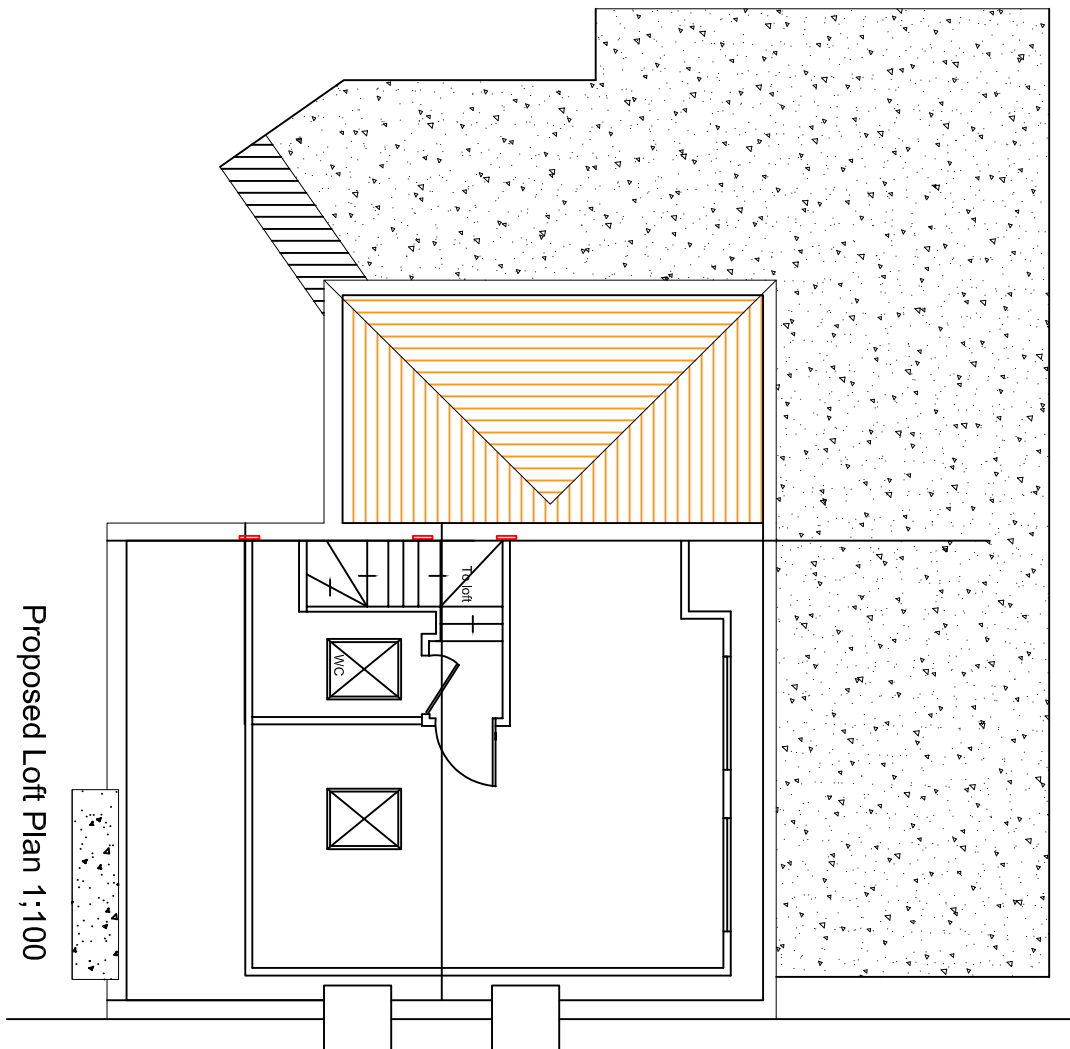
