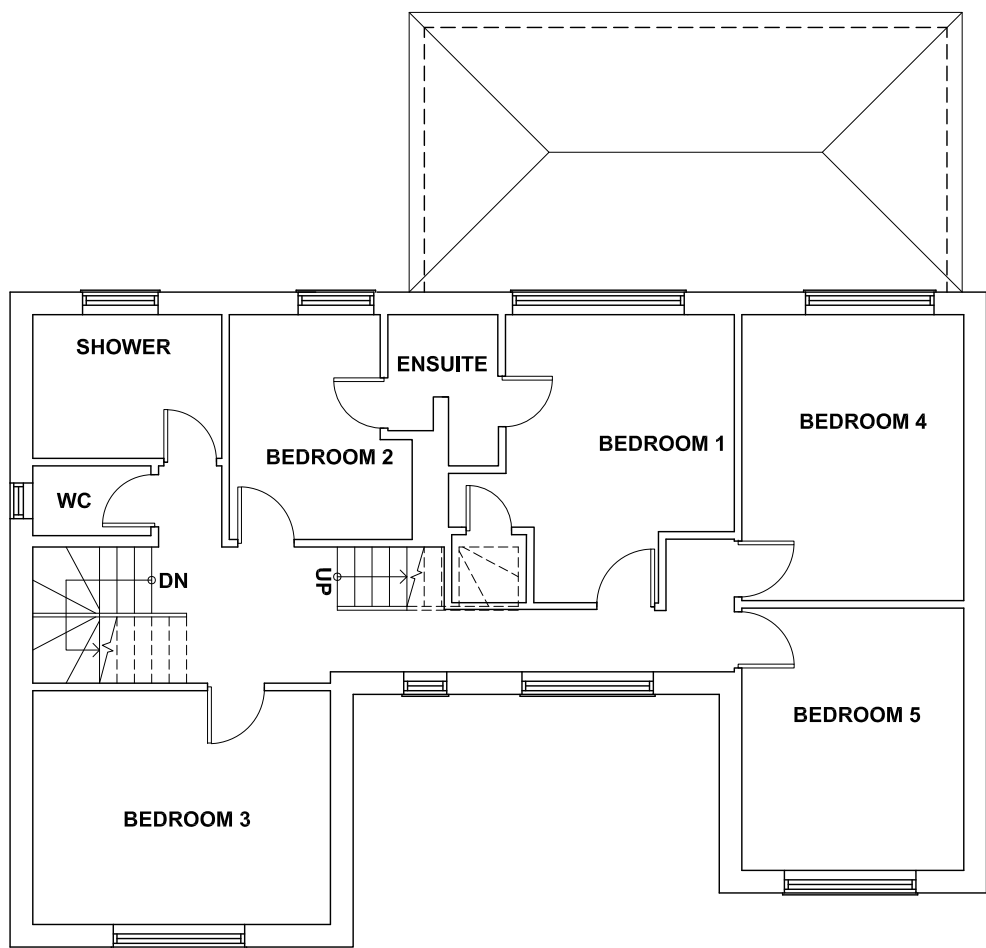
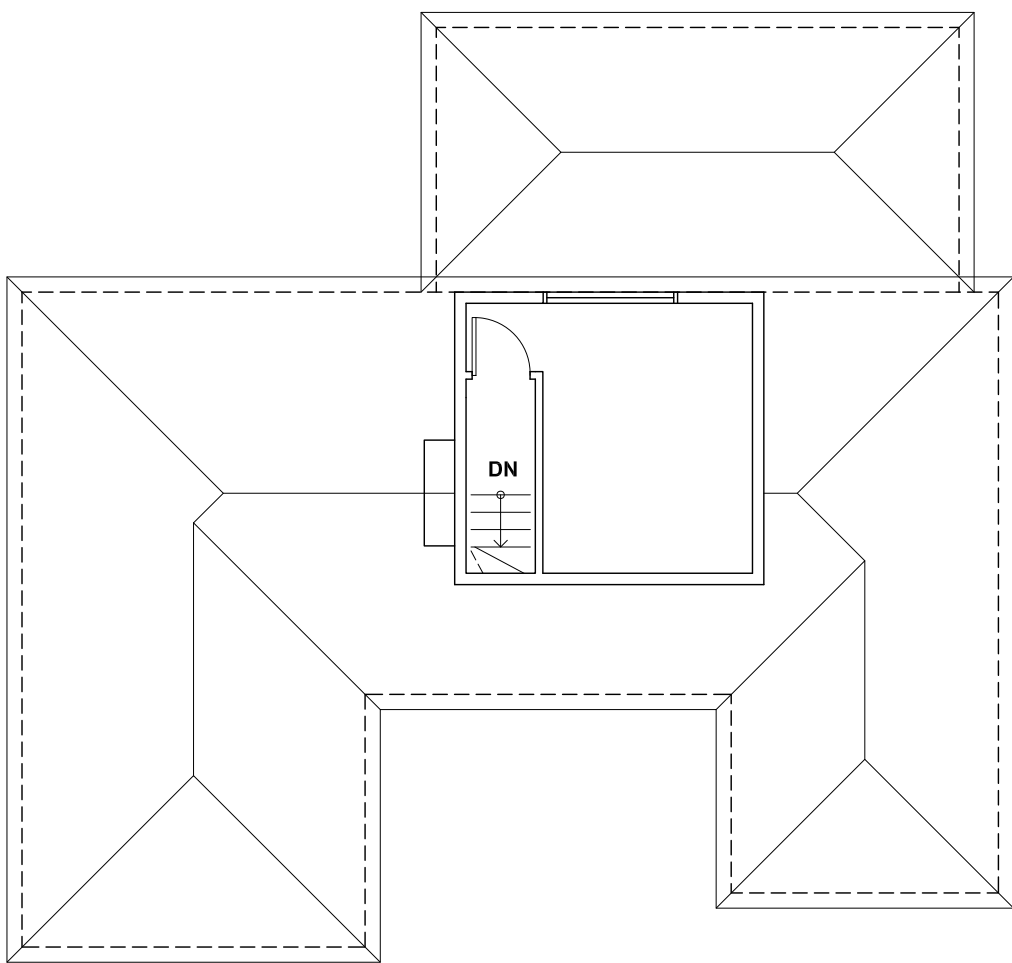


