

DESIGN & ACCESS STATEMENT

AN ASSESSMENT OF THE PROPOSED DESIGN & ACCESS CONSIDERATIONS TO ACCORD WITH HILLINGDON BC PLANNING POLICIES.

PROJECT ADDRESS: **PROPOSED ALTERATIONS TO EXISTING FORMER PUBLIC HOUSE AT
The Arena, Stockley Park, Bennetsfield Road, West Drayton UB11 1AA.**

PROJECT DESCRIPTION: **Conversion of former Public House to Restaurant including
Alterations & Extensions within an Existing Commercial Unit**

DOCUMENT REF: **1126-S01-01** Revision 00 (Planning Application)

No.	ISSUE TYPE	REVISION NOTE	DATE OF ISSUE
-	PLANNING	Planning Application submission to LPA.	09.08.2023



The Arena.

1.0 INTRODUCTION

This proposed application constitutes the conversion of a former sui generis public house to a class E(b) restaurant inclusive of alterations & extensions to an existing commercial unit at The Arena, Stockley Park. The application also includes alterations within the existing car park to extend the parking area to the front of the building & to relocate the binstore area.

This intention is to create a standalone restaurant within the context of a mixed retail & leisure development which serves the existing Stockley Park business park & commercial sector.

The proposals are composed of the following.

- Conversion of the existing Ground floor Premises from a former, now vacant, Public House to Restaurant.
- Extension of the footprint to the west side of the existing building.
- Creation of a new entrance together with entrance canopy.
- Relocation of the existing steel escape staircase within a new enclosure.
- Externally the proposed parking & road access will reuse the existing pedestrian & vehicular accesses from the existing car park.
- The relocation and enlargement of the shared binstore to a more central location.
- The removal of the existing inclined high level patent glazing surrounding the Rotunda & replacement with a new roof & glazed roof windows inclined at a pitch to match the existing glazing.

2.0 BACKGROUND

The Arena building is situated with a mature business park developed in the 1980s providing local leisure, retail & hotel services. The proposal site is located to the North of the Business Park & on the south of a golf course hence is central to the Stockley Park area.

The site is placed within the London borough of Hillingdon is not part of, nor is adjacent to, a conservation area.

Visually the Arena is part of a landscaped zone which is composed of mature trees, shrubs and lakes which help to regulate ground water levels contributing visual amenity & character to the main approach into the Business Park.

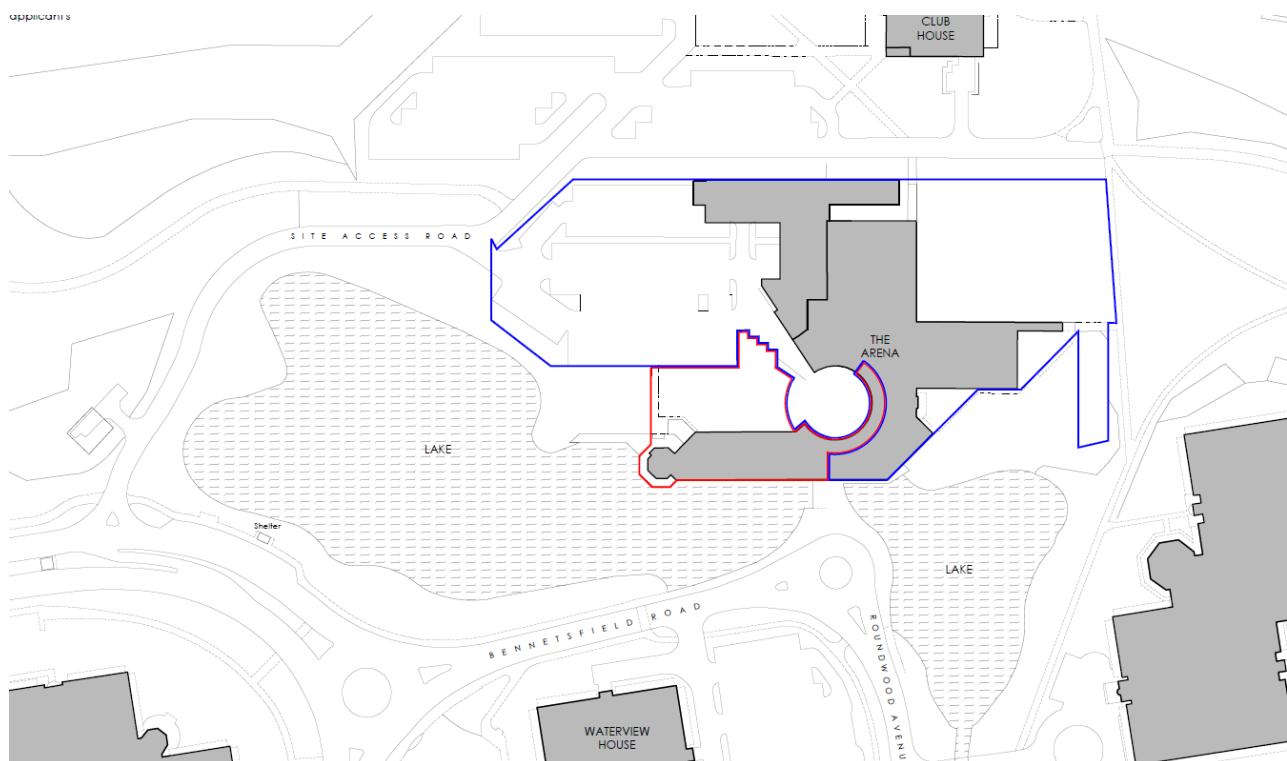
The site is very public & visible from Bennetsfield Road which is a major entry point into Stockley Park, the approach into the Arena parking is via a service road accessed directly off Bennetsfield Road.

Pedestrian access is provided to the south side of the Arena through a dedicated pedestrian approach from Bennetsfield Road.

The Arena building is separated into three wings which extend from a central open rotunda and accommodate a health club, Travelodge hotel, Costa coffee & assorted shops together with a former Wetherspoons Pub.