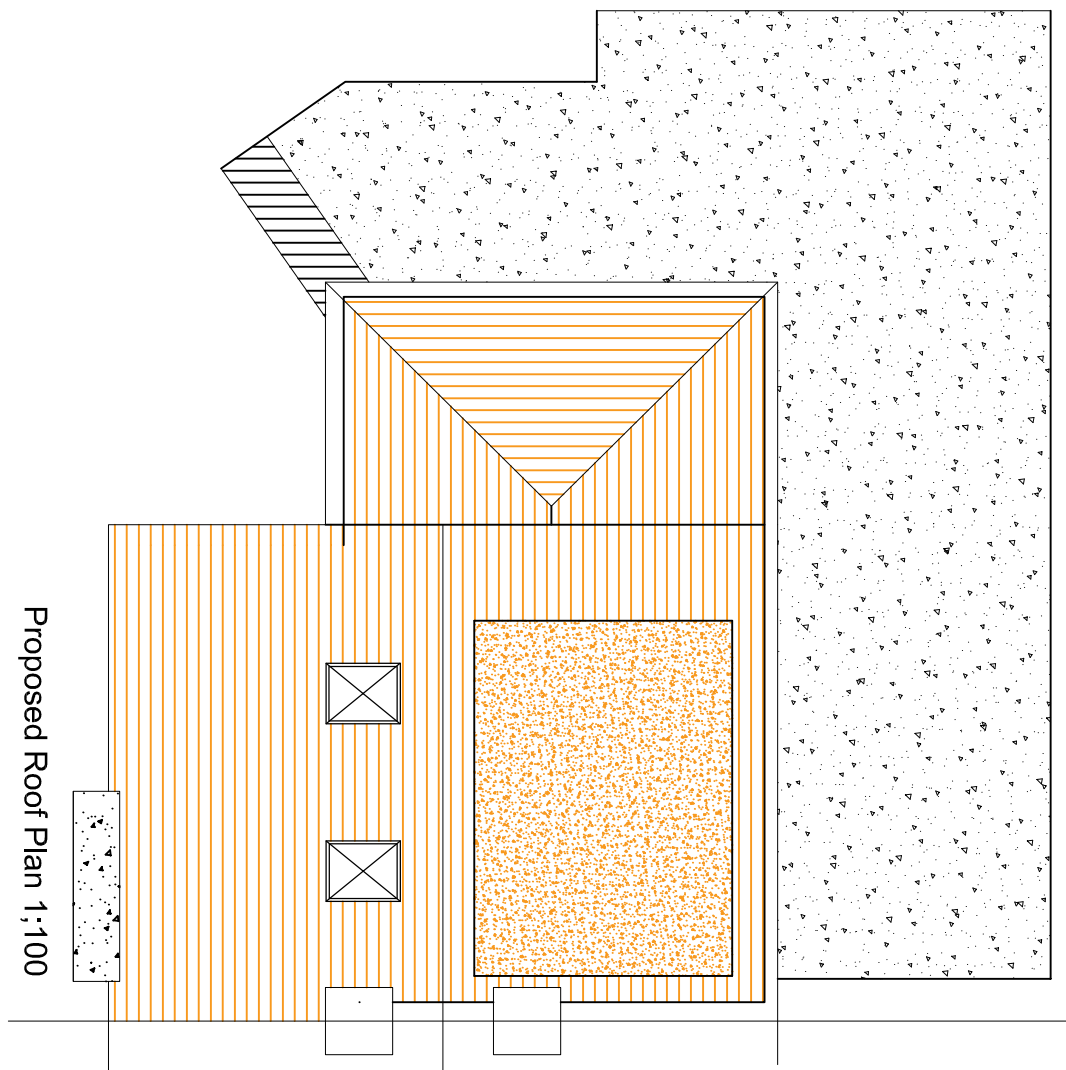
