

Proposed Travelodge Stockley Park

Design Response

Purpose of Report

This brief report has been prepared to analyse and address the comments made by the Design Officer in relation to the submitted application for the conversion of an existing redundant public house and office space to a Travelodge and Bar Café.

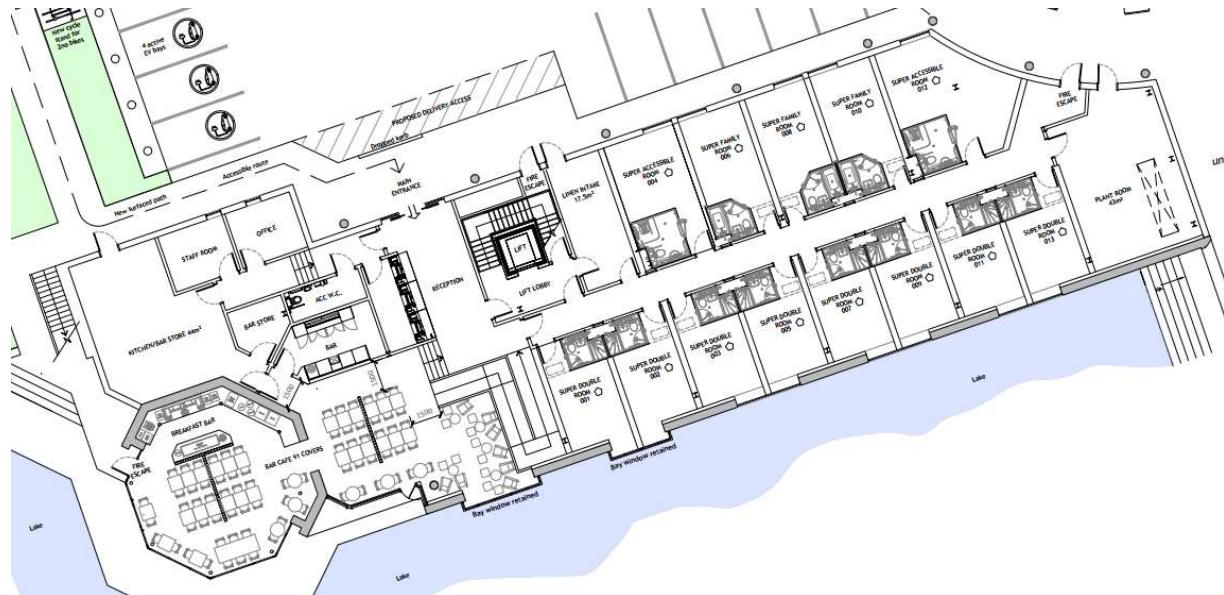
The items of reply will follow in line with the comments made in the Design Officers report and should be read in conjunction with the revised sketch scheme floor plan and elevations that have been redrawn to address design comments.

Revised Design

JWA Architects have reviewed the Design Officers comments and have replanned the ground floor and first floor layouts of the proposal to ensure that all 6 of the existing concrete columns on the north elevation are retained and not suppressed into the elevation and thus retaining the strong vertical presence the columns offer. The new wall line will follow the line of the existing wall.



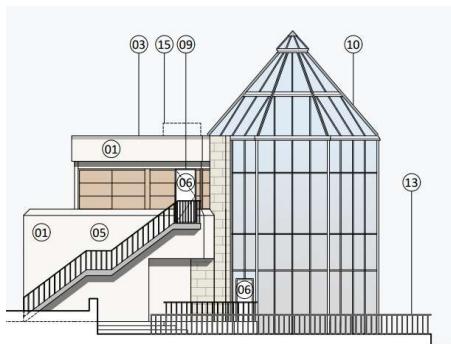
To retain these columns and ensure that the feasibility is sustainable in relation to bedroom numbers we had to revise the ground and upper floor layouts providing a small extension on the ground floor to accommodate the back of house operations.



All the existing concrete columns will be cleaned down and emphasized as part of the main feature of the building elevation along with the top horizontal concrete cladding and its associated connection.

The previous scheme incorporated the new entrance into a rendered element of walling which has now been reduced and the proposed render removed from the palette of materials proposed.