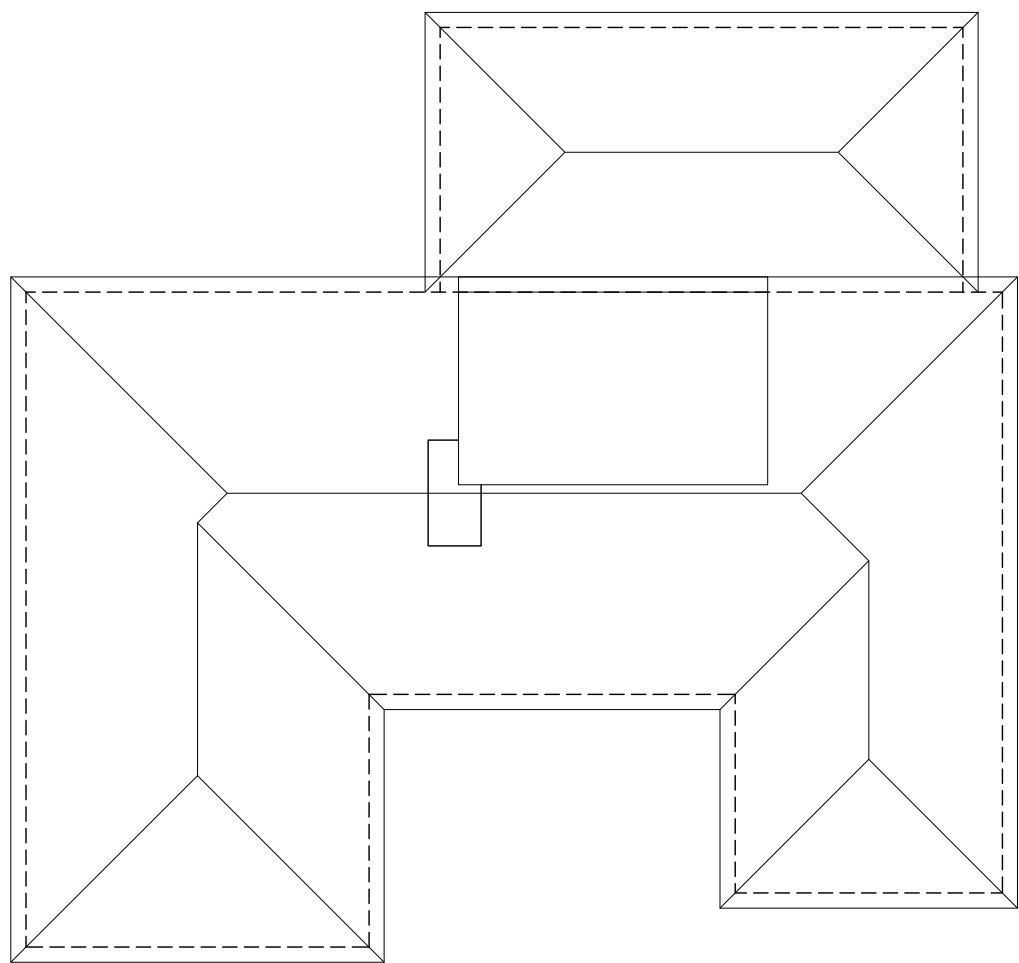
EXISTING GROUND FLOOR PLAN  
SCALE 1:100  
118m<sup>2</sup>



EXISTING FIRST FLOOR PLAN  
SCALE 1:100  
94m<sup>2</sup>



EXISTING SECOND FLOOR PLAN  
SCALE 1:100  
16m<sup>2</sup>



EXISTING ROOF PLAN  
SCALE 1:100



EXISTING AREA  
228m<sup>2</sup>

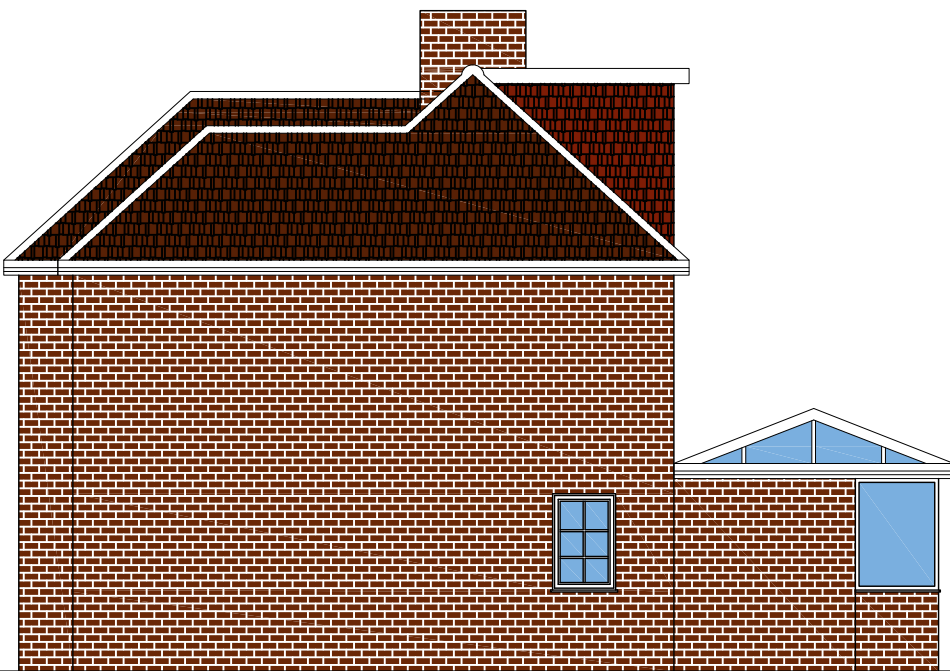
EXISTING LOCATION PLAN  
SCALE 1:1250



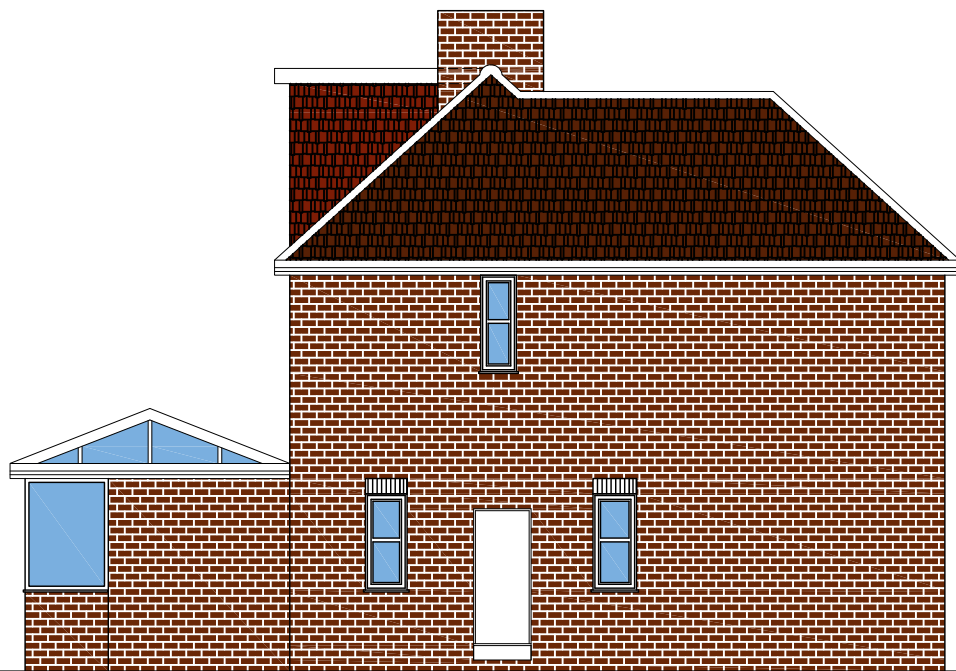
EXISTING FRONT ELEVATION  
SCALE 1:100



EXISTING REAR ELEVATION  
SCALE 1:100



EXISTING SIDE ELEVATION  
SCALE 1:100



EXISTING SIDE ELEVATION  
SCALE 1:100



EXISTING SITE PLAN  
SCALE 1:500





**LANDMARK GROUP**

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**CIOB**  
THE CHARTERED INSTITUTE OF BUILDING



**RTPI**  
Chartered Town Planner

IN PARTNERSHIP WITH



**LABC**

CLIENT / JOB ADDRESS:  
265 SWAKELEYS ROAD  
ICKENHAM  
UXBRIDGE  
UB10 8DR

DRAWING TITLE / DESCRIPTION  
EXISTING DRAWINGS

SUBMISSION / REF PLANNING APPLICATION	
DRAWING TITLE PLANS AND ELEVATIONS	SCALE : 1:100 ON A1
DRAWING No. 100	DRAWN BY : KP
	DATE: 05.10.2023
	CHECKED BY : MS