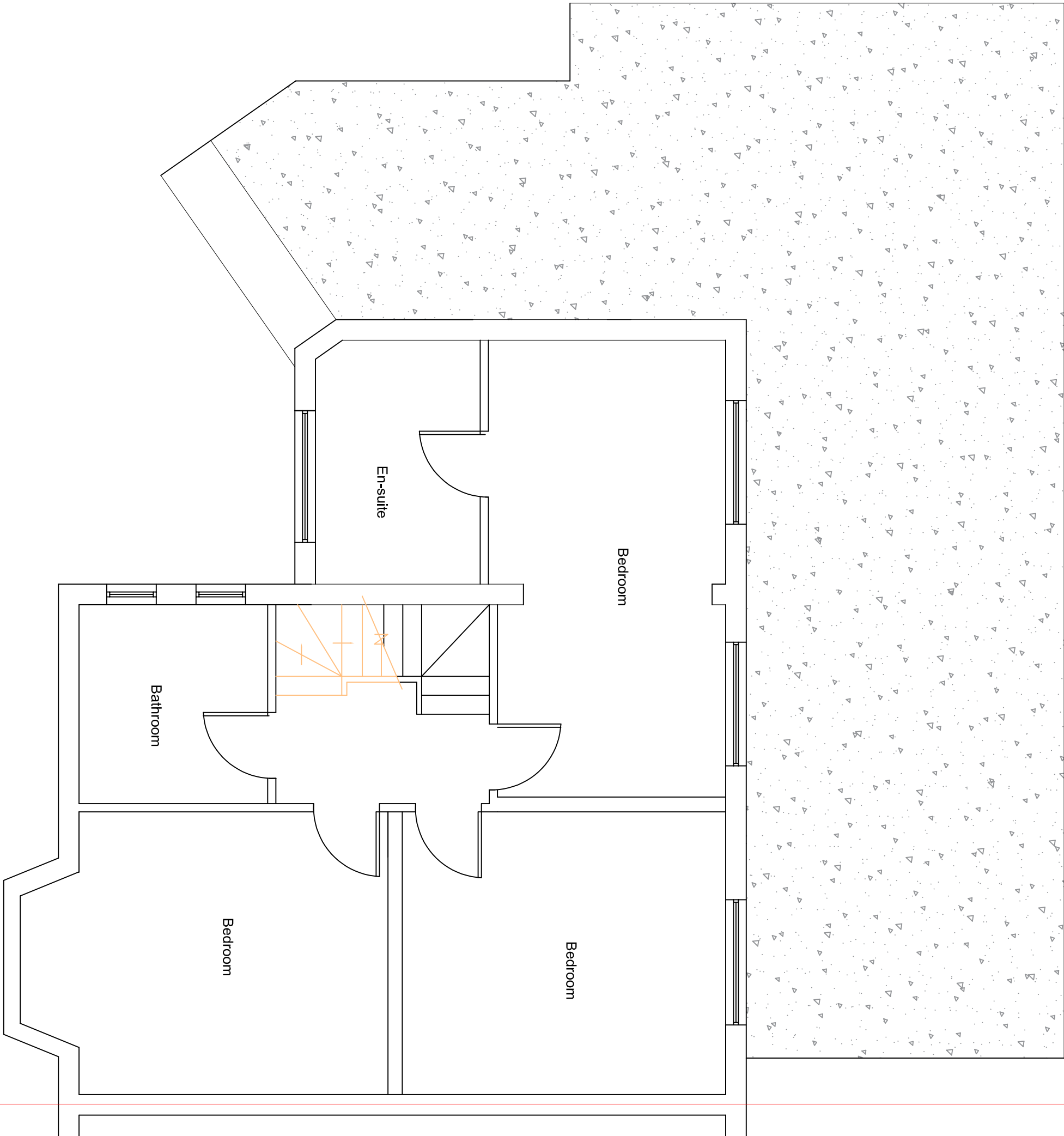
