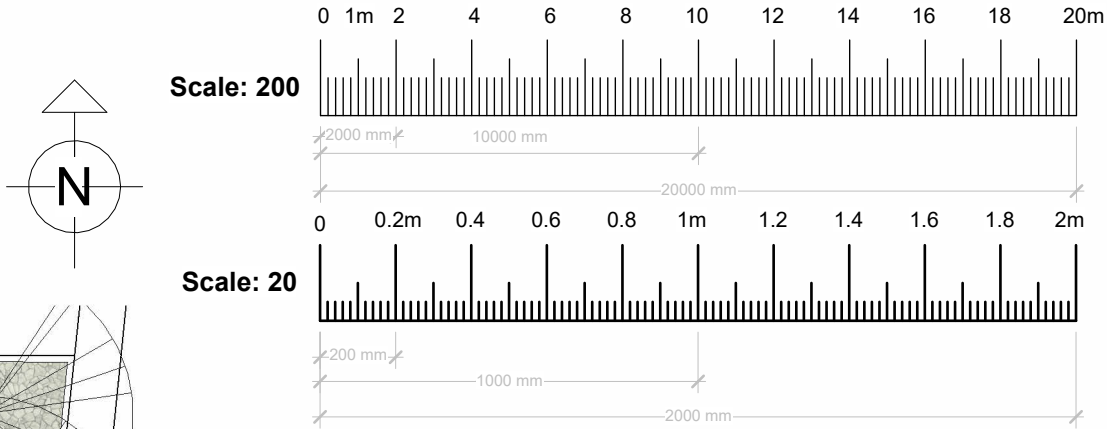
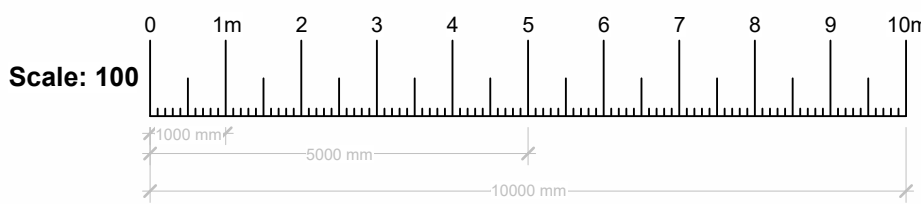
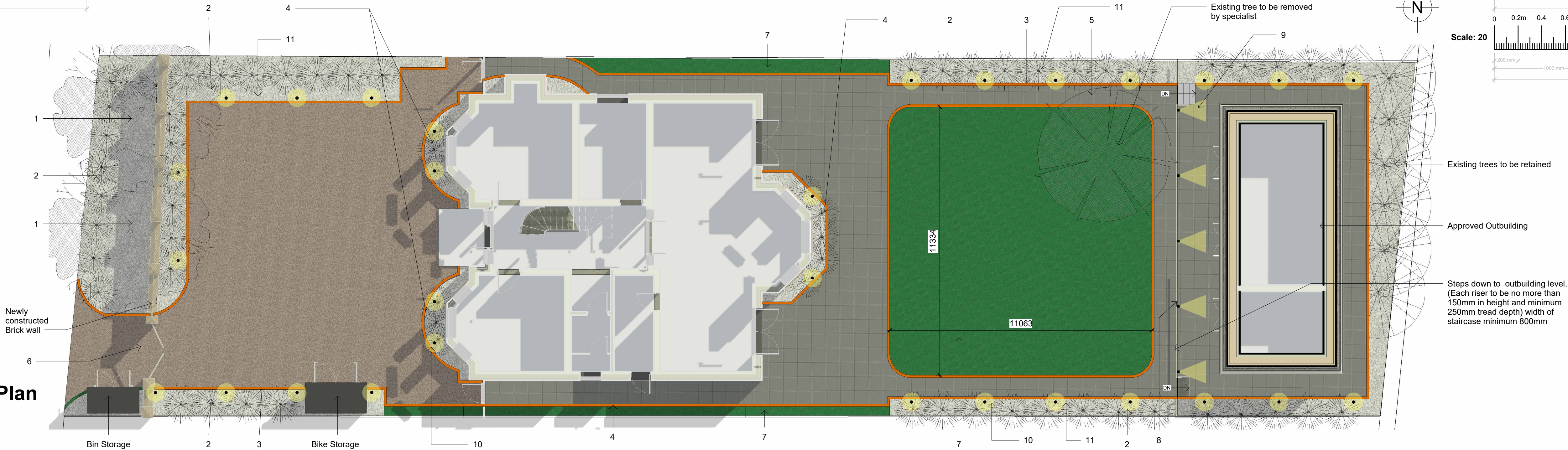