Due to its architectural significance & position within the green belt the Arena has been designated as a locally listed building by Hillingdon council and was adopted on 27th May 2010.

3.0 DESCRIPTION OF THE SITE & SURROUNDING AREA



The Arena is a multi-purpose development located between the Golf Course & the Business Park forming a social heart to the park.

The building is a two-storey building at ground & first floor level which is approached via two routes. The pedestrian route is from Bennetsfield road over a broad bridge entering a wide pedestrian tunnel which directly enters the central Piazza area. The vehicular access into the car park is via a service access road from Bennetsfield road. Vehicle users are directed into the car park area which provides pedestrian access directly into the Piazza.

The central open rotunda known as the 'piazza' forms the heart of the building around which the various small shops, cafes, health club entrance, public house are placed. The hotel entrance is located just off the Piazza on the pedestrian route leading to the north side, hence is served by the facilities within the piazza rotunda.

The Arena building is divided into 3 main wings. The East wing houses the health & fitness club, the North wing forms the hotel facility & the south range/west wing house the former public house at ground floor & offices at first floor. Each wing radiates from the central piazza.

The Arena building is placed on the north side of the lake and is bounded by landscaped grassed zones on the East & West sides, with a car parking area for 185 vehicles located on the north/west corner of the site. The Car parking zone contains 12 accessible spaces, 8 cycle spaces, a motorcycle parking space & four electric vehicle/charging spaces. The hotel maintains its own 8 cycle spaces in a secure arrangement.

The overall Site Area is 0.19 Ha (shown outlined in Red & Blue on the submitted plan) and building footprints are defined on the submitted drawings.

4.0 DESCRIPTION OF USE

The Application changes the previously established 'sui generis' use as a public house to 'Class E(b)' Restaurant use.

Currently the Public House has been vacant for many years hence the proposal will provide a more effective use of the unit by accommodating a restaurant facility that will provide an amenity complimentary to the hotel & other on-site facilities.

The design includes proposals to extend the floor area of the restaurant on the west end of the footprint together with a relocation of the escape staircase within a new enclosure.

The existing car park will benefit the overall use of the shopping facilities together with the new restaurant.

The new restaurant will face onto the car park providing a presence onto the main vehicular approach, hence will be largely screened from the adjoining amenity areas until the site has been entered either by the pedestrian or vehicular approach routes.

The use of the unit as a restaurant being similar in nature to the former public house is in keeping with its position within the Arena complex as a hub for services within and outside of the Stockley Park business park.

The proposed use will be appropriate to the location since the use of the land as a public house had become uneconomic & its replacement with a new restaurant facility will be complimentary in purpose.

The resulting design is considered to contribute positively to the locality.

5.0 LOCAL PLAN POLICIES

5.1 DESIGN

5.1.1 Design & Materials stating:

The proposed alterations & extensions to the building will be composed of additions forming a new entrance porch, a restaurant extension and a relocated escape staircase.

The combination of materials uses new decorative dressed blocks to match those used elsewhere in the development, together with new standing seam & polyester powder coated aluminium materials appropriate to the intended use of the restaurant.

The materials are sympathetic to the existing modern building & materials create a high-quality design incorporating simple detailing to integrate with the existing concrete panels and storey height panel openings.

The heights of the porch & extension are limited by the existing building spandrel panels, which form a strong horizontal element along the length of the elevation. When viewed from the car park this maintains a similar visual scale throughout the elevation.

The existing entrance into the unit will be relocated & moved more centrally to the elevation.

The new porch & canopy design will reflect the nature of the restaurant as a Japanese & pan Asian themed restaurant/lounge/bar. Hence, the canopy design will be a shallow flat roofed projection in the style of "Torii" style gateway with upswept corners & a strong horizontal appearance complementary to the horizontal lines of the existing building. The columns, horizontal & eaves members will be clad in powder coated aluminium & the roof will be clad in single ply membrane for durability.

The porch & canopy design has been constrained to fit within the zone of the horizontal spandrel panel at first floor level.

The existing timber wall panels fronting the car park shall be replaced with a fret cut ventilated metal screen with an irregular circular hole pattern. This will extend across the full frontage of the unit into the restaurant extension.

The restaurant extension replaces an existing covered binstore which occupies a similar footprint to the proposed extension.

The extension materials use lightweight standing seam metal roofing & powder coated gutters atop walls clad in the ventilated metal screen. The extension design has been constrained to fit within the zone of the horizontal spandrel panel at first floor level to preserve the strong horizontal elements of the existing facade.

The ventilated screens are incorporated into the design since these are needed to support the 'shisha' facility which necessitates achieving a minimum free ventilation of 50% of the wall area.

The ventilated screens will also be partially concealed by a faux hedge to create a ventilation & secure zone adjacent to the ventilated screen walls.

To accomplish the extension, it is necessary to relocate the existing exposed escape staircase adjoining the glazed 'Orangery' spire.

This is achieved by the construction of a new staircase on the north frontage which uses an extension of the open steel balustrades to match the existing semi exposed access deck. The staircase descends into a new masonry enclosure faced in dressed forticrete blocks to match the existing blocks used extensively elsewhere in the arena complex. The height of the walled enclosure matches the height of the underside of the 1st floor spandrel to maintain scale. The staircase fits within a single parking bay to provide safe egress into the car park area.

The solid masonry enclosure provides protection from fire to maintain a safe effective escape route at ground level.

The location of the staircase is sited to minimise the escape distances at first floor that are necessary for compliance with the building regulations.

The restaurant will require additional services equipment such as ventilation & cooling plant which will be placed within an existing room at first floor level, hence will have no visual presence outside of the existing fabric.

The proposals only constitute a modest increase in height at ground floor level with limited sightlines from the car park hence there will be no skyline impact issues.

5.1.2 Refuse & Recycling collection:

Provision has also been made for new external bin & cycle storage within the car park area to provide a more central location for the collection & storage of waste & recycling that is suitable for all retail units within the Arena complex.