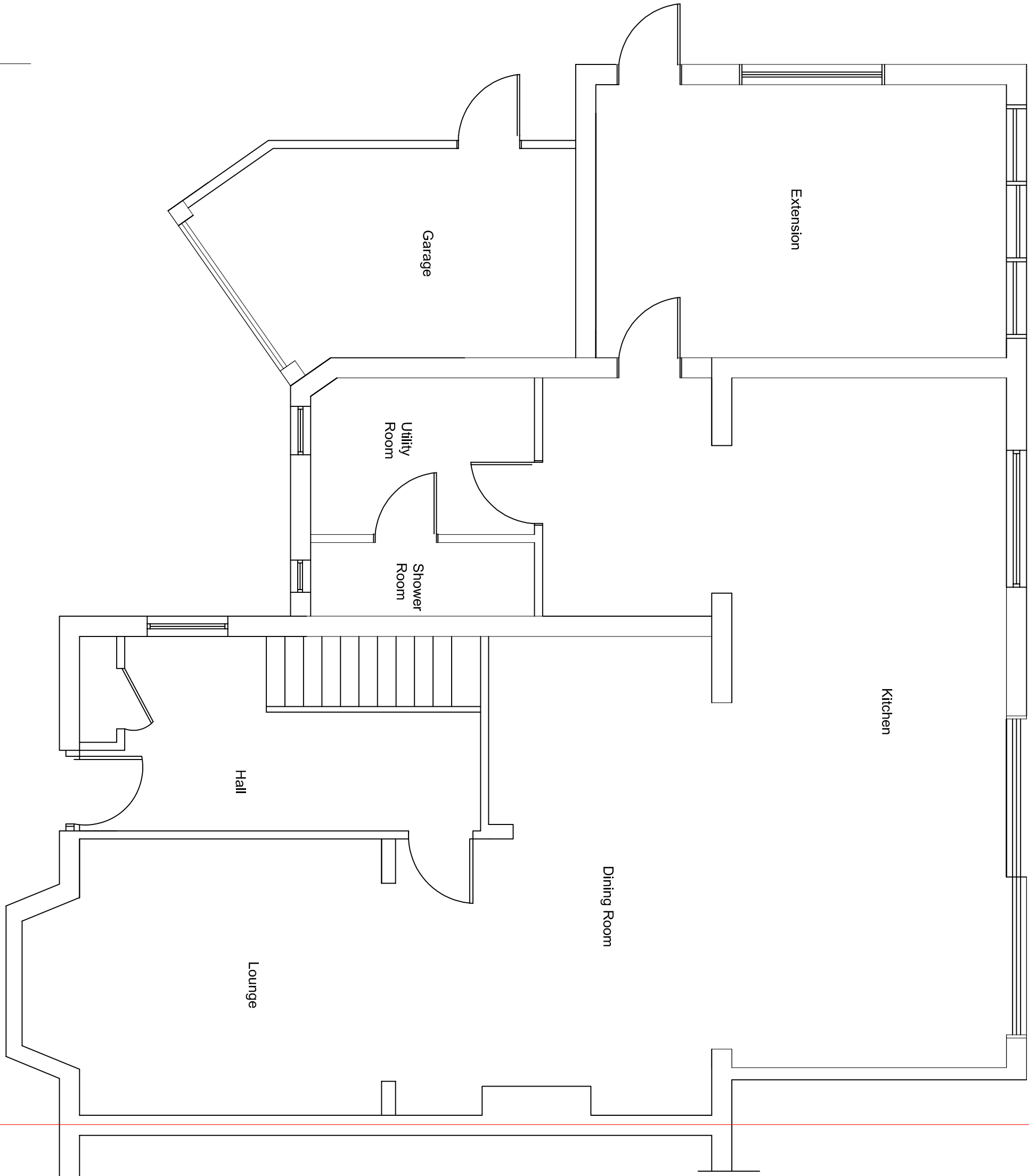
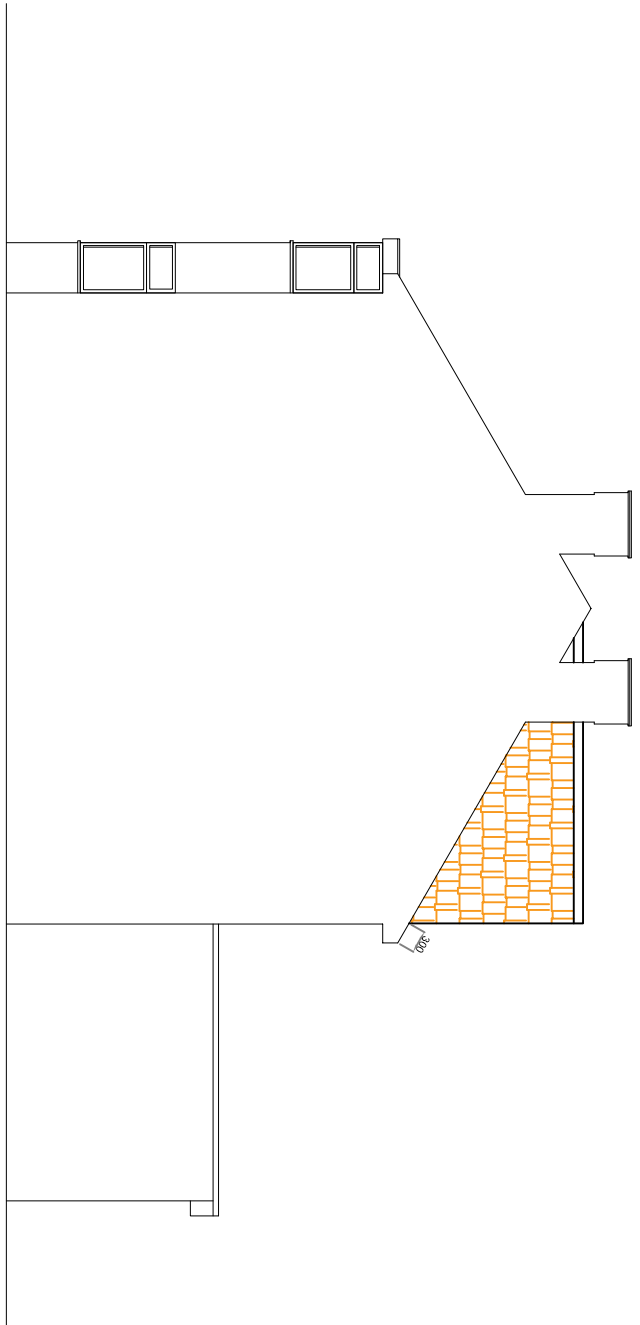