Landscaping Plan

1 : 100



Landscaping Legend

Key	Image	Description
1		Artificial Palm Tree https://replicaplants.co.uk/replca-trees-c1/palm-trees-c17/artificial-banana-palm-tree-3sizes-p311
2		Artificial Floral and filler pack for behind the Artificial planting balls. Found Under https://www.amazon.co.uk - Artificial Flowers and Fillers https://www.amazon.co.uk/Dremisland-Artificial-Resistant-Greenery-Decorative/dp/B0F5HN747S?ref_ast_sto_dp&th=1 https://www.wayfair.co.uk/home/pdp/17-stories-artificial-topiaries-u110948253.html

Landscaping Legend

Key	Image	Description
3		Brick Kerb matching house brick
4		Lavender Artificial Flowers in front of window bays. https://www.amazon.co.uk Artificial Lavender Flowers https://www.amazon.co.uk - Artificial Green Garden Foliage Boxwood ball plants - https://www.wayfair.co.uk/home/pdp/17-stories-artificial-topiaries-u110948253.html
5		Marshall's - Modal X Piora® Textured Permeable paving

Landscaping Legend

Key	Image	Description
6		Cotswold Permeable Front Driveway
7		Permeable Artificial Grass https://www.ukpremiumgrass.co.uk/product/pet-eco/?srsltid=AfmBOorJaPq-Sjhhd-AgHEFnqOUloNZFID12SrajTjYNFZ9mmfahRK-
8		Fixed Composite low level fencing where there is level change https://www.charlesandivy.co.uk/products/hive-decorative-fence-180x30cm-with-our-composite-posts
9		Shallow wall lighting around 2.5m - 3m apart spacing
10		Gavea Stainless steel effect Solar-powered Integrated LED Outdoor Ground light, Pack of 6 from B&Q or similar
11		Charles Watson 20-40mm White Pebbles Decorative Garden Stones Chippings Large Approx 20kg Polybag from B&Q or similar

NOTES

1. Site Clearing and Excavation

Before you build up, you have to dig out.

Remove Vegetation: Strip away existing grass, weeds, and roots.

Excavation Depth: You generally need to dig down 100mm to 200mm depending on the intended use (foot traffic vs. a driveway).

Subgrade Leveling: Smooth the "bottom" of your hole. Even though the surface is permeable, you want the soil underneath to have a slight gradient (about 1:100) to direct heavy rainfall away from house foundations.

2. Edging and Containment

Permeable surfaces like gravel and artificial grass are "fluid"—they want to migrate.

Install timber sleepers, plastic edging, or concrete haunching around the perimeter.

This keeps your materials locked in place and provides a clean "lip" to work against.

3. The Geotextile Barrier

Lay a heavy-duty geotextile membrane over the raw soil.

Why? It prevents the soil (fines) from mixing with your clean stone base, which would eventually clog the drainage. It also acts as a weed suppressant from the bottom up.

4. Building the Sub-Base (The Core)

This is the most critical step. For true permeability, you cannot use standard MOT Type 1 (which contains dust that blocks water). Instead, use Type 3 Open Graded Sub-Base or reduced-fines crushed rock (20-40mm).

Fill: Pour the stone in layers (lifts).

Compaction: Use a vibrating plate compactor (wacker plate). You want it solid enough to walk on, but because there is no "dust," there will still be small voids for water to flow through.

5. Surface-Specific Finishes

Once your solid sub-base is in, the "bedding" layer changes depending on your final look:

Artificial Grass

Grano Dust/Screed: Lay 20-40mm of fine granite dust (not sharp sand, which holds too much moisture).

Level: Smooth it out perfectly.

Install: Roll out the turf, nail the edges, and add kiln-dried sand infill to keep the blades upright.

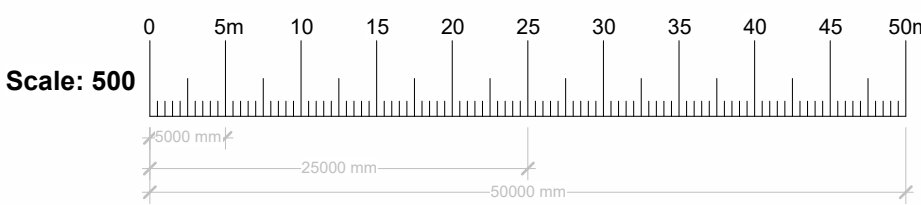
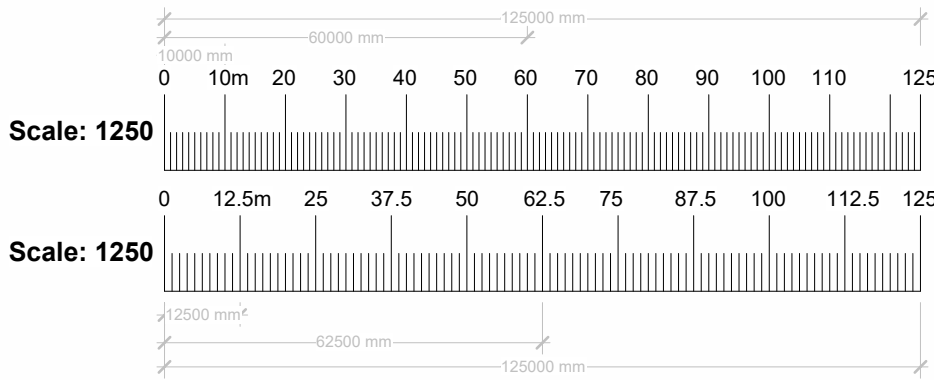
Permeable Gravel
Stabilization Grids: For a professional finish, lay plastic "honeycomb" grids over the sub-base.