REVISION	DESCRIPTION	DRAWN BY	DATE

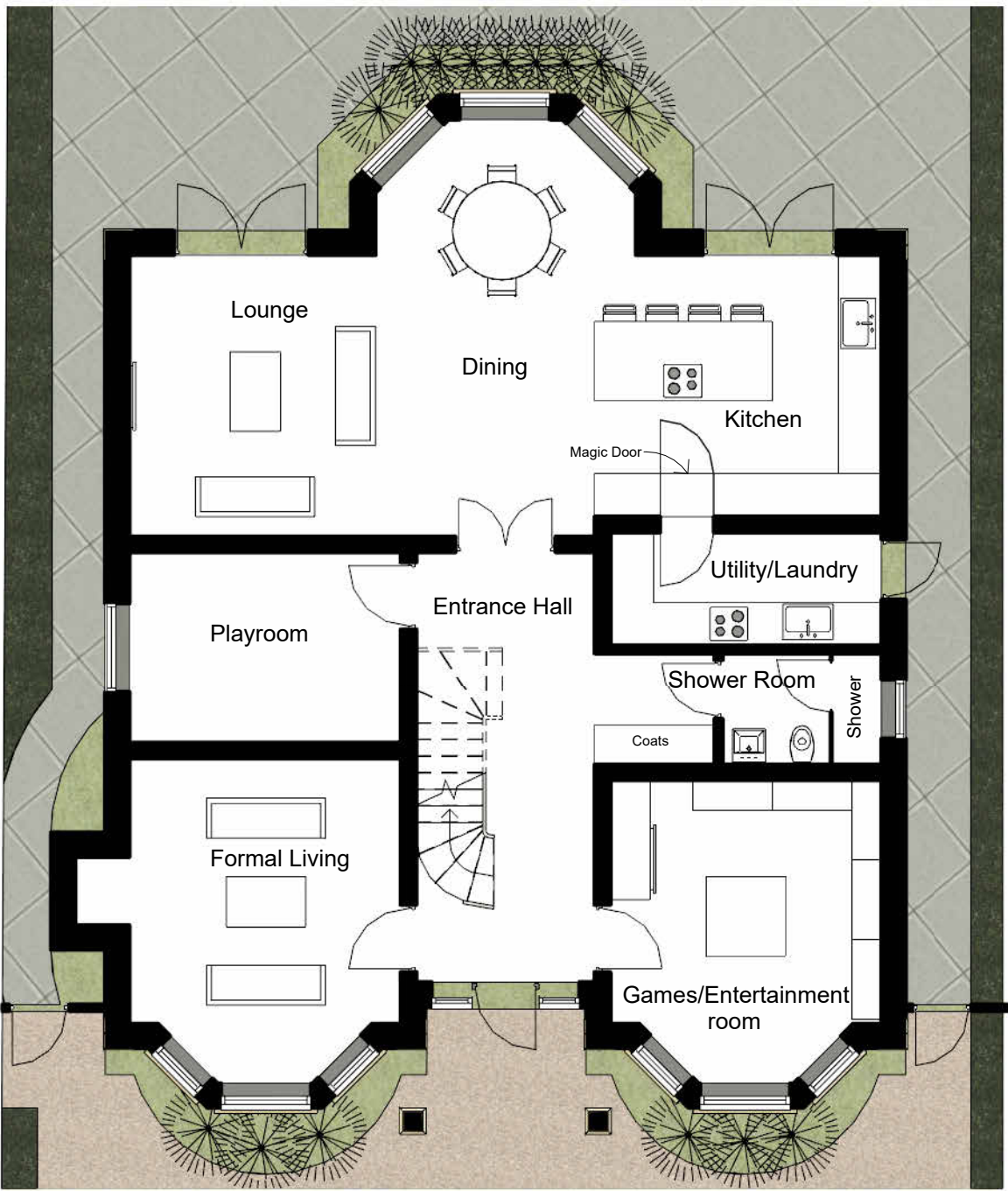
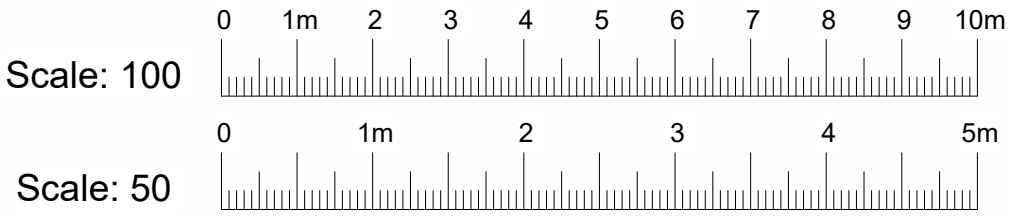
ALL MEASUREMENTS TO BE CHECKED ON SITE AND NOT SCALED FROM THIS DRAWING. ANY DISCREPANCIES TO BE REPORTED TO LANDMARK GROUP. PARTY WALL (ETC) ACT 1996 TO BE AGREED WITH ADJOINING NEIGHBOURS PRIOR TO ALL WORK TO THE SATISFACTION OF LOCAL AUTHORITY INSPECTOR. NO DEVIATION FROM THESE DRAWING WHAT SO EVER UNLESS AGREED IN WRITING WITH LANDMARK GROUP.

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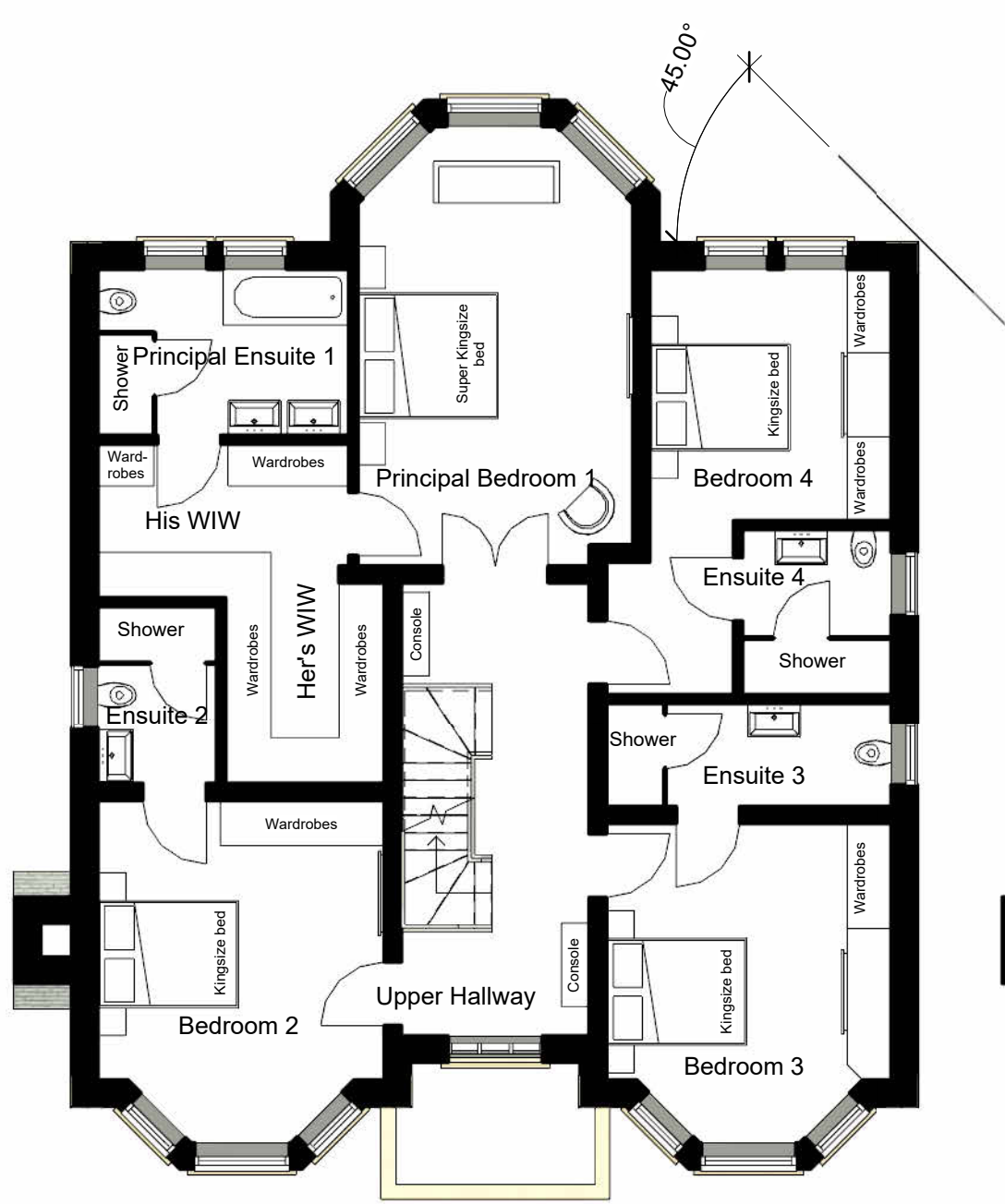
ALL GUTTERS, FOUNDATIONS AND DOWNPIPES TO REMAIN WITHIN THE BOUNDARY LINES OF THE SUBJECT PROPERTY  
ALL PLANS ARE SUBJECT TO FULL PLANS APPROVAL BY BUILDING CONTROL, NOT BUILDING NOTICE.