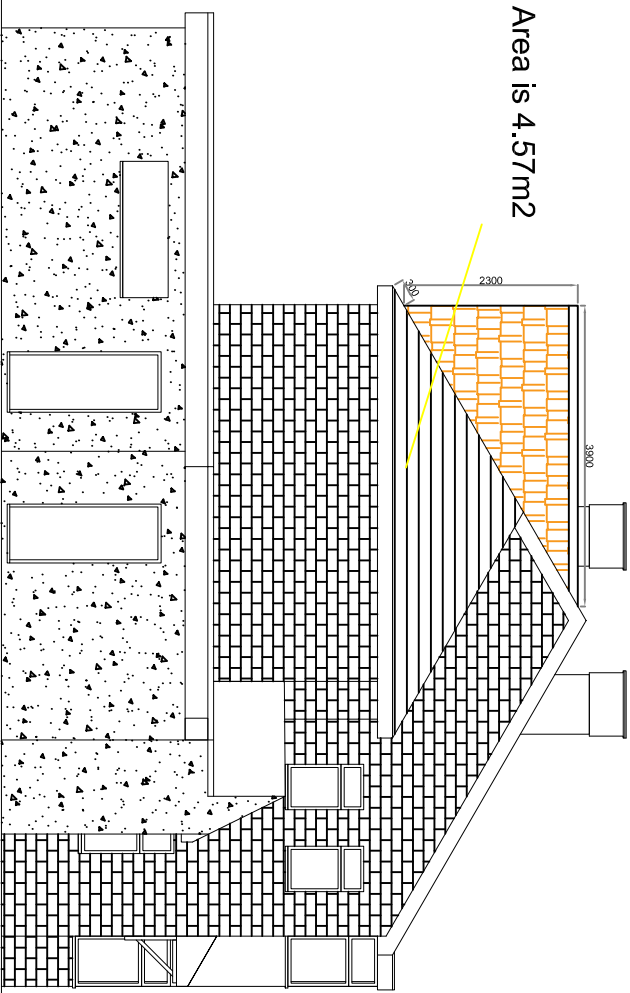