Infill: Fill the grids with 10mm-20mm angular flint or granite. The grids prevent "rutting" (the sinking feeling when walking/driving) and keep the gravel from spreading.

Permeable Paving
Bedding Layer: Lay 30mm-50mm of 6mm clean shingle (no sand!).

The Blocks: Use specific "Permeable Pavers" which have larger nibs on the sides to create wider gaps.

Jointing: Sweep 2-6mm grit into the joints between the pavers. Never use mortar or standard jointing sand, as this will seal the surface and stop drainage.



LANDMARK
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SUBMISSION/ REFERENCE

Planning Planning

DRAWING TITLE

Variation of Condition Planning

CLIENT/ JOB ADDRESS

265 Swakeleys Road,
Ickenham,
Uxbridge,
UB10 8DR

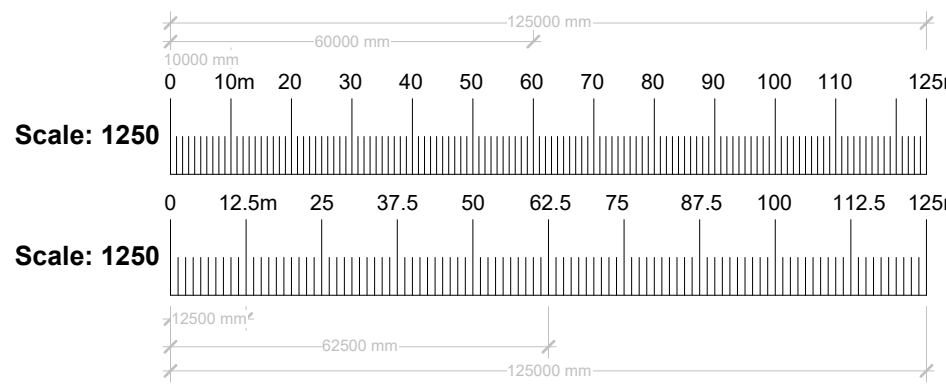
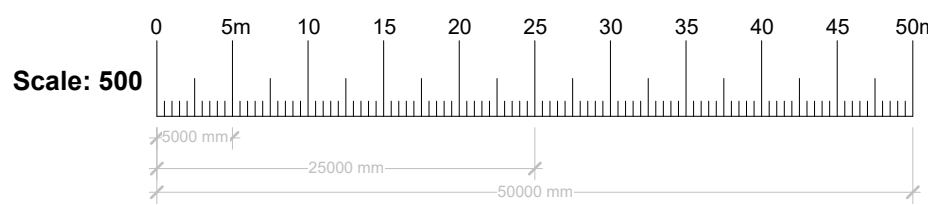
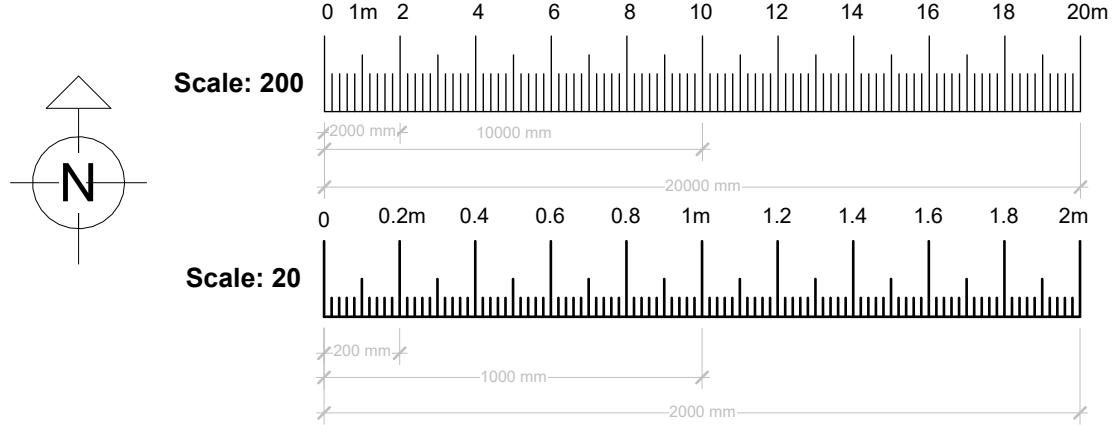
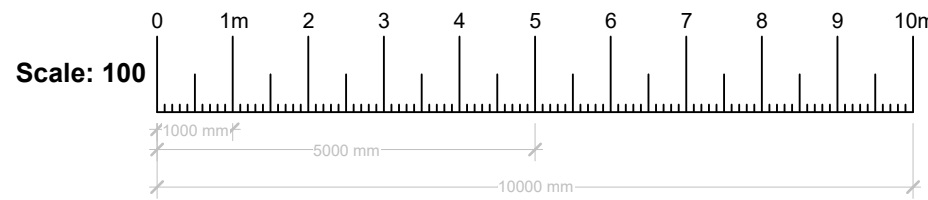
SHEET TITLE

