

Brief Design and Access Statement

Relating to

Proposed single storey rear extension, part double storey side/rear extension, ramped access to the dwelling with internal alterations

at

26 Finians Close

Uxbridge

UB10 9NW

for

Ms Vaneeta Bassi

23 August 2024

Project Ref: 2024.010/JC

Description of Existing House

Brief Design and Access Statement to support a submission of a Householder Application at the application site.

The application site comprises a semi-detached two-storey dwelling, brick built with tiled pitched roofs. The site has a change in level from the pavement level to the entrance of the dwelling.

The surrounding area is predominantly residential, designed in a similar style throughout the development with differences in form and appearance.

There are no heritage or policy constraints on the site, nor is the site within a Conservation Area.

Existing survey drawings and photo sheets of the application site are enclosed with the planning application.

Planning History

There is no planning history associated with the application site.

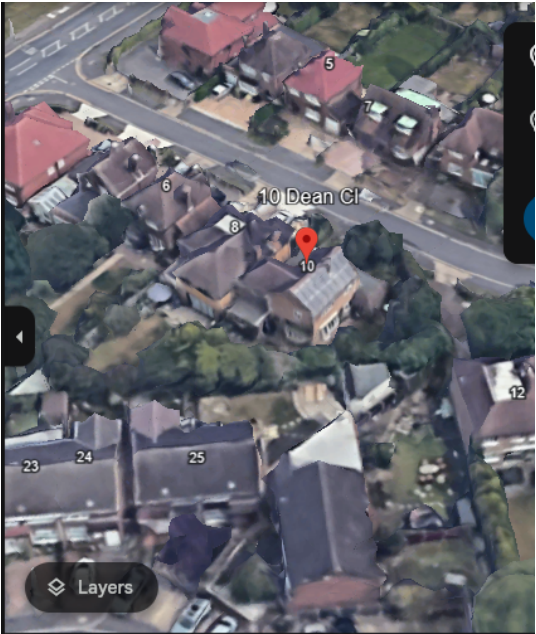
Brief

The brief comprises of a proposed single storey rear extension, part double storey side/rear extension, ramped access to the dwelling. The internal alterations include rearrangement of the ground floor to provide more storage, better layout of living spaces and a wet room. The first-floor alterations allow for a new bedroom, alterations to the existing stair and wider landing. The proposal is to provide a better layout for the applicants and to cater for the applicant's elderly parents.

The brief includes the assumption that any extension or any alterations should be in the same style and materials as the existing house and be subservient to the existing house.

Planning

The Architects submitted outline drawings 2024.010/B01D, B02B, B03B and B04 (see appendix B) for pre-application advice from the Duty Planning Officer, Richard Buxton (LBH). Advice was received on 1 July 2024, please note the following:

Ref	LBH Pre-Application Advice	Stones Architects (SA) New Application Scheme
1	<ul style="list-style-type: none"><i>I can't see design being an issue given the bizarre built form at 27 Finians Close</i><i>It will all hinge on whether the bulk and mass of the extension will materially impact on the occupiers of 10 Dean Close to the north in terms of overdominance, loss of daylight and sunlight etc.</i><i>The assessment is complicated by the apparent change in levels across the site and the orientation</i>	<ul style="list-style-type: none">The application site is unusualSA have provided a 3D mass model for the case officer to fully assess the bulk, mass and impact on the adjoining buildingsThe change of level has also been shown
2	<ul style="list-style-type: none"><i>Overlooking will also need to be designed out</i><i>I would suggest a submission</i> 	<ul style="list-style-type: none">Overlooking has been designed outWith the submission, we hope to review any concerns the case officer may have, with an opportunity to address them during the planning process

Design

The proposals are shown on drawings listed in the Appendix at the end of this statement.

The significant external changes proposed include the following:

- 1. Single storey rear extension**
- 2. Part double storey side/rear extension**
- 3. Ramped access to the dwelling to comply with AD M of the Building Regulations**

Materials of the new proposed extensions will match the existing house and palette of the adjoining/surrounding buildings.

The new extensions will not affect any existing or approved residential or other buildings by way of overlooking or loss of privacy.

Access

The existing street access will be retained.

The new proposals will comply with the Building Regulations current at the time of commencement.

Existing refuse arrangements will continue.

The application will not cause an increase in the number of cars to be parked on site and the existing car parking facilities are adequate.

