 07768-408525

Planning & Development Consultant, Building Engineer.

**164 Japonica Lane,
Willen Park,
Milton Keynes, MK15 9EE.**

DRAWING TITLE: EXISTING/ PROPOSED ELEVATIONS

SCALE - 1: 100

DATE: 26 / 01 / 2024

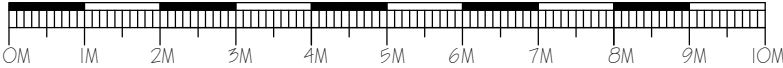
ADDRESS:

65, EVELYN AVENUE,
RUISLIP, HA4 8AL.

NO. - 03

REV:

DRG. PAPER SIZE: A3



PROPOSED REAR ELEVATION

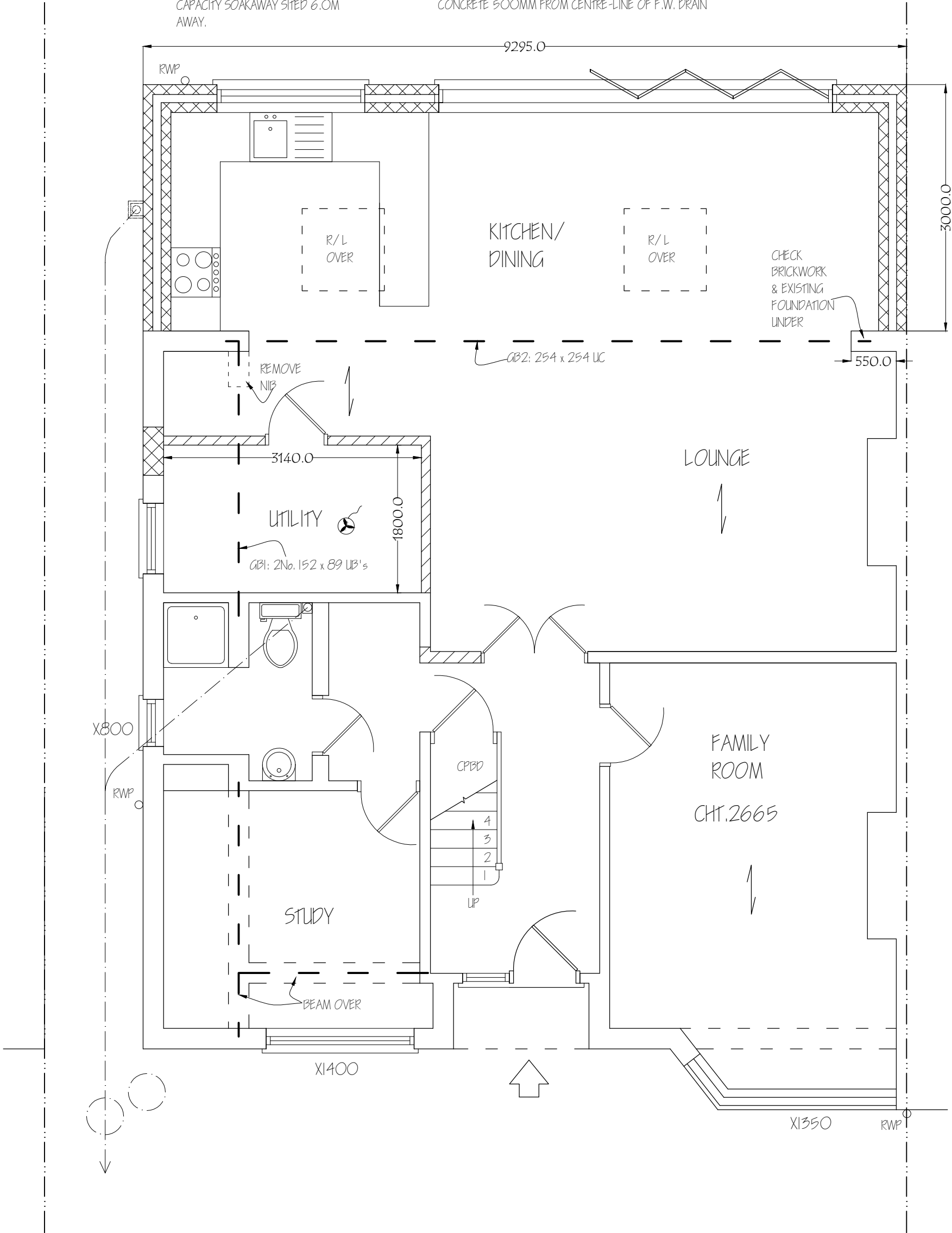


PROPOSED SIDE ELEVATION

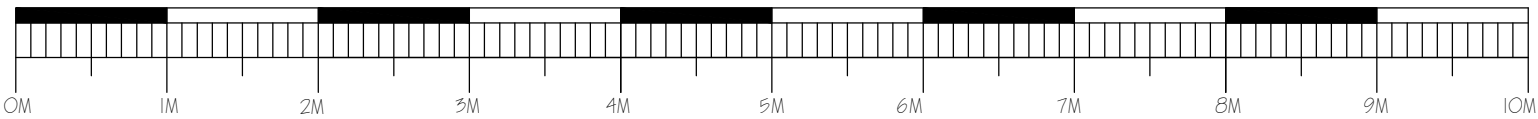
NOTE : MATERIALS USED IN ANY EXTERIOR WORK TO BE OF A SIMILAR APPEARANCE TO THOSE USED IN THE CONSTRUCTION OF THE EXTERIOR OF THE EXISTING DWELLING HOUSE.