The small extension at ground floor is proposed to be clad in a stone cladding and samples of these materials will be provided under separate cover. Photo's of the concrete cladding samples are attached at the end of this report. The stone cladding to the extension will wrap round the single storey extension onto the western elevation.



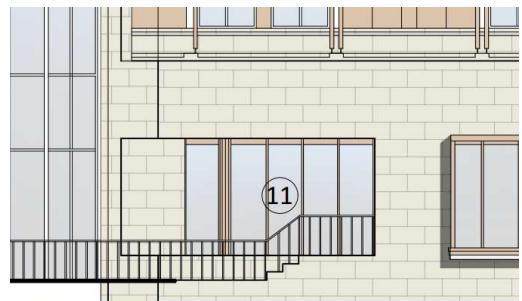
On the north elevation the scheme requires the removal of the timber cladding due to the new floor area and the condition of the timber and its flammability.

Due to the restrictions and the new purpose group of the building being of a sleeping risk the requirement for non-combustible cladding is required. We have investigating a number of non-combustible timber effect cladding panels and photos of a sample are attached at the end of this report. The new cladding system will be designed to reflect the existing rhythm of the building elevation. It should be noted that at least half of the existing elevation is glazed with infill panels not all timber

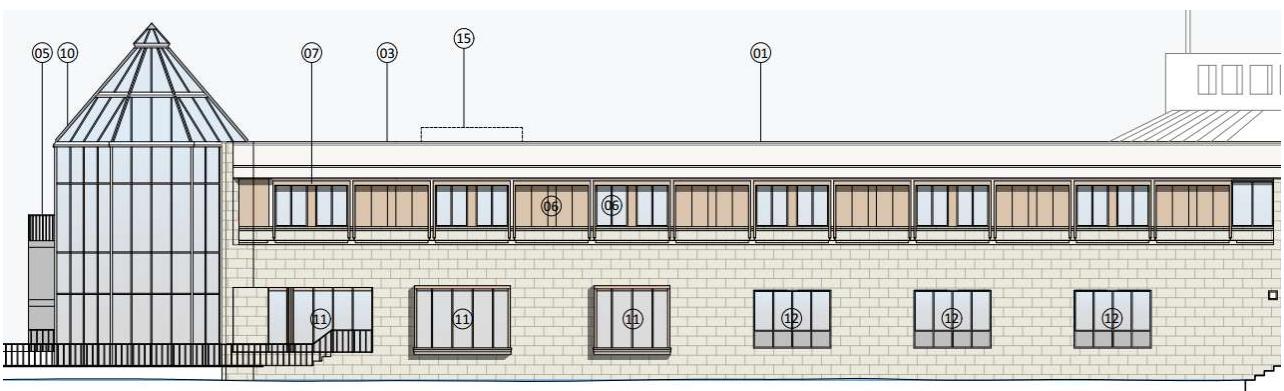
The location of the new extension at ground floor sits approximately in the same area as the current screened bin store which projects past the front building line of the building.



The south elevation facing onto the lake will now retain its existing recessed balcony adjacent to the rotunda thus retaining the existing feature.



With regards to the additional windows required for the four new bedrooms these will be designed to correlate with the existing window opening sizes maintaining the same vertical proportions as the bay windows as well as coursing. These windows will match the replaced windows in material being a colour coated aluminium which will be designed to match the existing.





The timber on the upper floor elements of the south elevation will again be replaced due to the flammable content of the wall and the cladding system will be to match the north elevation.

The timber vertical support at first floor level will be retained as this does not form part of the external wall construction.

The first floor walkway on the north elevation will be retained as far as the existing column position including handrail and horizontal concrete banding with a step in the timber elevation in the area of the new first floor extension required for the bedroom numbers.