Appendix A

List of documents submitted with the application:

Drawing no.	Drawing title	Scale
S01	Site location plan	1:1250
S02	Existing ground floor	1:100
S03	Existing first floor	1:100
S04	Existing elevations	1:100
D01	Proposed ground floor	1:100
D02	Proposed first floor	1:100
D03	Proposed roof plan	1:100
D04	Proposed elevations	1:100
D05	Proposed axonometrics	NTS
D06	Proposed contextual axonometrics	NTS
DAS	Design Access Statement	NTS

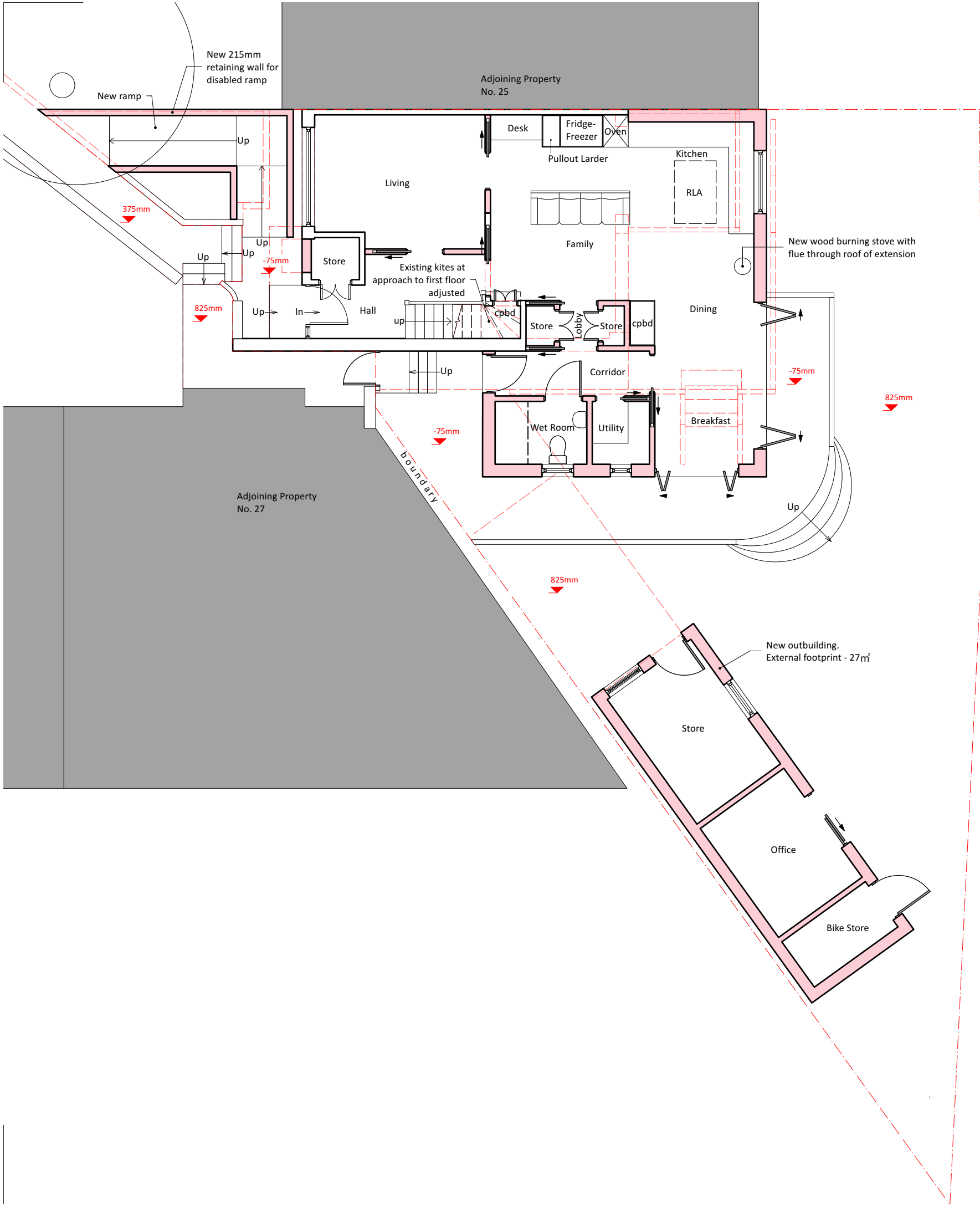
Appendix B


Outline design submitted for pre-application, see drawings:

B01D

B02B

B03B



- General Notes
1. New work shown shaded
 2. Demolition shown dotted in red
 3. All dimensions are indicative and in mm
 4.  Level

D	28/06/2024	Design amendment to outbuilding
C	19/06/2024	Outbuilding design amended to client's comments
B	30/05/2024	Design amendments following client meeting
ISSUE	DATE	REVISION

PROJECT
26 Finians Close UB10 9NW

CLIENT
Ms Vaneeta Bassi

DRAWING
OUTLINE PROPOSED GROUND FLOOR

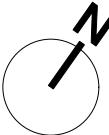
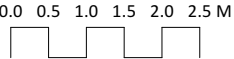