5.1.3 Parking & Vehicle Storage:

The new restaurant will make use of the existing car parking.

Currently the overall number of car parking spaces within the Arena site amount to 185 spaces in total; with 25 of these spaces contained within the application site encompassed by the red line.

The relocation of the staircase & construction of the restaurant entrance canopy reduces the number of spaces by 4 spaces reducing the overall number to 181 spaces with 21 spaces contained within the application site within the red line.

6.0 AMOUNT OF DEVELOPMENT

6.1 General.

Review of the planning constraints led to the conclusion that expansion into the former services intake room and a modest extension of the building at ground floor would provide the restaurant with sufficient footprint for their intended purposes.

The built extensions are restricted to the existing shared binstore footprint at the west end of the building and to the 4 parking spaces omitted to relocate the escape staircase and provide a central entrance into the restaurant.

By placing the entrance centrally to the elevation this provides more visual presence onto the car park.

Each location forms two natural positions wherein the extensions can be built whilst remaining subservient & complimentary to the existing building appearance.

6.2 Proposed Area.

6.2.1 Refer to the plans & elevations in this report below.
This forms the basis of the proposed new development.

6.2.2 Areas Schedule:

All Areas below relate to the Ground floor level.

i. Existing Former Public House.

Status:	Description:	GIA (m ²)	GEA (m ²)
EXISTING -	Ground Floor (Excluding External Binstore)	652.0	680.4
EXISTING TOTALS:		652.0	680.4

ii. New Restaurant as proposed overall area including extensions.

Status:	Description:	GIA (m ²)	GEA (m ²)
PROPOSED	Ground	750.5	783.4
PROPOSED TOTALS:		750.5	783.4

The Restaurant extensions included in the table above break down separately as below.

iii. Areas of Restaurant Extensions as proposed.

Status:	Description:	GIA (m ²)	GEA (m ²)
PROPOSED	Restaurant	82.4	85.7
	Reception/Entrance	16.1	17.3
PROPOSED TOTALS:		98.5	103.0

iv. Areas of staircase Extensions as proposed.

The Staircase extension is not directly related to the restaurant space, hence is listed independently below.

Status:	Description:	GIA (m ²)	GEA (m ²)
PROPOSED	Staircase	11.3	14.3
PROPOSED TOTALS:		11.3	14.3

Site Area: 0.19 Ha

7.0 LAYOUT

The proposed new restaurant will be located within the existing site boundaries and in the existing former public house unit.

7.1 SITE ACCESS

The existing pedestrian access that enters the Arena complex via the pedestrian bridge on the south side is unaltered.

All other pedestrian routes from the North & Northwest are unaltered.

The vehicular access, crossovers & parking are retained predominantly unchanged albeit with the loss of 4 parking spaces immediately adjacent to the proposed new entrance of the new restaurant.

The relationships of the existing road access, parking remain predominantly unchanged.

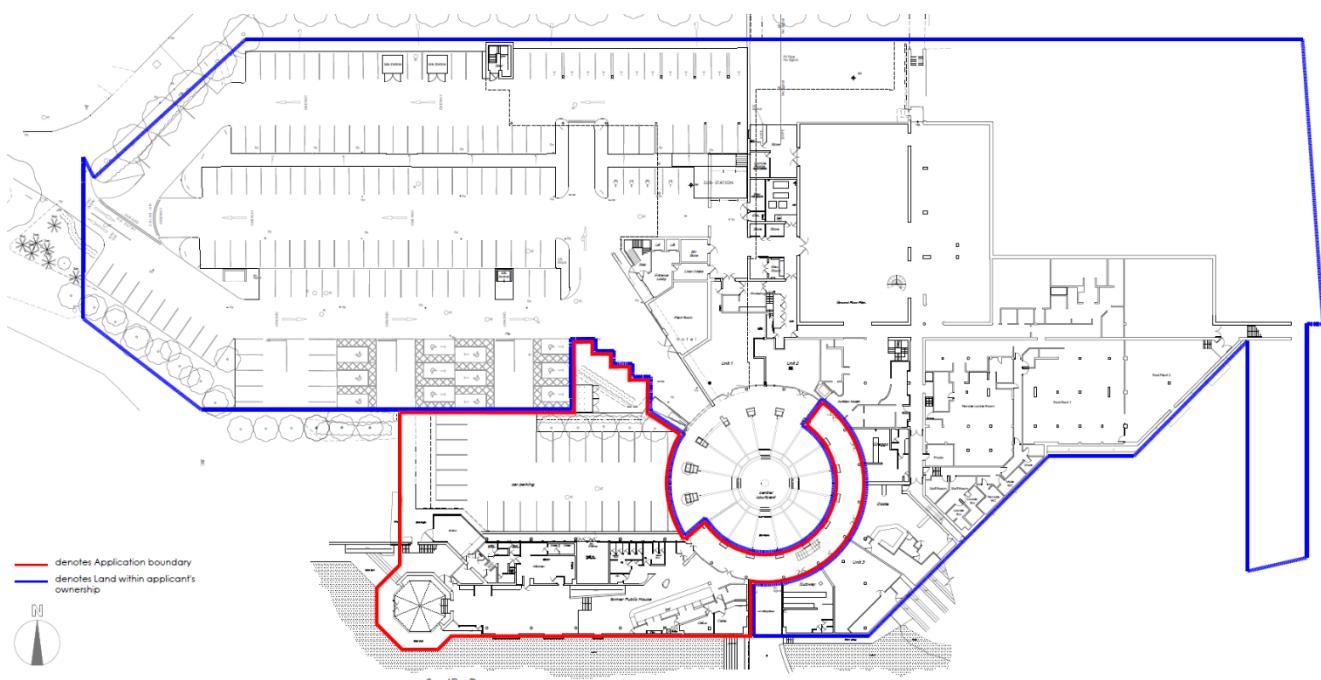
The refuse collection will be accessed from the existing parking layout albeit from a location more central to the car park for improved collection access & more central for serving the retail units.