**DRAFT DRAWINGS**  
**NOTE: DRAWINGS AND CALCULATIONS TO BE APPROVED BY LOCAL AUTHORITY OR APPROVED BUILDING CONTROL INSPECTOR BEFORE WORK COMMENCES.**

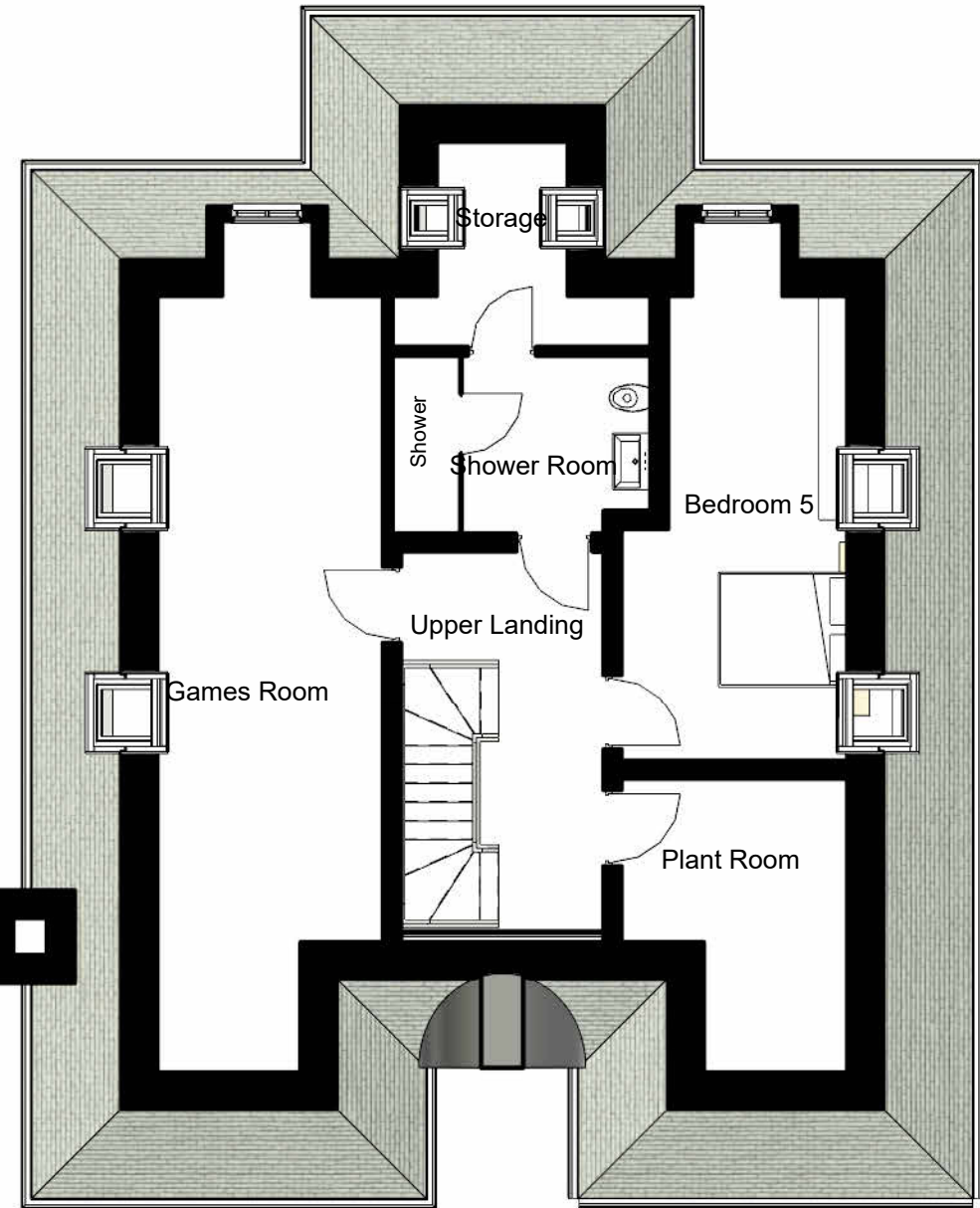




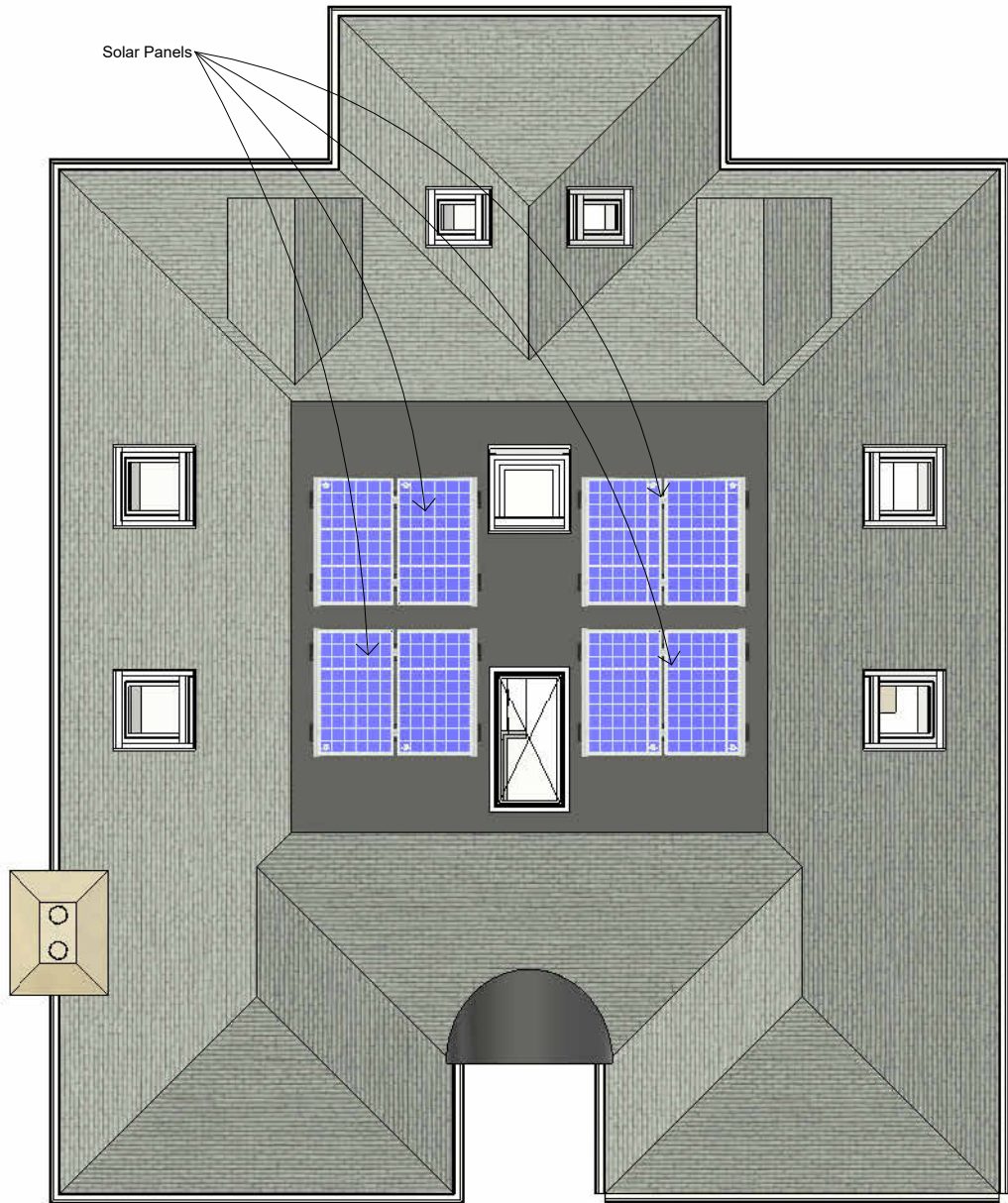
01 Ground Floor FFL  
1 : 100



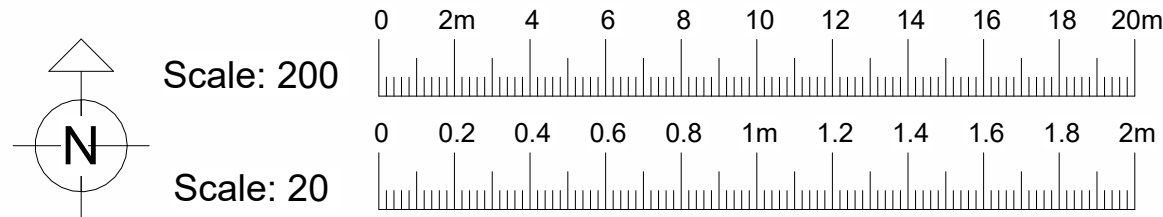
02 First Floor FFL  
1 : 100



03 Second Floor FFL  