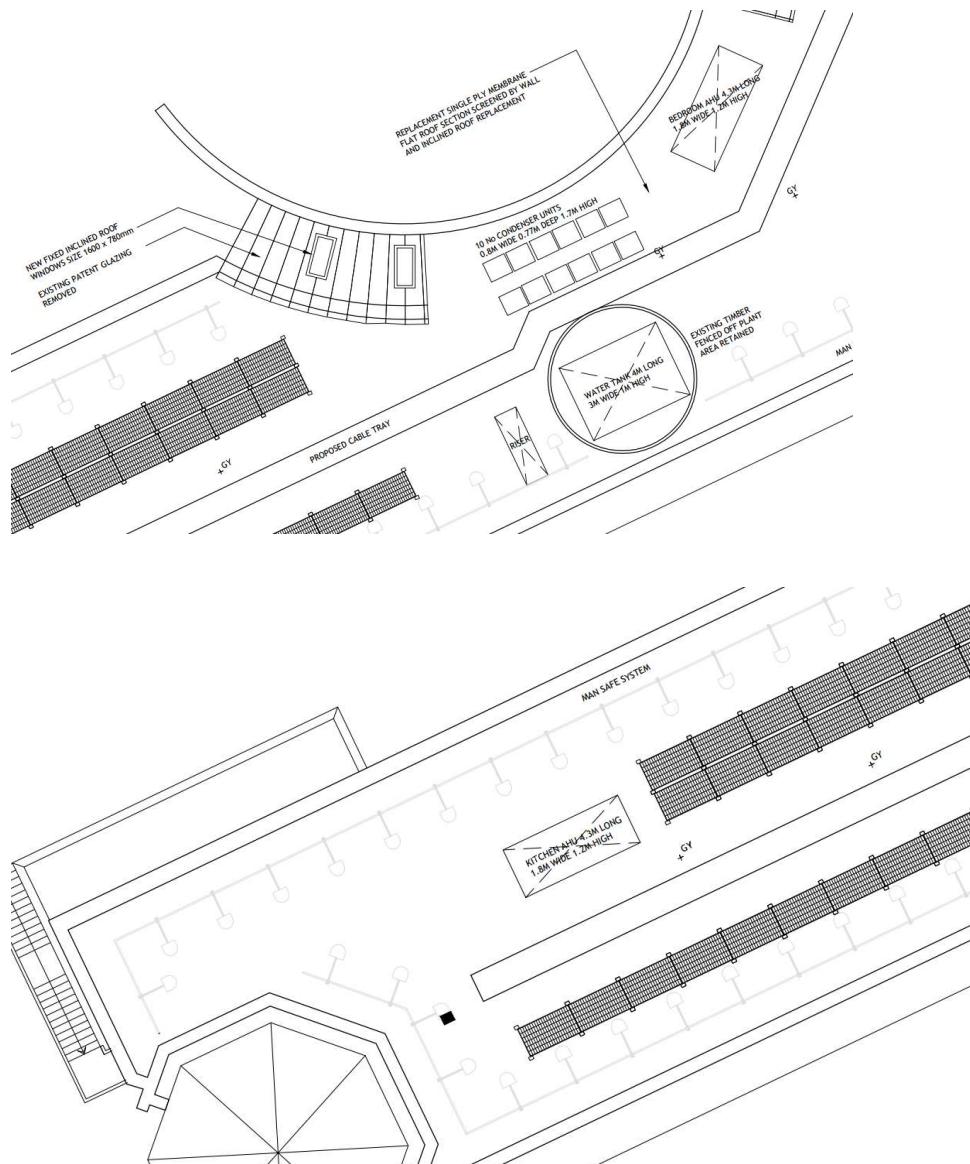
The previously proposed flank stair has been removed from the scheme and a similar cranked staircase will be incorporated to correlate with the previous design.

The rotunda or conservatory element of the proposal will be completely renovated to current Building Standards due to its deterioration and investigations/meetings are being held with glazing manufacturers to establish the exact detail and framing that can be used around the rotunda as a replacement system.

Once established these details will be submitted as part of the planning application and due regard to the existing fenestration is being considered.

The roof top plant has been carefully considered with screening and site lines and the location of equipment has been positioned to reduce its visual impact and further details of the equipment are indicated on the roof plan drawing.