The new Restaurant entrance is placed at the centre of the the north façade of the west wing of the Arena complex.

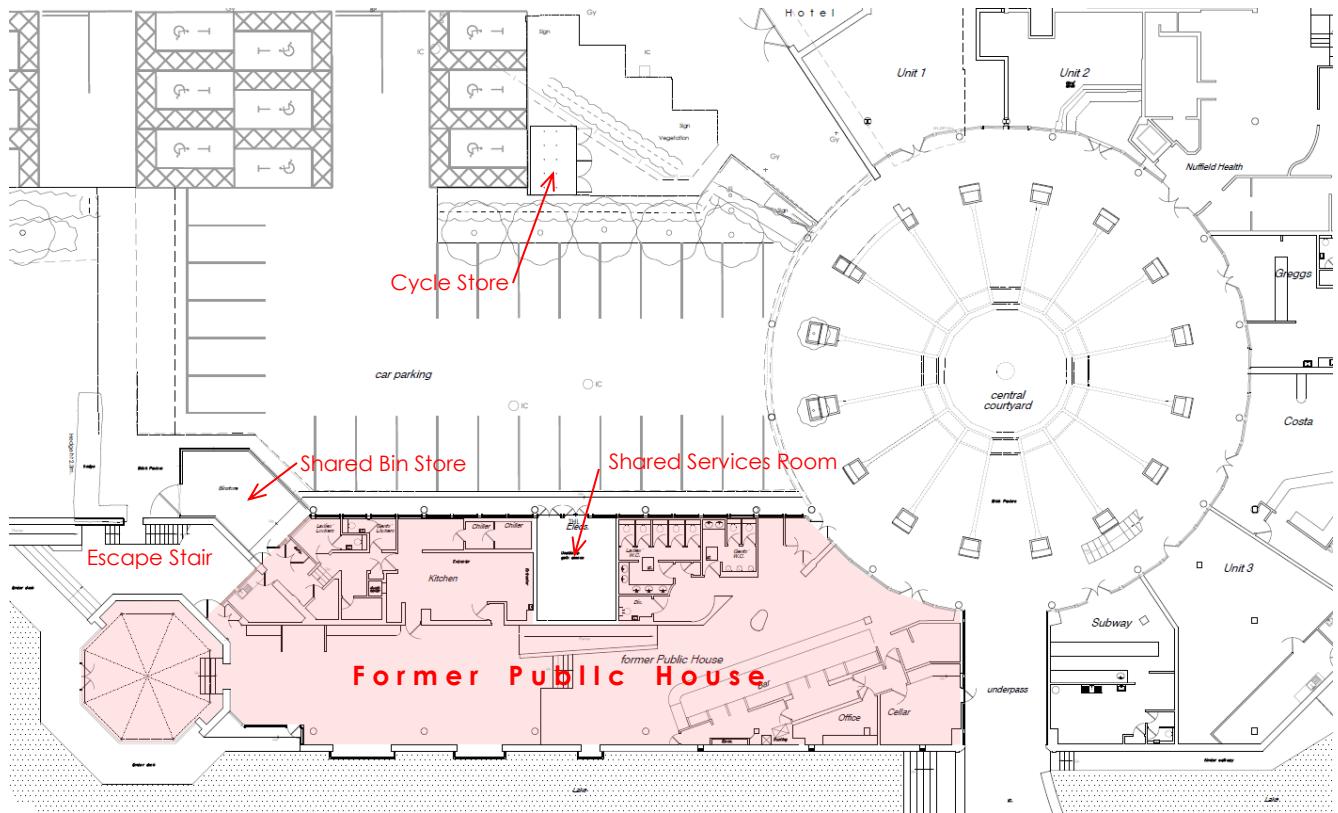
This provides direct access from the parking area with a strong visual presence that identifies the location of the restaurant to incoming trade from both the car park & the Travelodge Hotel adjacent.

The new entrance also grants the opportunity for a level access from the car park.

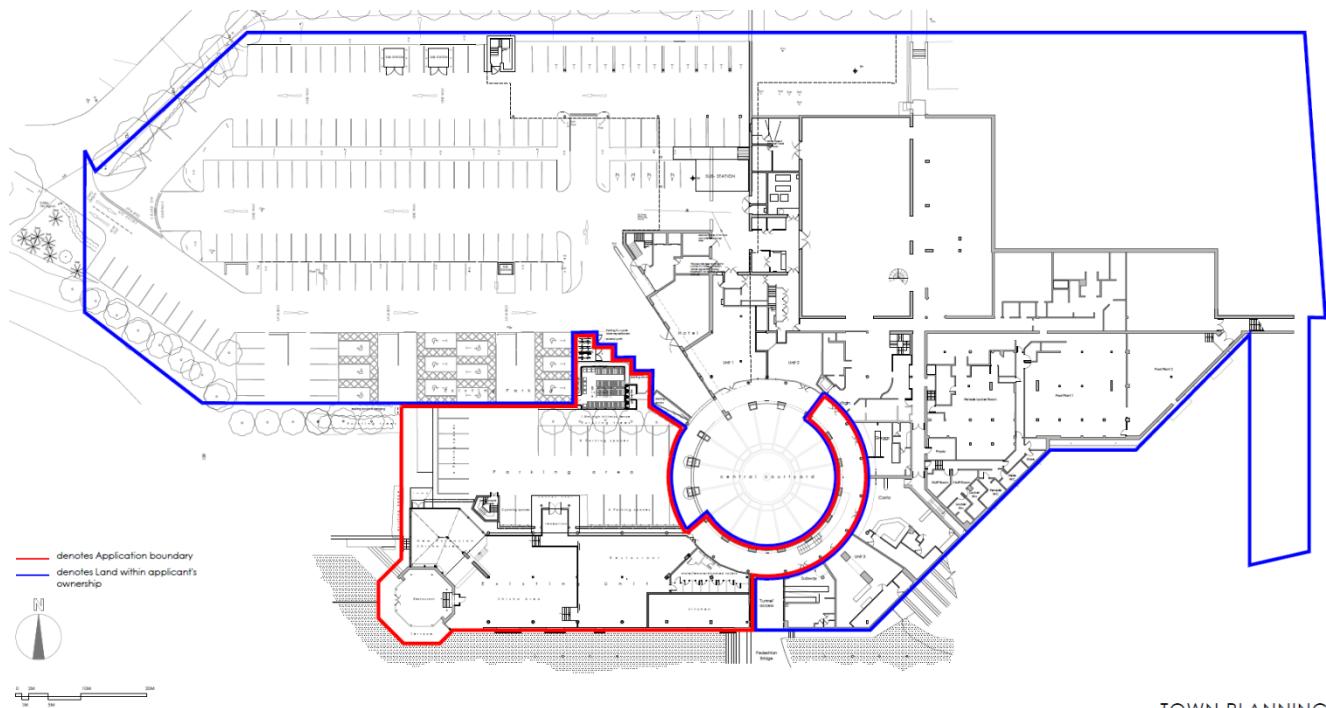
The existing fire escape staircase is removed & a new staircase is relocated along the front façade adjacent to the original location. This route is for escape only and not for general access.