Landscaping Plan

Rev	Description	Date

DRAWN BY DV	CHECKED BY MS	DATE 31/03/2026
SCALE (@ A1) As indicated		PROJECT NUMBER SR 100
DRAWING NUMBER 265/SR/PL/200		REV

1	STRUCTURAL AND BUILDING DRAWINGS TO BE READ IN CONJUNCTION WITH ALL RELATED DRAWINGS.	8	SOME AREAS OF EXISTING WORK HAVE BEEN ASSUMED. ALL ARE TO BE CHECKED ON-SITE BY MAIN CONTRACTOR AND ANY DISCREPANCIES REPORTED SO THAT ADJUSTMENTS CAN BE MADE TO THE STRUCTURAL SCHEME IF NECESSARY.
2	ALL DIMENSIONS TO BE CHECKED ON SITE AND ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER BEFORE PROCEEDING WITH THE WORKS.	9	IT IS THE RESPONSIBILITY OF THE CLIENT TO ENSURE THAT THOSE UNDERTAKING THE WORKS ARE COMPETENT AND EXPERIENCED IN THE TYPE OF WORK TO BE UNDERTAKEN.
3	ENGINEERS DRAWINGS INDICATE STRUCTURAL ELEMENTS ONLY.	10	ALL PLANS SHOW STRUCTURE FOR FLOOR ABOVE.
4	ALL EXISTING DETAILS AND DIMENSIONS INDICATED ON THIS DRAWING ARE FOR GUIDANCE ONLY AND ARE TO BE CHECKED ON SITE BY THE CONTRACTOR.	11	THAMES WATER (OR OTHER LOCAL WATER PROVIDER) BUILD OVER AGREEMENTS MAY BE REQUIRED. THIS IS SUBJECT TO A DRAINAGE INSPECTION AND MAY REQUIRE AN ADDITIONAL FEE, WHICH WILL BE PAYABLE TO THE WATER PROVIDER AND LANDMARK GROUP.
5	THE CONTRACTOR IS RESPONSIBLE FOR AND MUST TAKE NECESSARY PRECAUTIONS TO ENSURE THE STABILITY OF EXISTING STRUCTURES AND THE WORKS AT ALL TIMES DURING CONSTRUCTION. TEMPORARY SUPPORT MAY BE REQUIRED. RESPONSIBILITY FOR ALL TEMPORARY SUPPORT REMAINS WITH THE CONTRACTOR AT ALL TIMES.	12	PARTY WALL (ETC) ACT 1991 TO BE AGREED WITH ADJOINING NEIGHBOURS PRIOR TO ALL WORK TO THE SATISFACTION OF LOCAL AUTHORITY INSPECTOR. NO DEVIATION FROM THESE DRAWINGS, WHAT SO EVER UNLESS AGREED IN WRITING WITH LANDMARK GROUP.
6	ALL SERVICES ARE TO BE LOCATED AND PROTECTED AS NECESSARY BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF THE WORKS.	13	ALL CUTTERS, FOUNDATIONS AND DOWNPIERS TO REMAIN WITHIN THE BOUNDARY LINES OF THE SUBJECT PROPERTY. ALL PLANS ARE SUBJECT TO FULL PLANS APPROVAL BY BUILDING CONTROL, NOT BUILDING NOTICE.
7	ALL WORKMANSHIP AND MATERIALS ARE TO BE CARRIED OUT IN ACCORDANCE WITH CURRENT BS, CODES OF PRACTICE AND GOOD BUILDING PRACTICE.	14	DRAWINGS AND CALCULATIONS TO BE APPROVED BY LOCAL AUTHORITY OR APPROVED BUILDING CONTROL INSPECTOR BEFORE WORK COMMENCES.



Rev	Description	Date

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DRAWING NUMBER 265/SR/PLJ/201	REV	

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