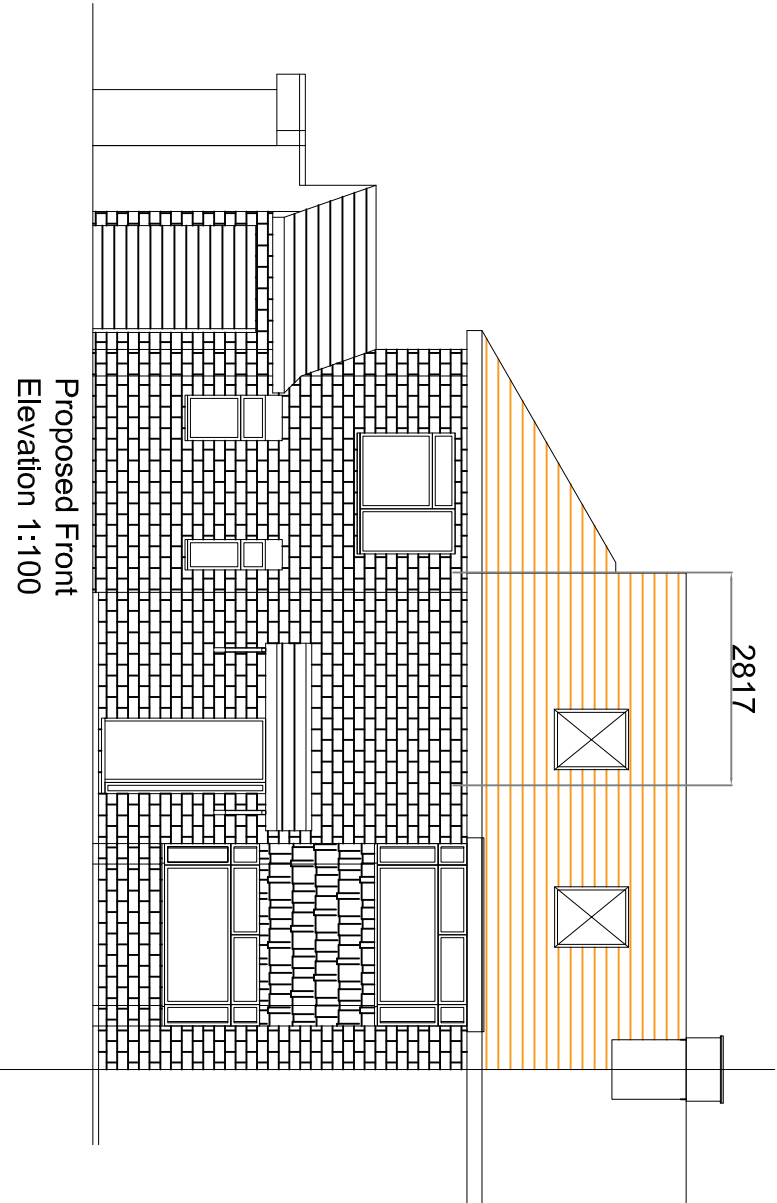