STONES
ARCHITECTS

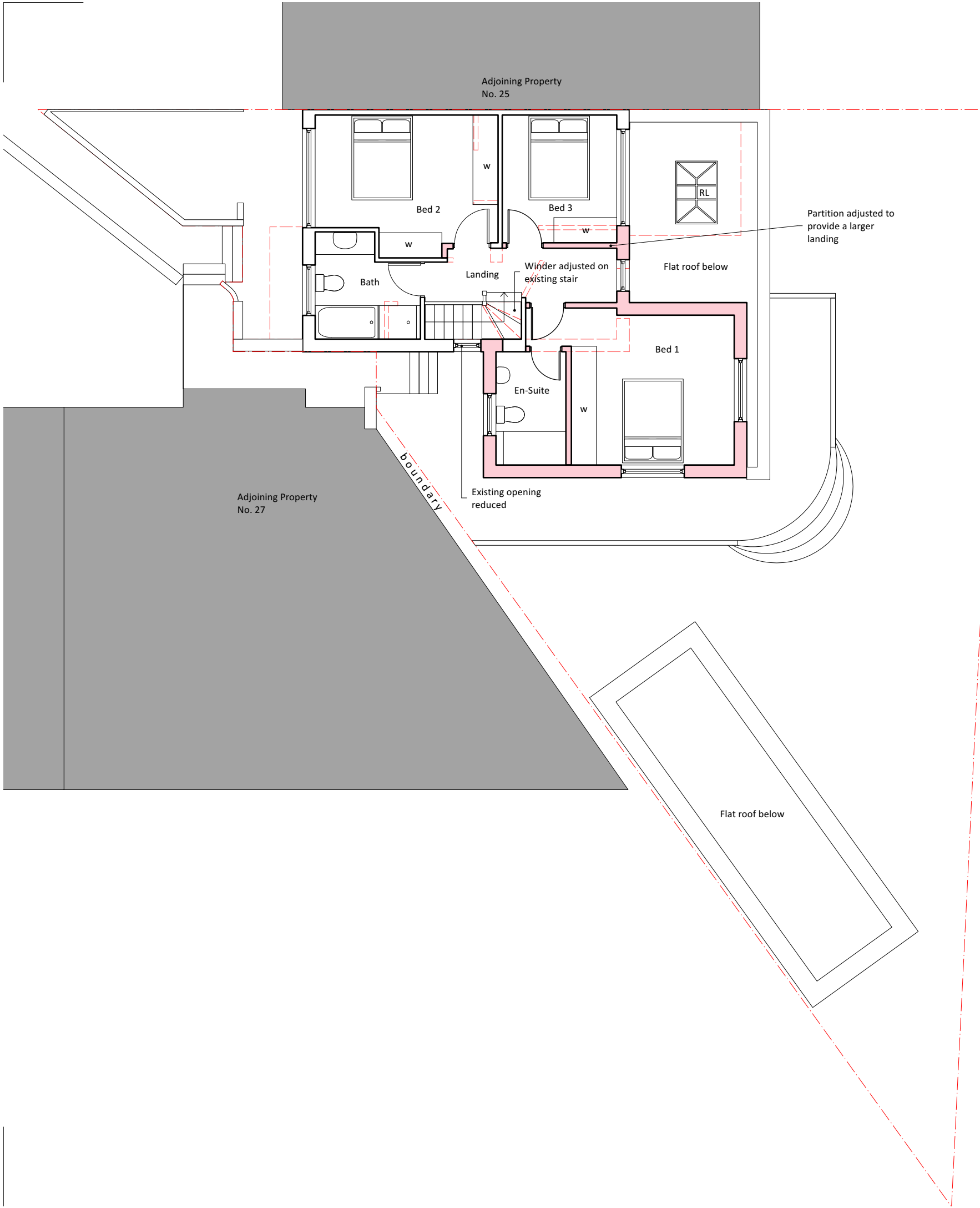
All rights described in chapter IV of the copyright designs & patents act 1988 have been asserted. This drawing must not be scaled; only figured dimensions should be used. Check and verify all dimensions on site prior to commencing any work. Any discrepancies should be reported to the Architects immediately.

PROJECT #	2024.010	DWG #	REV
DATE	19/06/2024		
SCALE	1:100		
DRAWN	CHKD		
S.W.	J.C.		