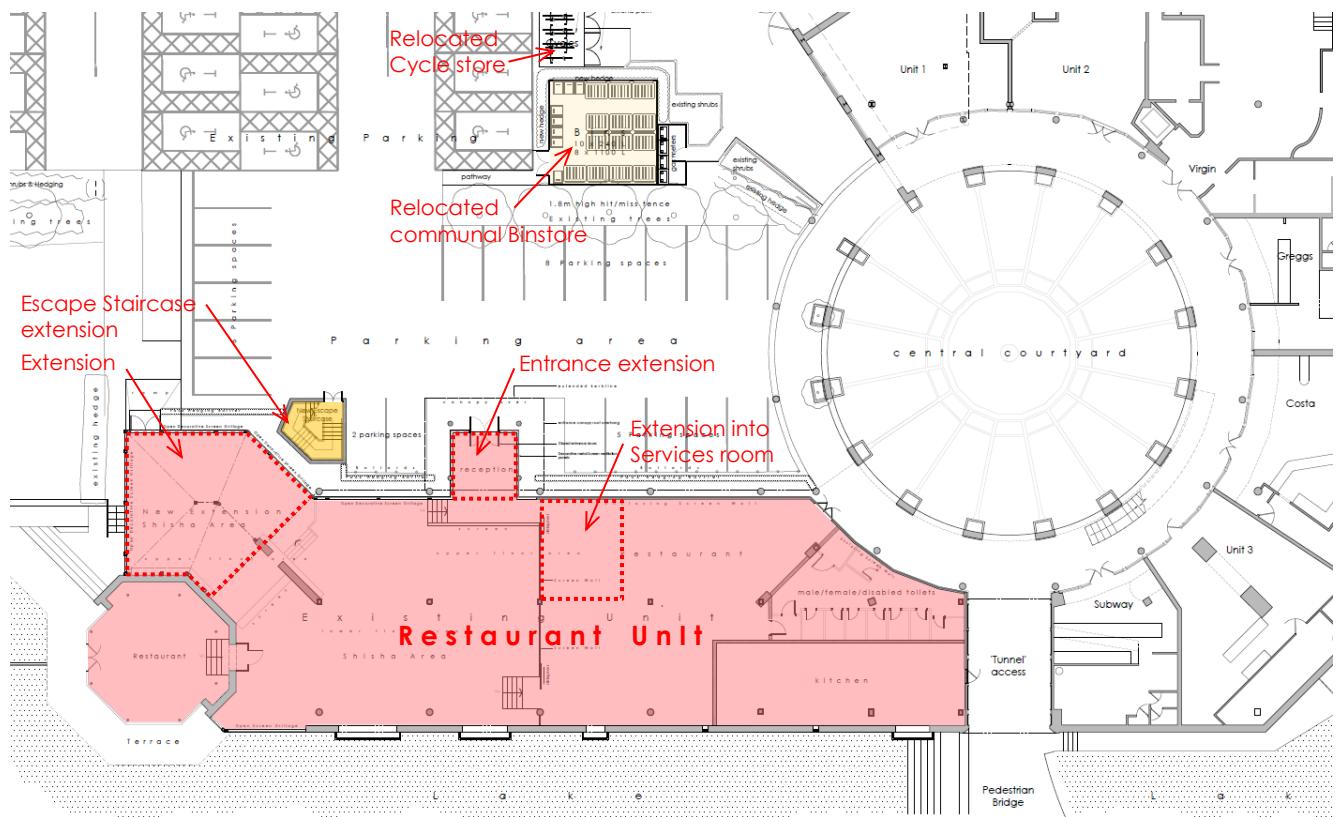
EXISTING SITE PLAN (OVERALL SITE)



EXISTING SITE PLAN (Partial Site – Former Public House)



PROPOSED SITE PLAN (OVERALL SITE)



PROPOSED SITE PLAN (Partial Site – Former Public House) showing cycle & bin storage.

8.0 SCALE

The submitted plans & elevations show the proposed building scale height and surrounding spaces within the site. See (Appearance below).

Existing Building - Scales:

The Arena complex has a long low profile that is further enhanced by its surrounding ground profiles.

The principal lakeside elevation is divided into two zones either side of the pedestrian/bridge entrance. This application is concerned with alterations to the west wing which is the lower side of the building elevation and is a maximum of two storeys high with a plant area above.