1 : 100



04 Roof Plan  
1 : 100



Proposed Site Plan  
1 : 500



Front Elevation  
1 : 100



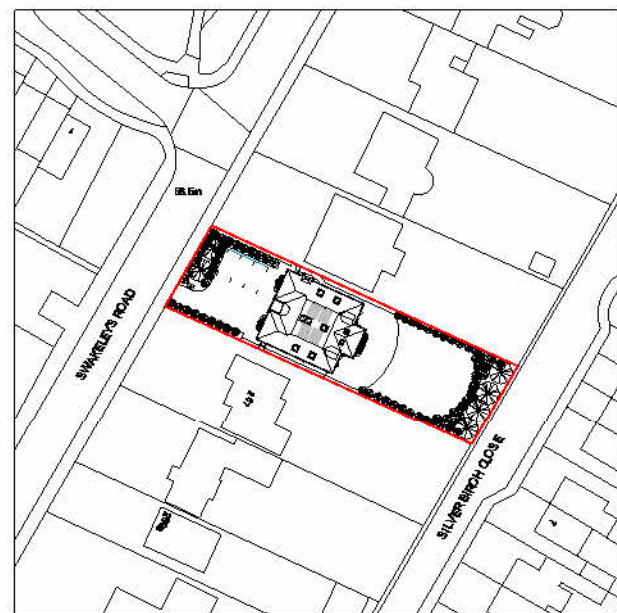
Side Elevation 1  
1 : 100



Rear Elevation  
1 : 100

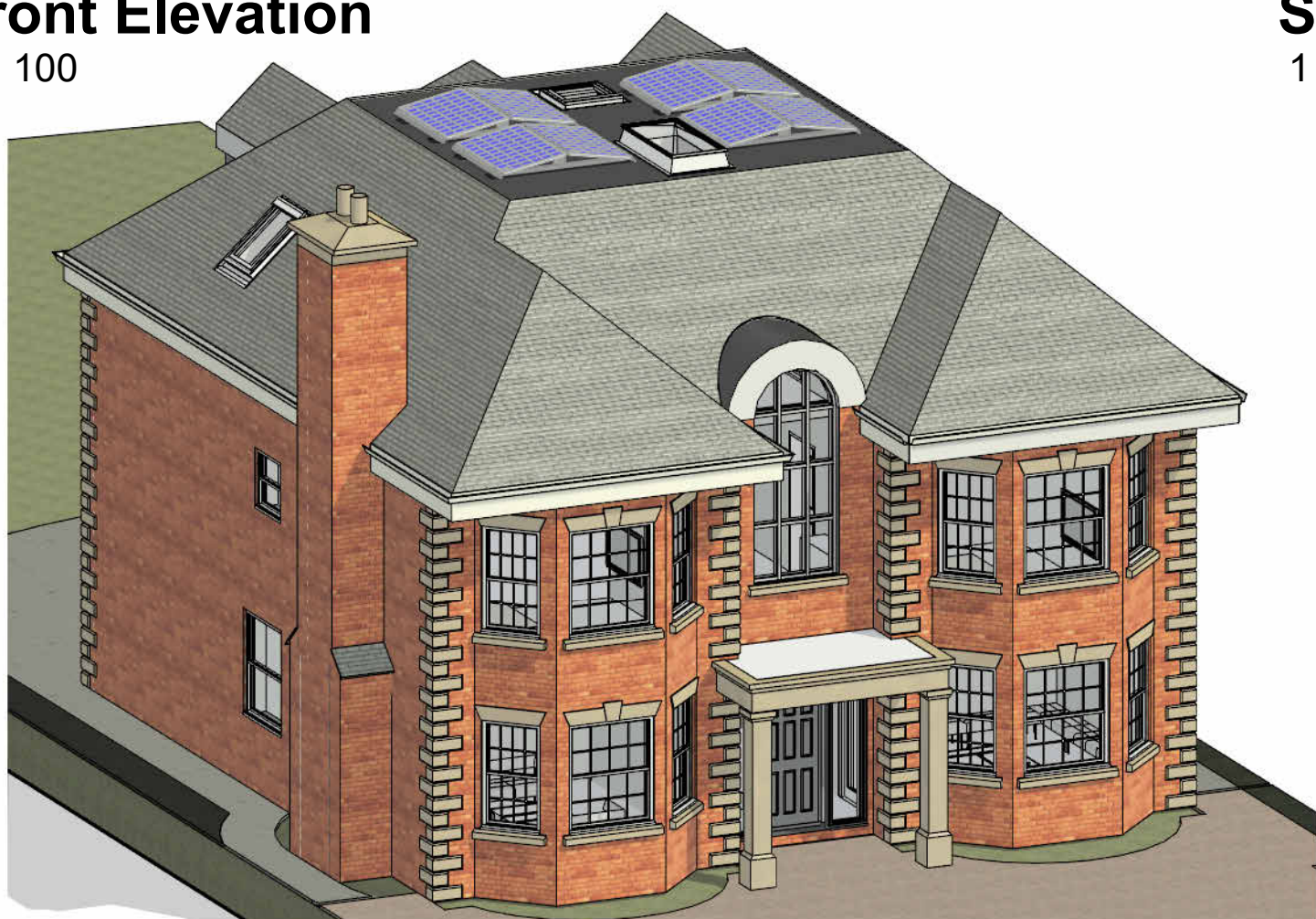


Side Elevation 2  
1 : 100



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Proposed Location Plan  
1 : 1250