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PRELIMINARY



- General Notes
1. New work shown shaded
 2. Demolition shown dotted in red
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 4. Level

B	30/05/2024	Design amendments following client meeting
A	08/05/2024	Design changes following client meeting
ISSUE	DATE	REVISION

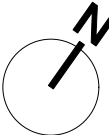
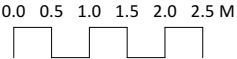
PROJECT	26 Finians Close UB10 9NW
CLIENT	Ms Vaneeta Bassi
DRAWING	OUTLINE PROPOSED FIRST FLOOR

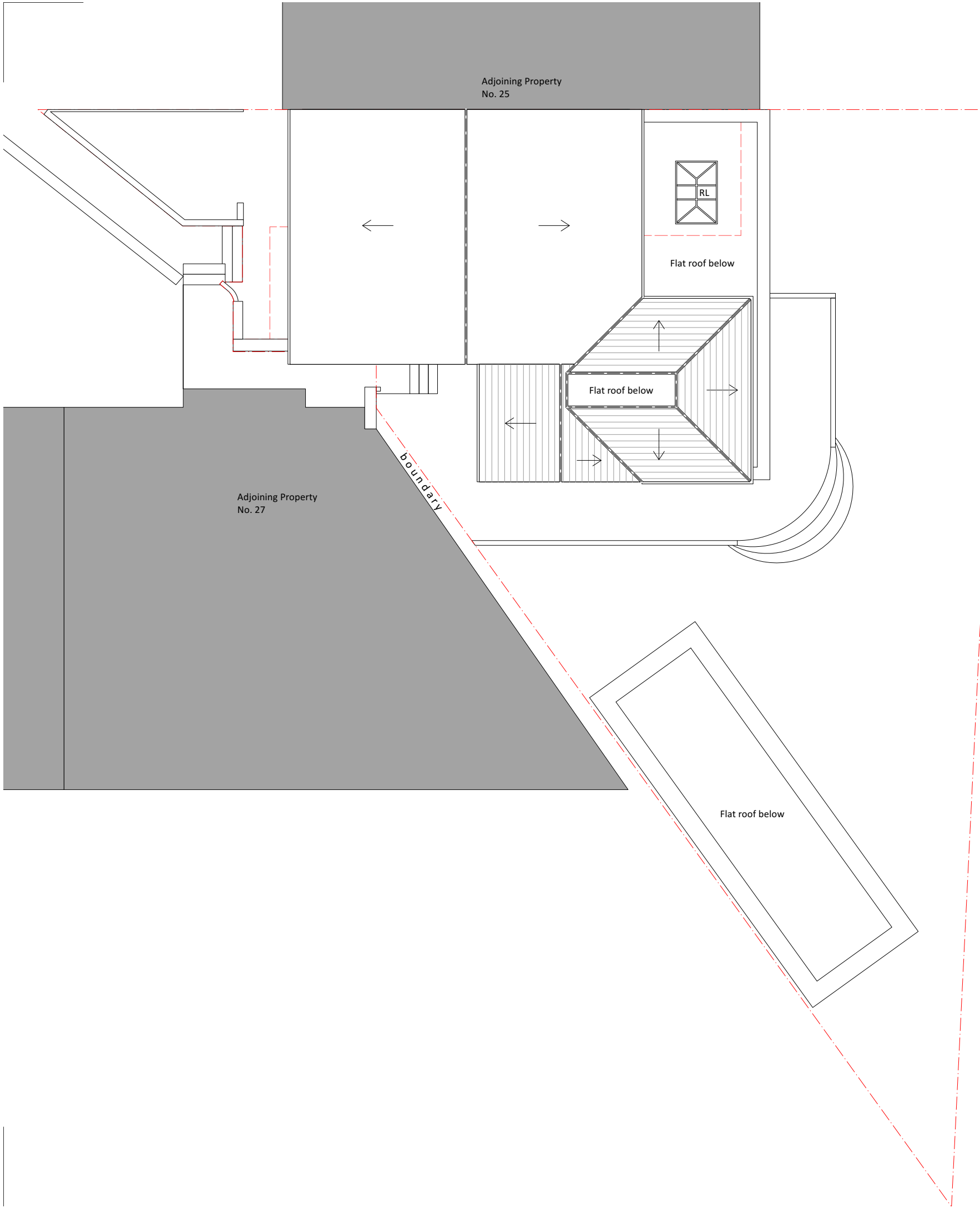
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PROJECT #	2024.010	DWG #	REV
DATE	30/05/2024		
SCALE	1:100		
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PRELIMINARY





B	30/05/2024	Design amendments following client meeting
A	08/05/2024	Design changes following client meeting
ISSUE	DATE	REVISION

PROJECT	26 Finians Close UB10 9NW
CLIENT	Ms Vaneeta Bassi
DRAWING	OUTLINE PROP. ROOF PLAN

STONES
ARCHITECTS

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PRELIMINARY