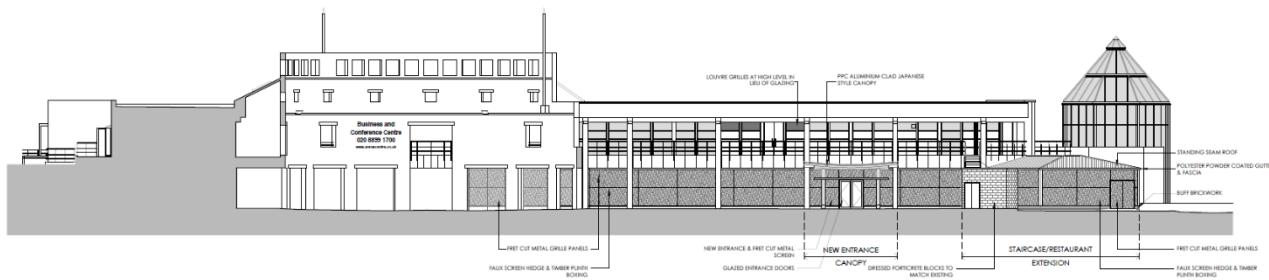
The views to the car park and landscaped zones of the West wing maintain the two storey appearance with strong horizontal elements created by continuous concrete spandrel panels at first floor & roof level parapet upstands. The walls & glazing that are framed by the spandrel panels at ground & first floor are formed out of full height timber & glazed screens which are dark stained.

Proposed Additions - Scale and form:

The elevations have been prepared to maintain the long low open character of the west & south wing of the arena complex.

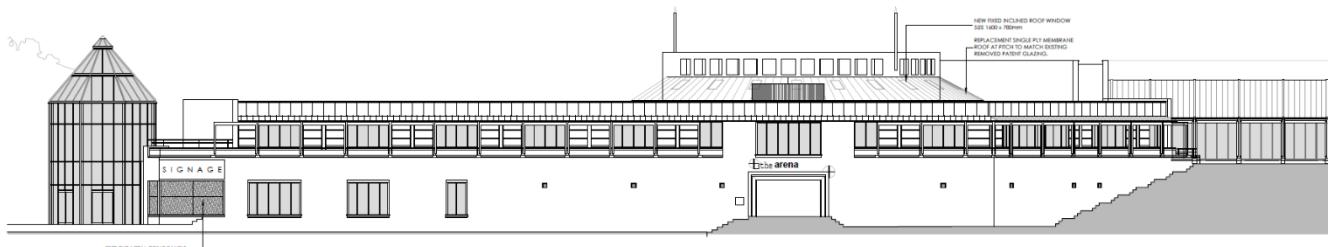
To preserve the strong horizontal elements of the existing facade the design of the new extensions have been constrained to fit within the zone of the horizontal spandrel panel at first floor level.

The key focal points of the rotunda & orangery will be retained to maintain the balance of the elevation. By limiting the heights & scale of the new restaurant entrance, restaurant extension & staircase extension to respect the first floor spandrel panel, this balance will be maintained.



Proposed North Elevation toward Car Park

The south (lake) elevation of the south & west wing will be predominantly unaffected with only a minor extension of the building that is limited and constrained within the existing overhang in place of a recessed window.