3D Front View



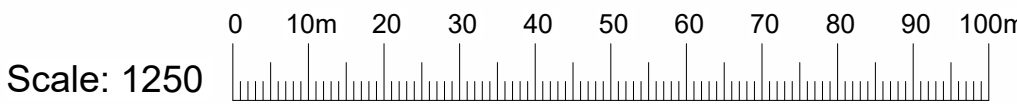
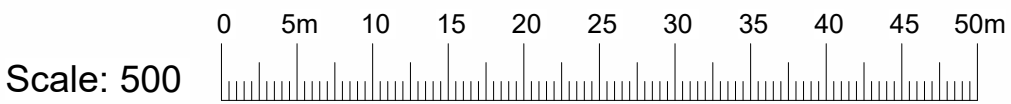
3D Rear View



Longitudinal Section  
1 : 100



Cross-Sectional Section  
1 : 100

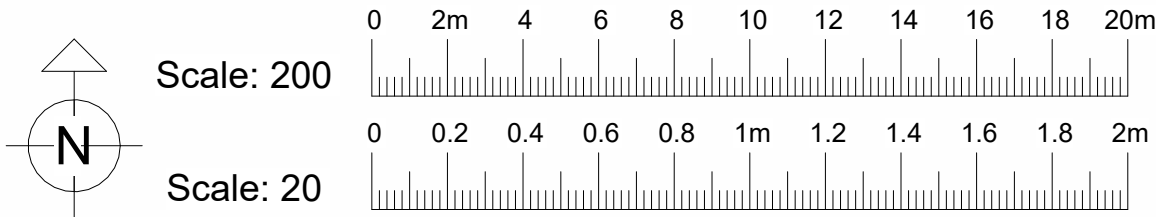
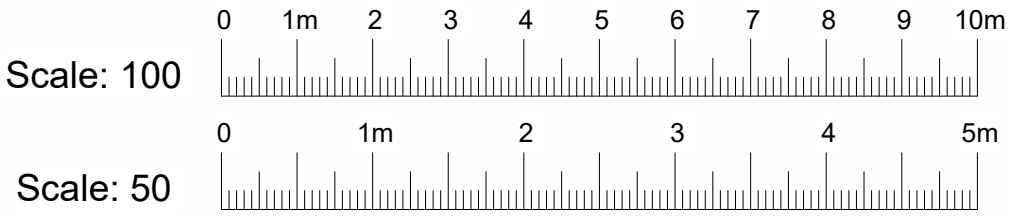


Rev	Description	Date

<b>DRAWN BY</b> DV	<b>CHECKED BY</b> MS	<b>DATE</b> 28/09/23
<b>SCALE (@ A1)</b> As indicated	<b>PROJECT NUMBER</b> SR 100	
<b>DRAWING NUMBER</b> 265/SR/PL/100	<b>REV</b>	

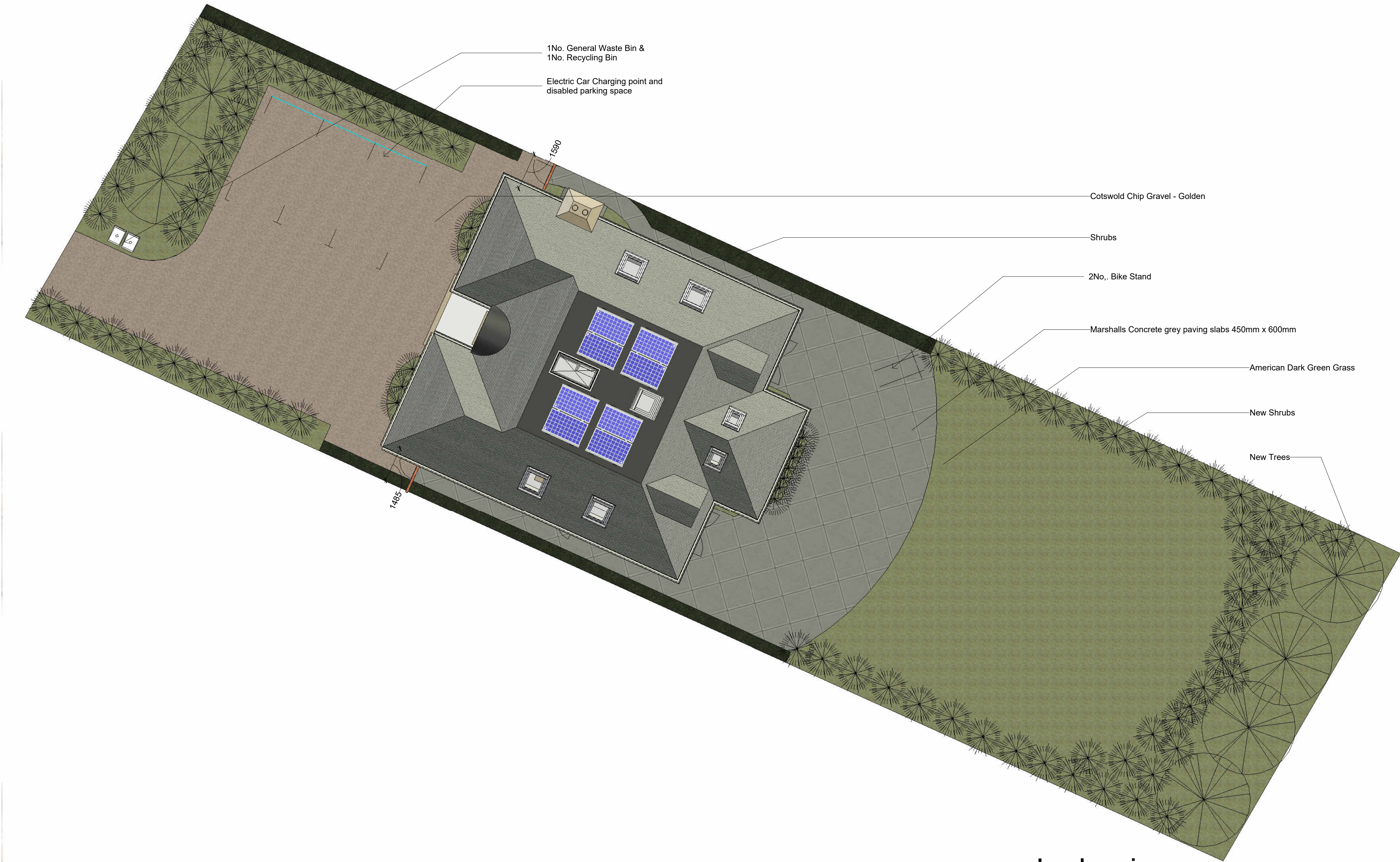
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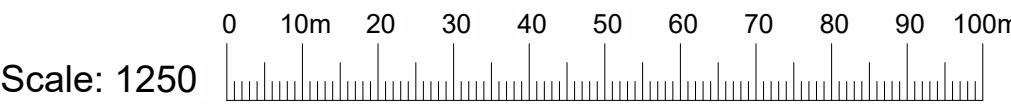
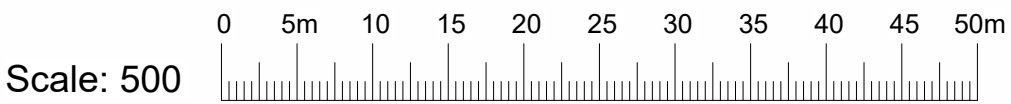