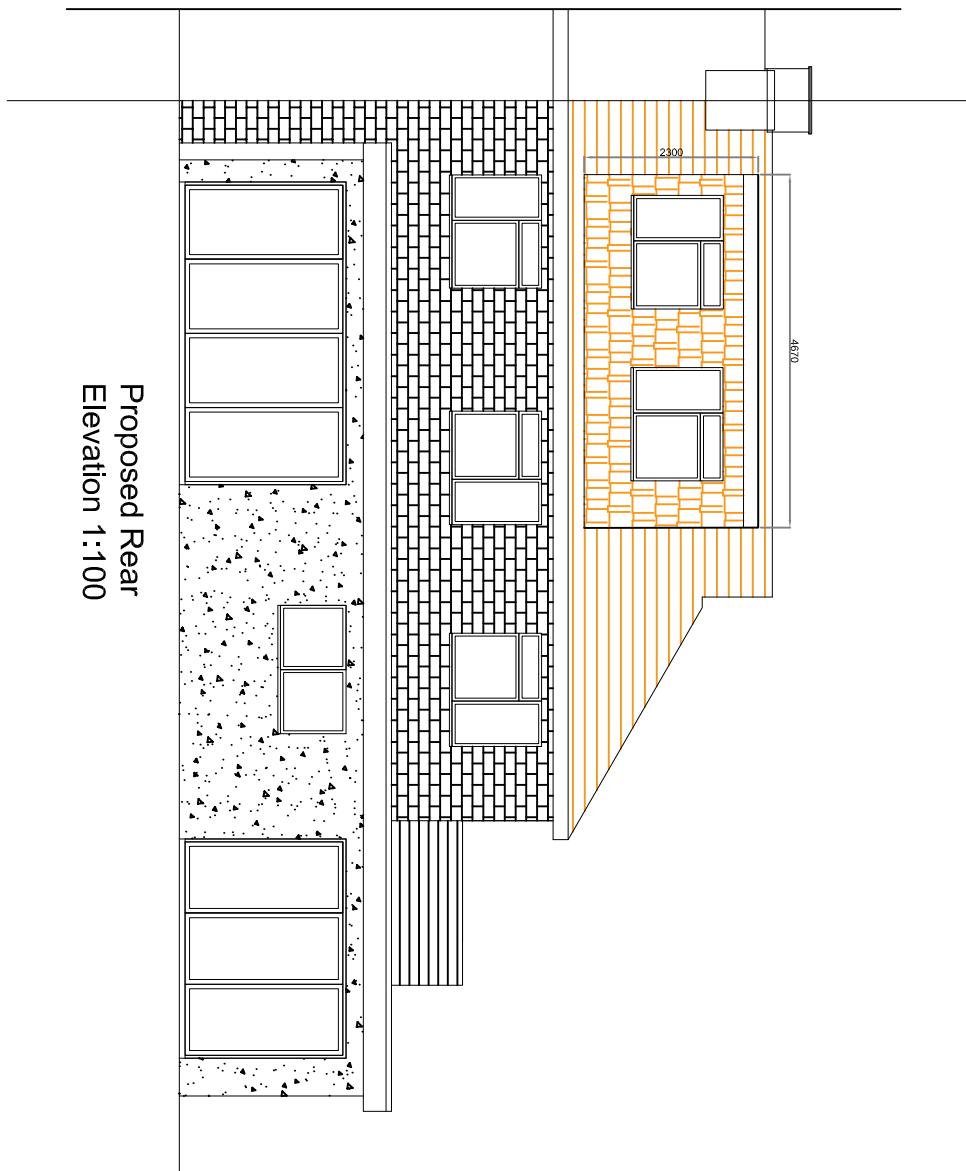