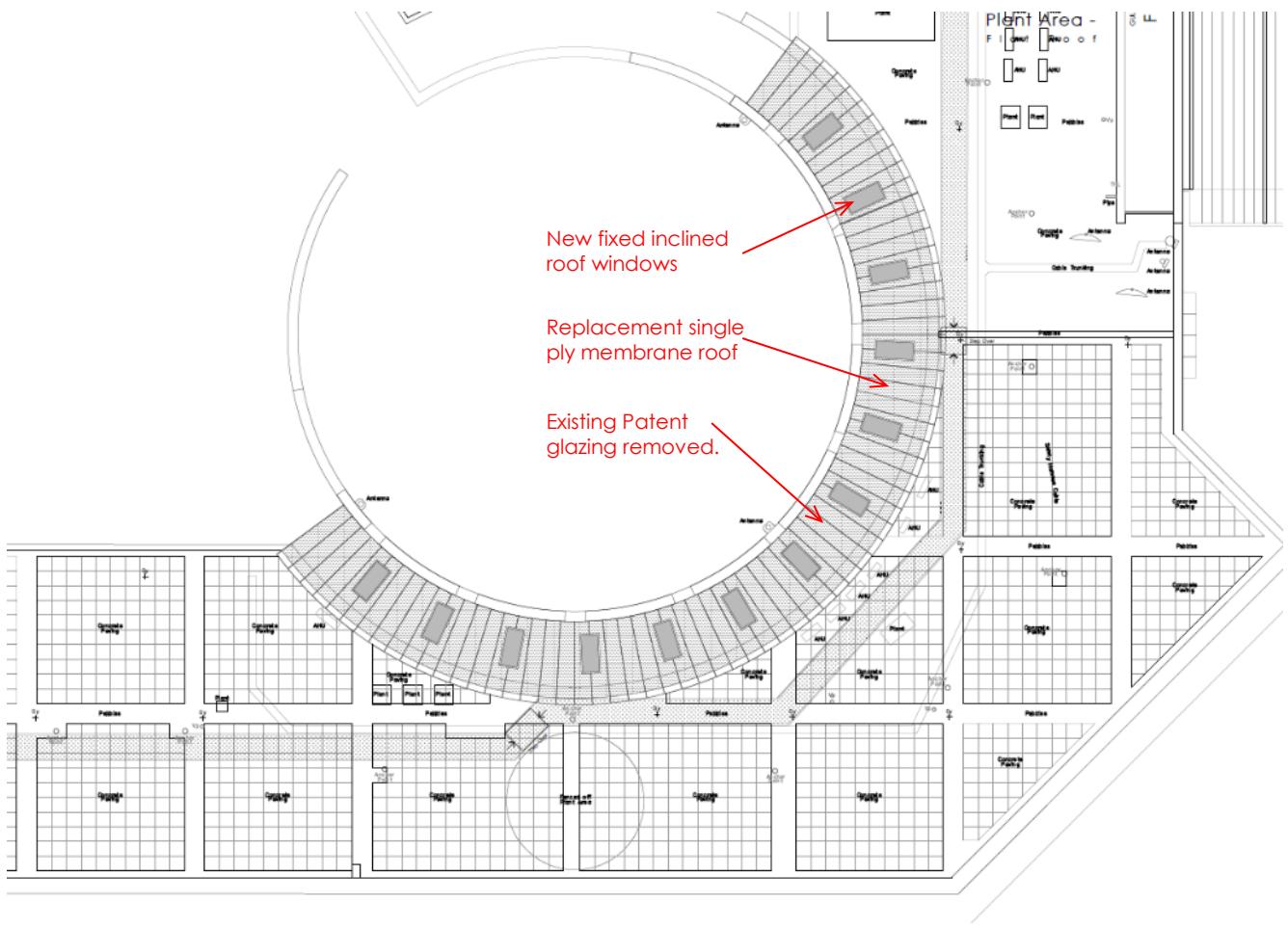


Proposed South Elevation toward Lake

The north elevation infilling walls & glazing facing the car park will be removed at the ground floor level and replaced with a new perforated metal panel for ventilation.

The panels will fully replace the full height timber frames infilling the existing openings. The new panels will be partially concealed behind faux hedge screens at ground level which provide a secure protected ventilation zone toward the car park.

New plant will be fully concealed within an existing services plant room with high level louvred vents in the existing wall to minimise visibility from the car park. Therefore, there will be no additional impact on the views from Bennetsfield Road.



Proposed Rotunda Roof Plan.

The existing patent glazing surrounding the rotunda at roof level has deteriorated and become unsafe. It is proposed to replace this with a pitched single ply membrane roof radiating in the same manner and with the same inclination in combination with equally spaced fixed rooflights at high level for natural illumination.

As previously stated in section 5.1.1 the design & materials draw references from the existing building, hence the scale and appearance of the buildings are appropriate & in context with the surrounding 2 storey commercial nature of the Arena complex, when viewed within the Street Scene.

9.0 LANDSCAPE

The proposed restaurant scheme has minimal effect upon the existing soft landscaping immediately surrounding the Restaurant unit, since the extensions are sited within hard paved areas facing onto the car park & over the existing binstore footprint.

With respect to the hard landscaping, 4 parking bays are removed to facilitate the new entrance lobby & canopy together with the repositioned escape staircase. No further alterations are proposed to the south side of the parking area.

The new shared binstore will require minor alterations within the context of the existing planting bed currently housing the cycle store.

The design re-sites the existing covered cycle store for 8 bicycles to a location adjacent to the north-west pedestrian route into the rotunda/piazza shopping area. The new binstore is placed in the middle of the existing planting bed beside the cycle store and is concealed behind a 1.8m high hit & miss timber fence that is screened on the west, north & east side by a tall hedge.

The Bin storage area allows for 10 x 240 litre wheeled bins & 8 x 1100 litre Eurobins, which have been sized to facilitate refuse & recycling for the whole Arena complex based upon multiple private refuse & recycling collections during the week.

10.0 APPEARANCE

Overall Integration with the existing Arena complex:

The single storey extensions integrate harmoniously with the existing building in terms of form & scale by utilizing the existing first floor spandrel panels to set the maximum ridge & parapet levels to the ground floor extensions.

The additions are not taller than the first floor access walkway, hence maintains a proportionate appearance to the existing structure by retaining the strong visual 'set-back' in the elevation.

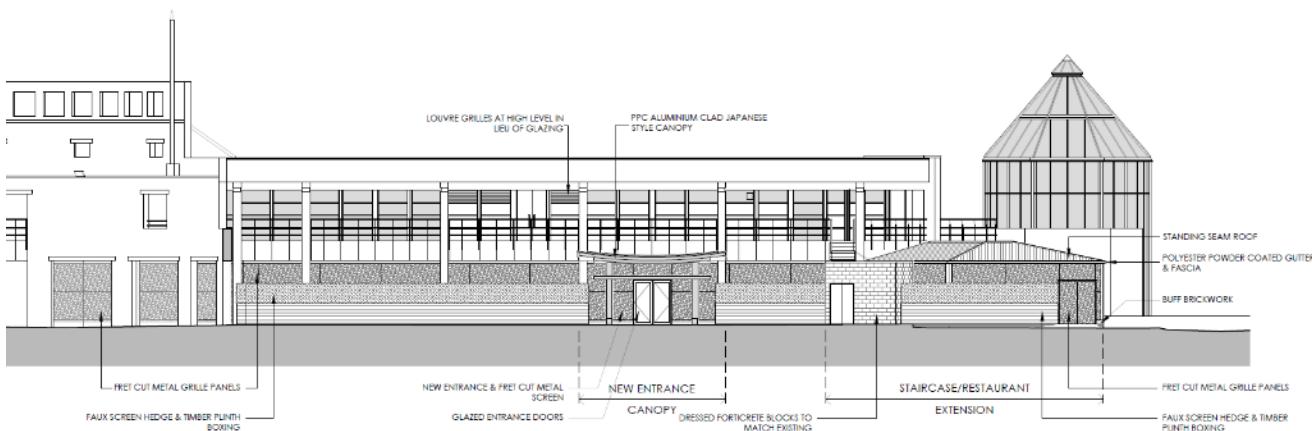
Although the new entrance lobby & canopy draws references to the Japanese 'Torii' style this integrates with the horizontal banding formed by the spandrel panels by remaining within the zone of the spandrel zone.



New 'Torii' Style Main entrance.

The restaurant extension uses a shallow pitched standing seam roof the eaves of which match the level of the underside of the spandrel panel & the ridge does not exceed the top of the spandrel/walkway.

The staircase extension is constructed using the same 'dressed' forticrete blocks as elsewhere in the complex siting the parapet level at a level which matches the underside of the spandrel panel behind.



Partial North Elevation (South & West Wing)

The proposed additions therefore retain the dominant horizontal appearance of the north façade of the south & west wing, hence are subservient to the existing building and maintains the visual composition of the original edifice.

Integration with major focal design elements:

The main design elements of the existing Arena complex are formed by the Rotunda/Piazza & 'Orangery' spire which are strong visual elements that 'bracket' the elevation of the south & west wing.