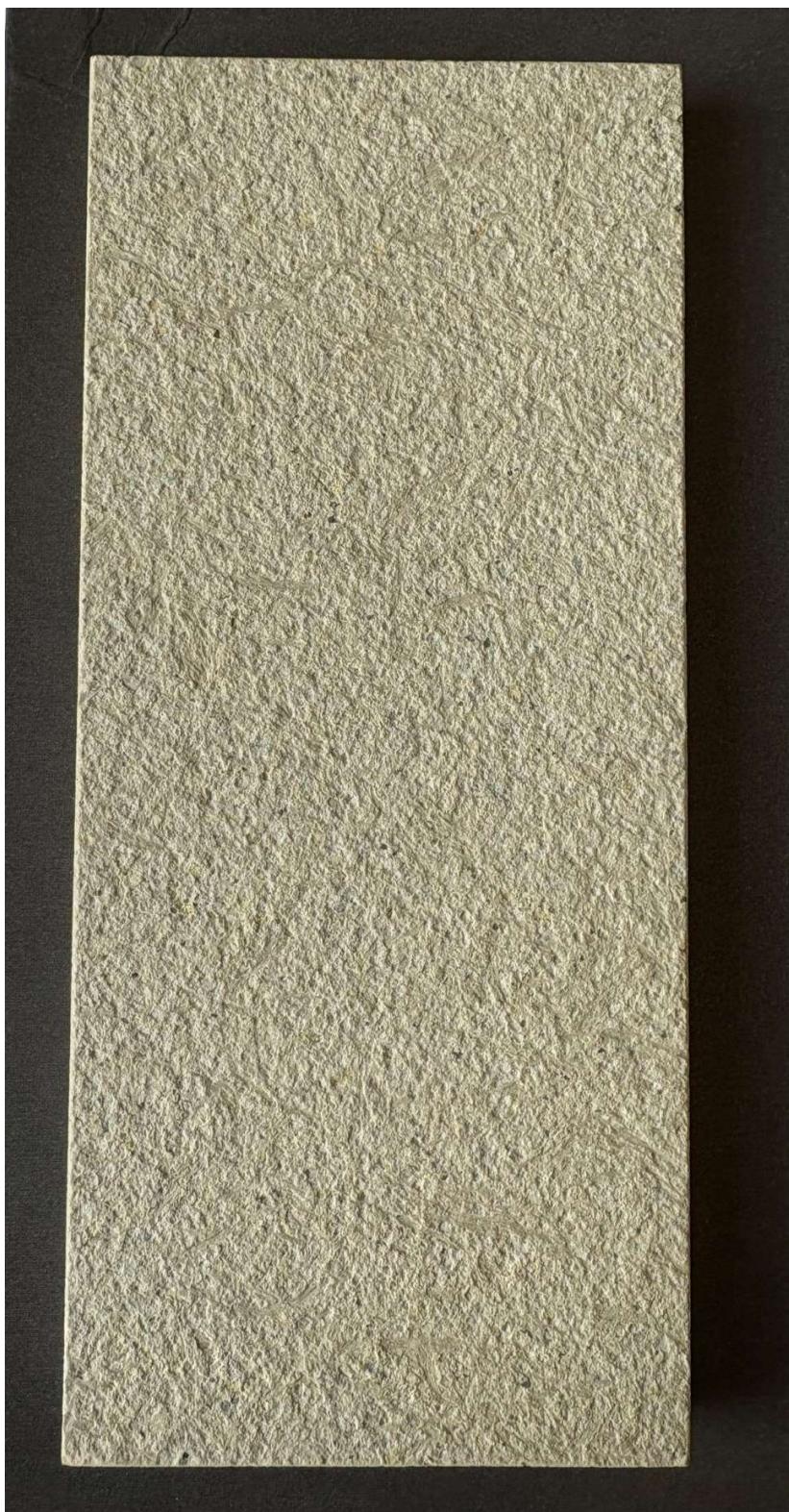
The existing water tank and timber enclosure will be retained in its location but re-clad with timber. This water tank enclosure also screens the condenser units required for the scheme which are set back behind. All other redundant condensers and vents are being removed and the roof being completely replaced. An air handling unit will be required for the kitchen extract and details for this will be provided.



Example photo of concrete column and panel to be retained.



Concrete cladding sample panel Petrarch smooth matt



Timber effect cladding panel Cedral c21 Walnut Brown