Landscaping Legend	
Material	Image
Cotswold Chip Gravel - Golden	
Marshalls Concrete grey paving slabs 450mm x 600mm	
Shrubs	

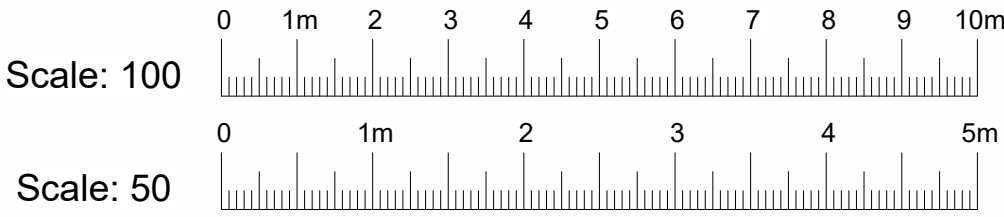
PLANTING KEY	DESCRIPTION
	New Tree
	New Shrubs



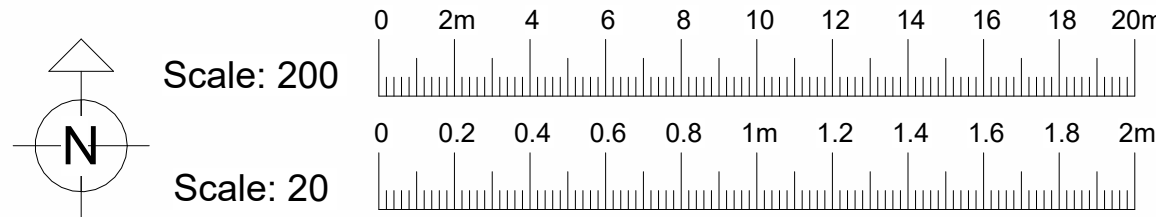
Landscaping  
1 : 100







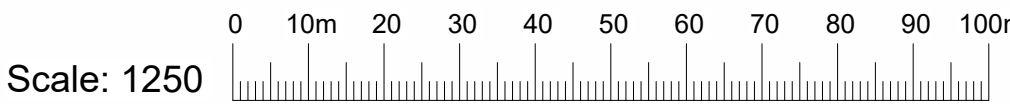
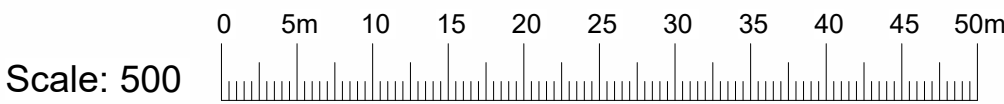
LOCATION	DESCRIPTION	IMAGE
Exterior Walls	Weinerberger - Dorton Manor Stock	
Roof Tiles	Marlow - Plain Grey Stone	
Stonework	Serene Stone - Colour Bathstone	
Entrance Door	Black Composite Door - RAL 9005	
Windows	White Georgian UPVC Sash Windows - RAL 9010	
Fascias	White UPVC Fascia	
Downpipes	White UPVC Downpipe	