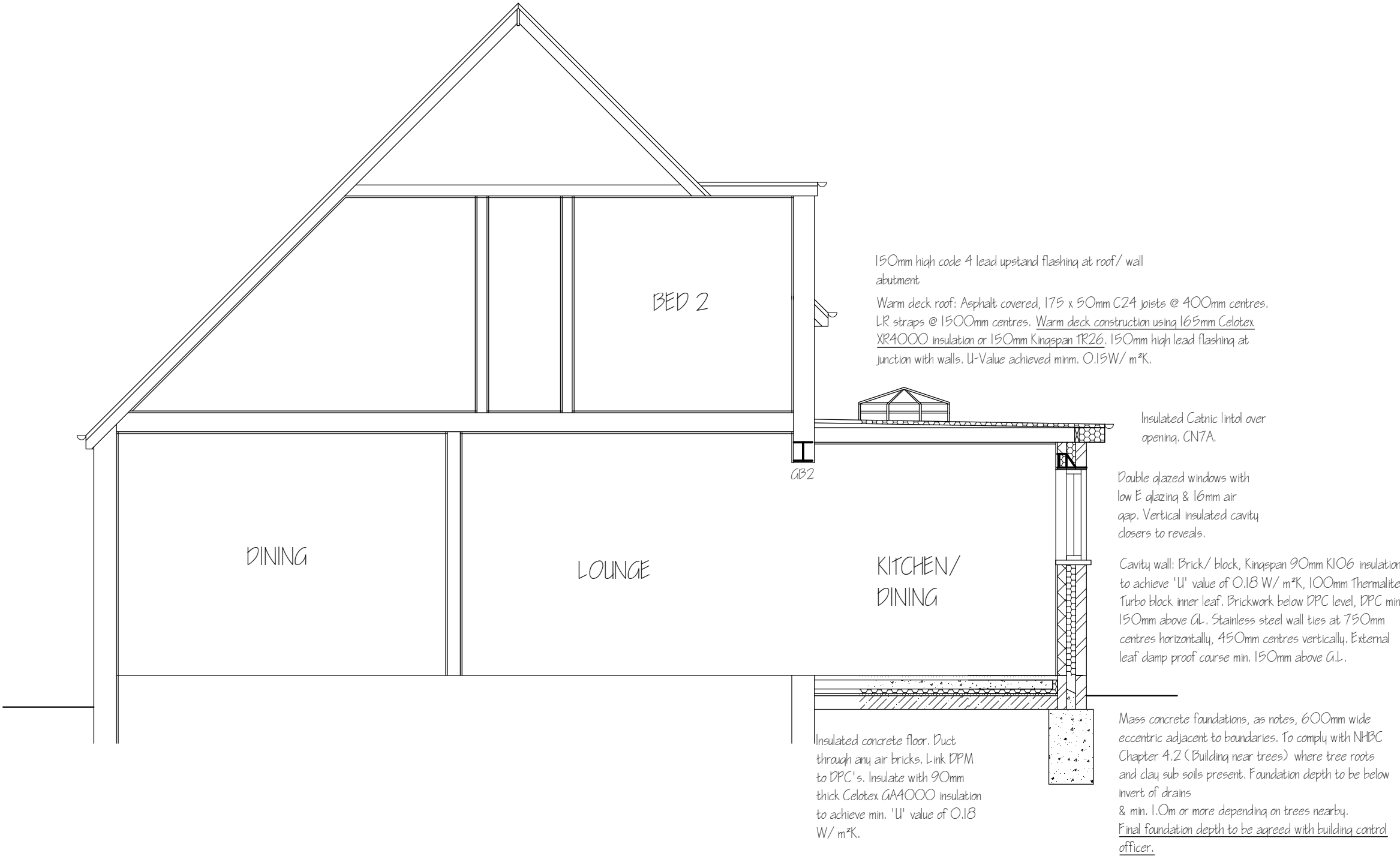
RWP IS TO DISCHARGE TO EXISTING
S.W. DRAIN (IF ONE LOCATED DURING
CONSTRUCTION) OR ELSE TO 2M³
CAPACITY SOAKAWAY SITED 6.0M
AWAY.

FOR SEWERS BETWEEN 0 – 1.1M DEEP MINIMUM CLEARANCE OF
150MM EITHER SIDE OF THE PIPE.
FOR SEWERS BETWEEN 1.1 – 2M DEEP MINIMUM CLEARANCE OF
500MM EITHER SIDE TO BE PROVIDED. BRIDGE OVER DRAIN
WITH 2NO. 150 X 100 R.C. LINTELS AND STOP FOUNDATION
CONCRETE 500MM FROM CENTRE-LINE OF F.W. DRAIN



| | | | |
|---|--|---|---------------------|
| Nigel Fallon , B.Sc. (Hons) MBEng. 07768-408525 Planning & Development Consultant, Building Engineer. 164 Japonica Lane, Willen Park, Milton Keynes, MK15 9EE. | | ADDRESS: 65, EVELYN AVENUE, RUISLIP, HA4 8AL. | |
| DRAWING TITLE: PROPOSED GROUND FLOOR PLAN | | NO. - 04 | REV: A |
| SCALE - 1: 50 | | DATE: 26 / 01 / 2024 | DRG. PAPER SIZE: A3 |





| | | | |
|--|---------------------------------|---|----------|
| Nigel Fallon , B.Sc. (Hons)MBEng. 07768-408525 Planning & Development Consultant, Building Engineer. | | ADDRESS: 65, EVELYN AVENUE, RUISLIP, HA4 8AL. | |
| 349, Chartridge Lane, Chesham, HP5 2SH. | DRAWING TITLE: PROPOSED SECTION | | NO. - 05 |
| | SCALE - 1: 50 | DATE: 26/ 01/ 2024 | REV: |
| | | ORG. PAPER SIZE: A3 | |