The extensions pay due respect to this hierarchy of form since the extensions are single storey & do not exceed the level of the first floor covered walkway or the wall parapet at the base of the north side of the 'Orangery' spire.

The positioning of the new Lobby entrance below the 'torii' style roof is placed centrally to the elevation hence does not detract from the existing focal point of the rotunda.

This location also enhances the visibility of the restaurant entrance within the car park guiding visitors to the restaurant.

Materials:

The existing building uses a variety of different materials across the whole of the Arena complex.

Hence the materials have been selected for 'landlord's' elements that are clearly outside of the restaurant, to use components that can be found elsewhere within the development particularly.

Specific elements that are more directly related to the image of the Restaurant draw their reference & selection according to their purpose.

It is proposed to construct the landlord's escape staircase enclosure from first floor level using 390 x 190mm 'dressed' forticrete blocks to all sides of the enclosure. The walls will be capped with a concrete parapet coping to match. The staircase will be formed in reinforced concrete with balustrading & handrails to match the existing open steel design.

The restaurant entrance is a visually separate component to the existing building hence this element will be constructed using powder coated aluminium to the roof eaves, exterior ceiling soffit, columns and horizontal tie members. The walls will be infilled using the powder coated perforated panels with powder coated aluminium glazed entrance doors. The roof design shows an upward curved shape for which a single ply membrane has been selected.

The restaurant extension materials are proposed to use lightweight standing seam metal roofing similar to the barrel vaulted roofs elsewhere in the Arena complex albeit using a hipped pitched roof form.

The eaves gutters use powder coated box gutters to the perimeters of each of the roofs.



Powder coated Perforated Screen



Forticrete blocks to match existing.



Faux Hedge

The walls & doors will be clad using the powder coated ventilated metal screens which are necessary to cross ventilate the 'shisha' facility which requires a minimum free ventilation of 50% of the wall area. The bottom courses of the walls are formed using buff brickwork below floor level.

The ventilated screens will also be partially concealed by a faux hedge to create a ventilation & secure zone adjacent to the ventilated screen walls.

The recessed window facing the lake will be removed & infilled to the face of the building line with the powder coated ventilated metal screens.



Powder coated Plant Louvres set within the existing Wall.

The plant room at first floor fully conceals the new plant. Ventilation of the plant room will be achieved by the use of powder coated louvres set within the existing wall in place of the high level glazing to minimise visibility of the

plant screen from the car park. Hence visibility of the plant will have minimal impact on the Car Park, the Lakeside & Bennetsfield Road.

The existing roof level patent glazing surrounding the rotunda has deteriorated.

It is proposed to replace this with a pitched single ply membrane roof radiating in the same manner and using the same inclination in pitch on a timber roof.

High level natural illumination is provided with equally spaced fixed powder coated aluminium framed rooflights. Views of this element of the building are constrained considerably due to a lack of available sightlines from ground level.

The existing views into the site from the car park entrance across the landscaped zone are very open, hence the limitation of the extension height to single storey will permit partial concealment behind the existing hedges & planting until the car park is fully entered, hence it is considered that the visual impact will be proportionate to the existing views.



West facing View across lake from service access road.

Views across the car park are proportionate and relevant to the presence of the restaurant wherein visitors will be able to clearly identify the location of the Restaurant entrance which is appropriate to its trading function.

11.0 ACCESS

11.1 VEHICULAR & TRANSPORT

Access into the site remains unchanged from the existing arrangement and is predominantly level with no extreme changes in gradient.

Private & commercial vehicles can enter and egress the site without change, hence the facilities for the new restaurant and repositioned bin enclosure can be serviced by delivery & refuse collection vehicles.

Proposed parking & cycle storage design maintains the existing criteria with only the loss 4 parking spaces immediately in front of the restaurant.

11.2 STREET ILLUMINATION

The car park is currently illuminated hence it is proposed to retain this in its current configuration.

11.3 ELECTRIC VEHICLE CHARGING:

Electrical vehicle charging points are already provided within the site hence it is proposed to retain this in its current configuration.

11.4 ACCESSIBLE LAYOUTS

All external areas are left unchanged from existing & provide a level approach across the whole car park. Designated disabled parking bays are provided within the existing layout.

All buildings have been designed with specific regard to incorporating the following features as outlined in the Building Regulations Approved Document M.

The alterations are designed fully to achieve the standards described under Approved Document M providing a level threshold, providing entry to the building. Mechanical conveyance between levels will be the subject of a separate tenant layout.

Sanitary facilities will be provided with a suitable Doc M pack disabled WC.

12.0 CONCLUSIONS

The proposal comprises the conversion of an existing 'sui generis' class Public House to class E(b) restaurant use inclusive of alterations & extensions to an existing commercial unit at The Arena, Stockley Park.

The proposed elevation & scale respects the existing features of the elevations and the new single storey extensions are coordinated to integrate with the strong horizontal elements of the south & west wing remaining subservient to the overall building and maintaining the same low profile.

The scale of the elements of the new extension designs draw their strongest references from the existing forms to maintain the overall concept of the building whilst achieving a distinctive look appropriate to the purpose of the tenant.

The new restaurant & revised Refuse enclosure will be accessed via the existing car park using the existing traffic flow system for commercial delivery/collection & private vehicles.

The existing parking facilities provided are retained albeit with the loss of 4 parking spaces immediately fronting the new restaurant.

Consideration has been paid to the siting of the restaurant within the context of a business park on the premises of the existing Arena complex. Hence the scheme is considered appropriate to the overall function of the Arena site.

Visually the building is of a high quality design befitting the location & setting of the site. This in turn should be considered when assessing the above.

This 'Design & Access Statement' demonstrates that the proposal would result in a sensitive development that would relate well with the character of the area & will maintain existing arrangements for access with surrounding users within the Arena complex.

For the reasons stated within this statement it is requested that the Planning Department support this application.

- END -