Proposed Ground
Floor 1:50

Proposed First
Floor 1:50

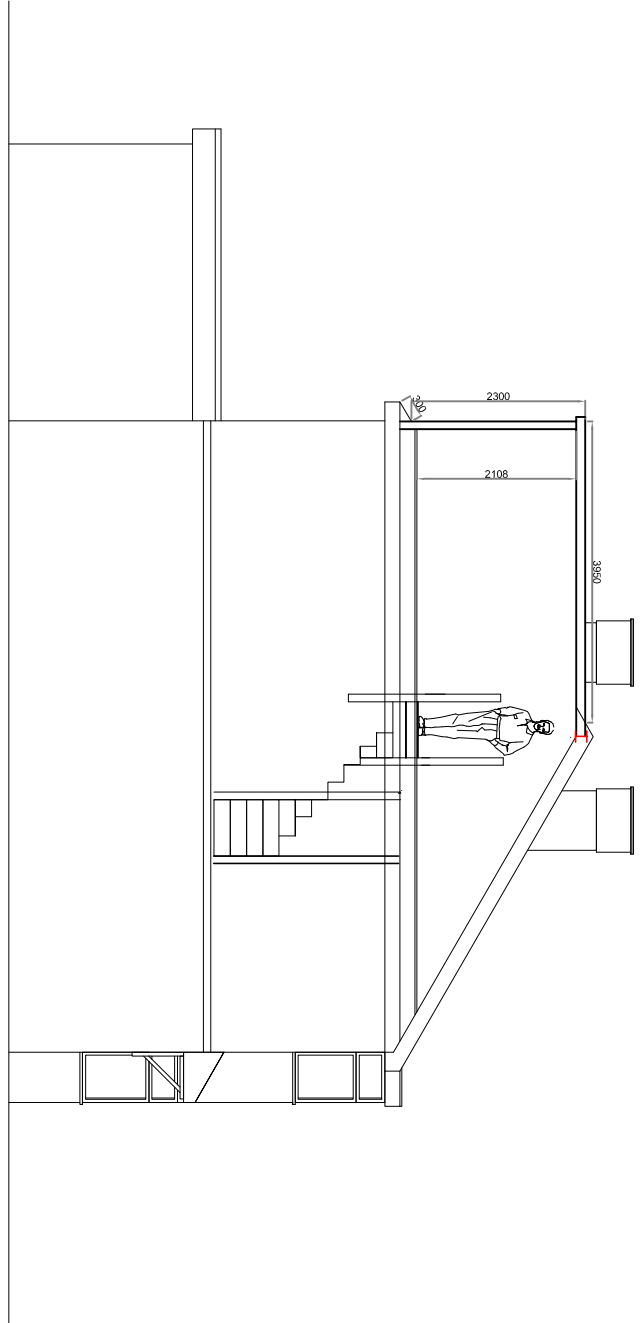


Proposed Rear
Elevation 1:100

Proposed Front
Elevation 1:100

Proposed LHS
Elevation 1:100

Proposed RHS
Elevation 1:100



Proposed Section
Through Loft 1:100

Volume Calculations for Permitted Development

Area of gable = $\frac{1}{2} \times 8.35 \times 2.7 \times 4.5 = 16.9m^3$

Area of remaining double storey Roof = $12m^3$

Area of dormer
= $\frac{1}{2} \times 3.9 \times 2.3 = 4.49 \times 4.67$
= 20.97 rounded to 21m³

A-Depth of main roof = 8350

B-Height of Main Roof = 2700

C-Projection of rear dormer = 4500

D- Height of Dormer = 2300

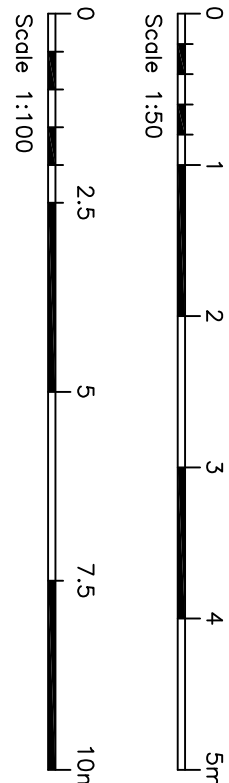
E- Width of dormer = 4670

Volume of side roof before gable extension is :
 $5.06m^2 \times 3.210m = 16.24m^3$

Minus extension is :
 $4.57m^2 \times (2.6m^3) = 4.26m^3$

= 11.98 rounded to 12m³

Area is 4.57m²



217THEMEADPROPOSEDDWG02
All site dimensions to be verified on site.

Client : Mehul Vasa

Property: 217 The Mead Hoylake Crescent UB10 8TN

Description of Work:Hip to Gable end with rear dormer and loft conversion

Scale: 1/50, 1/100

Date: Sept 2025

Drawn :AP

Total Volume increase is 49.9m³ WITHIN THE
PERMITTED DEVELOPMENT of 50m³