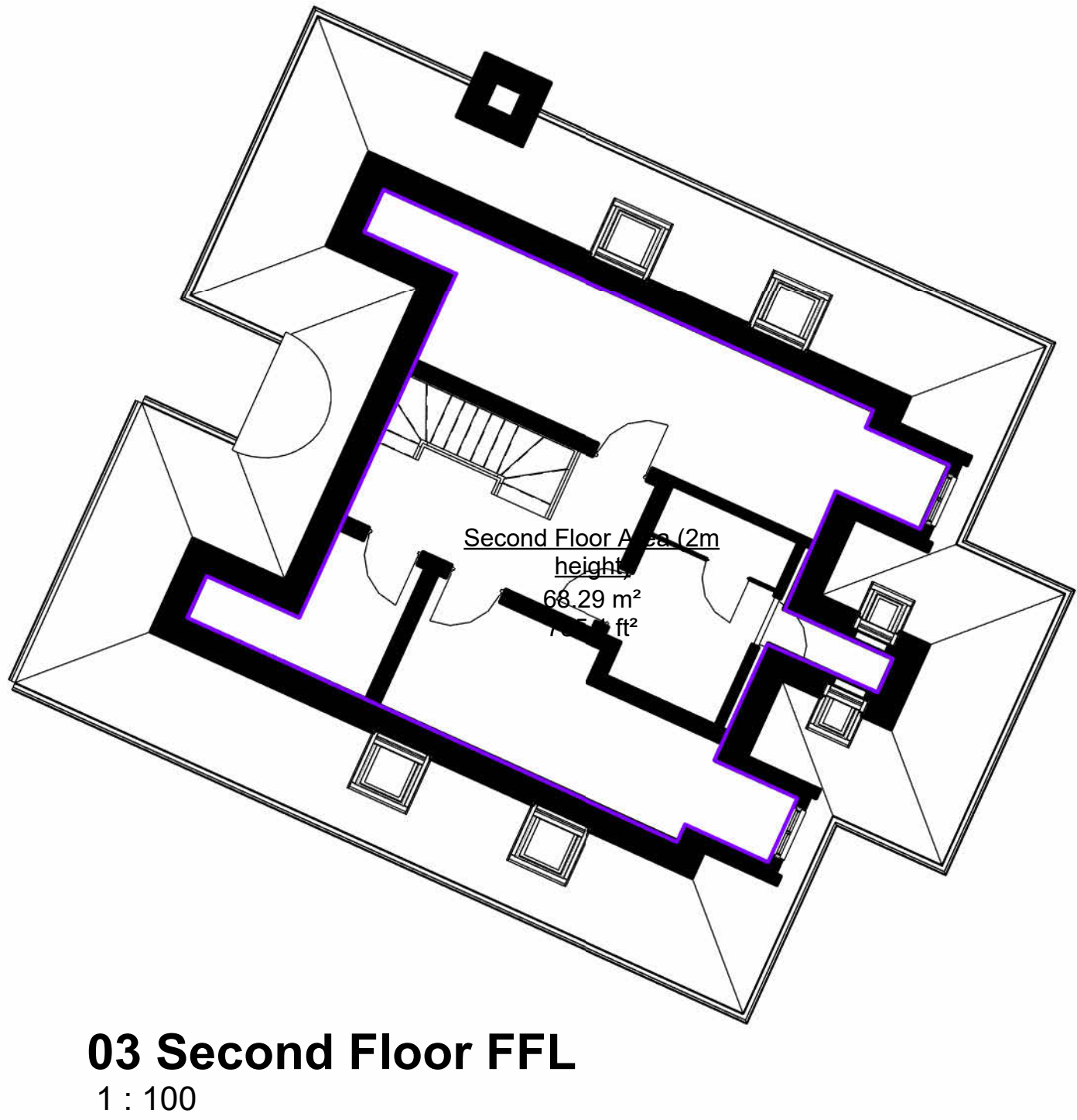
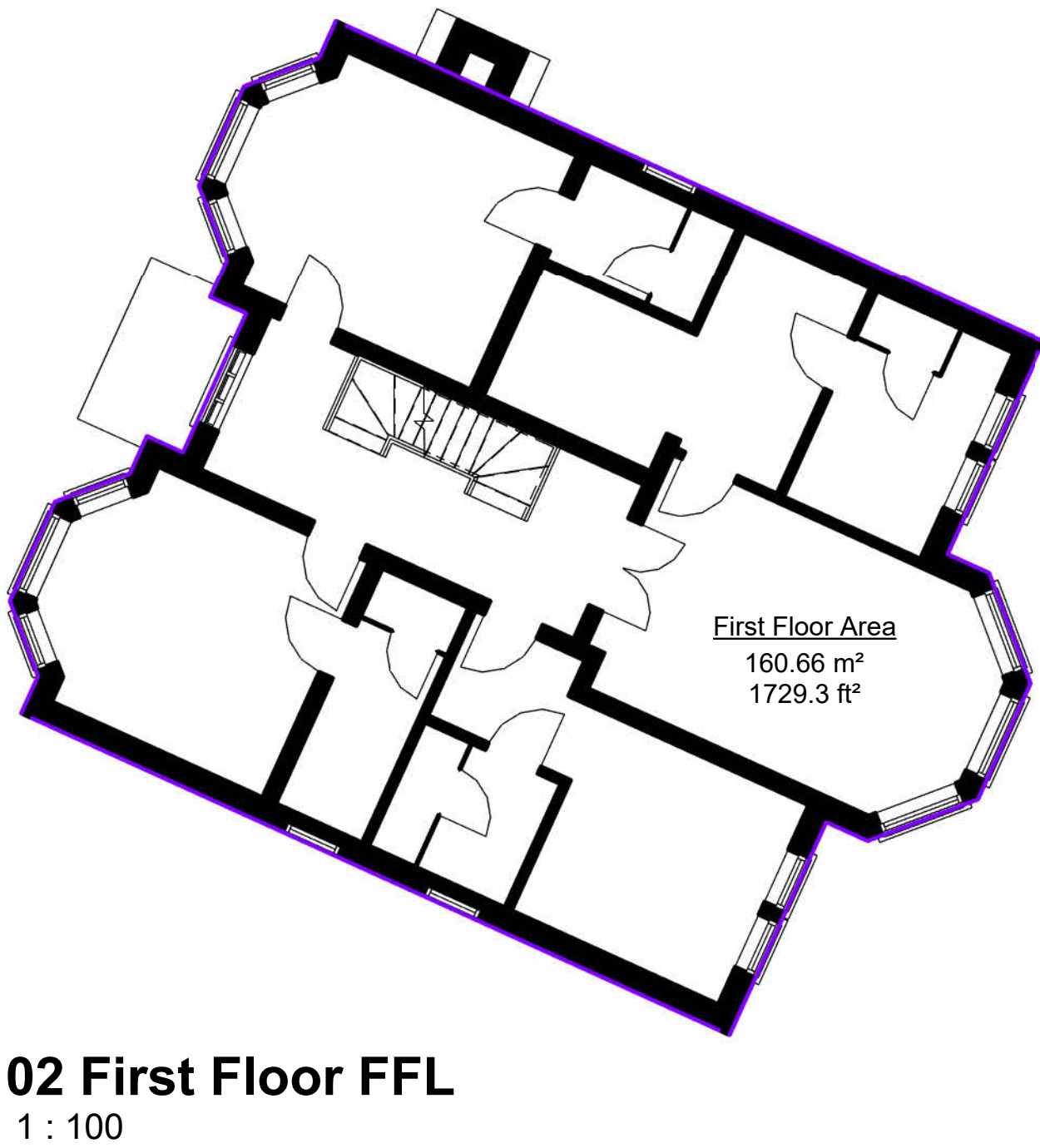
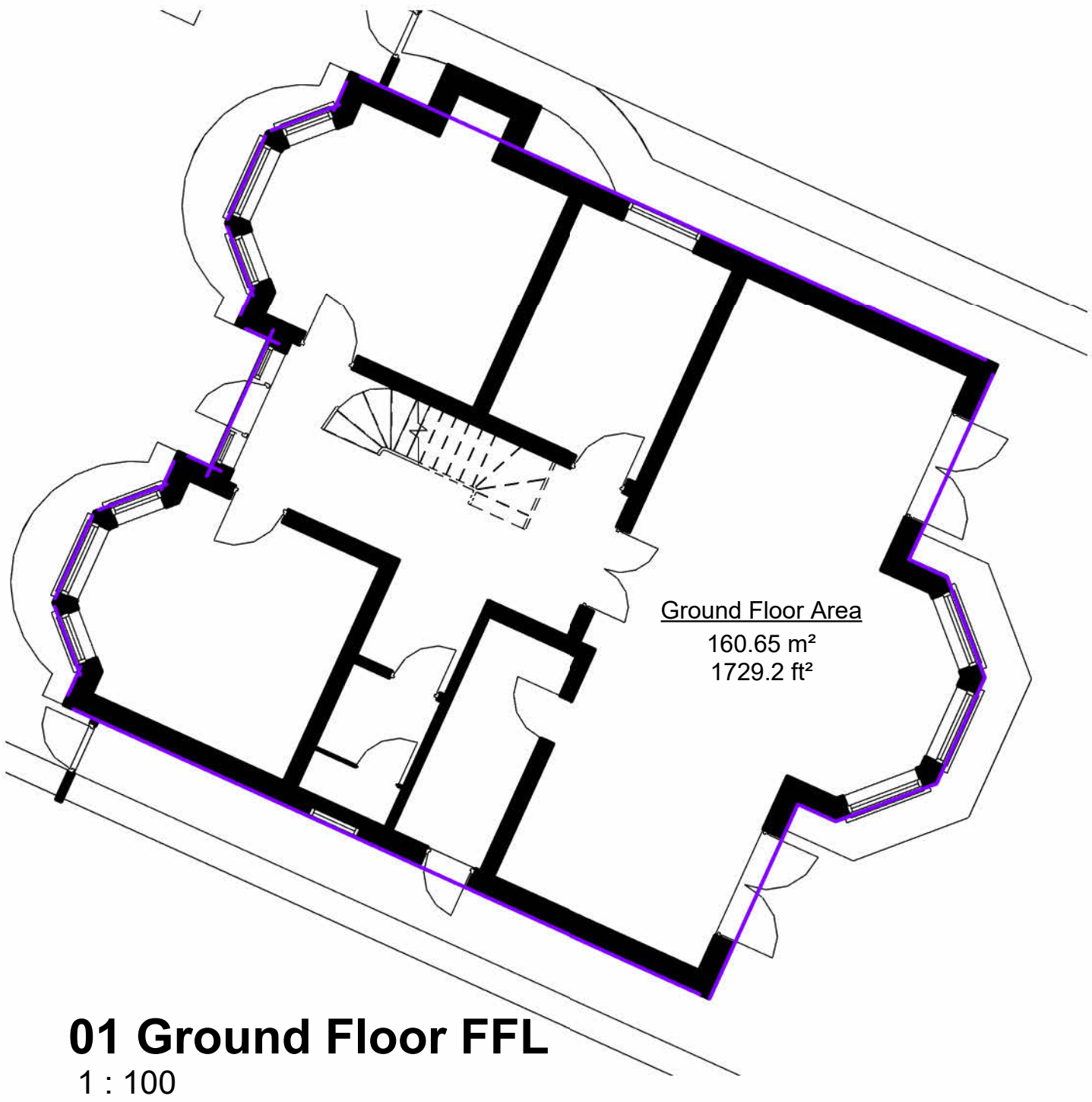
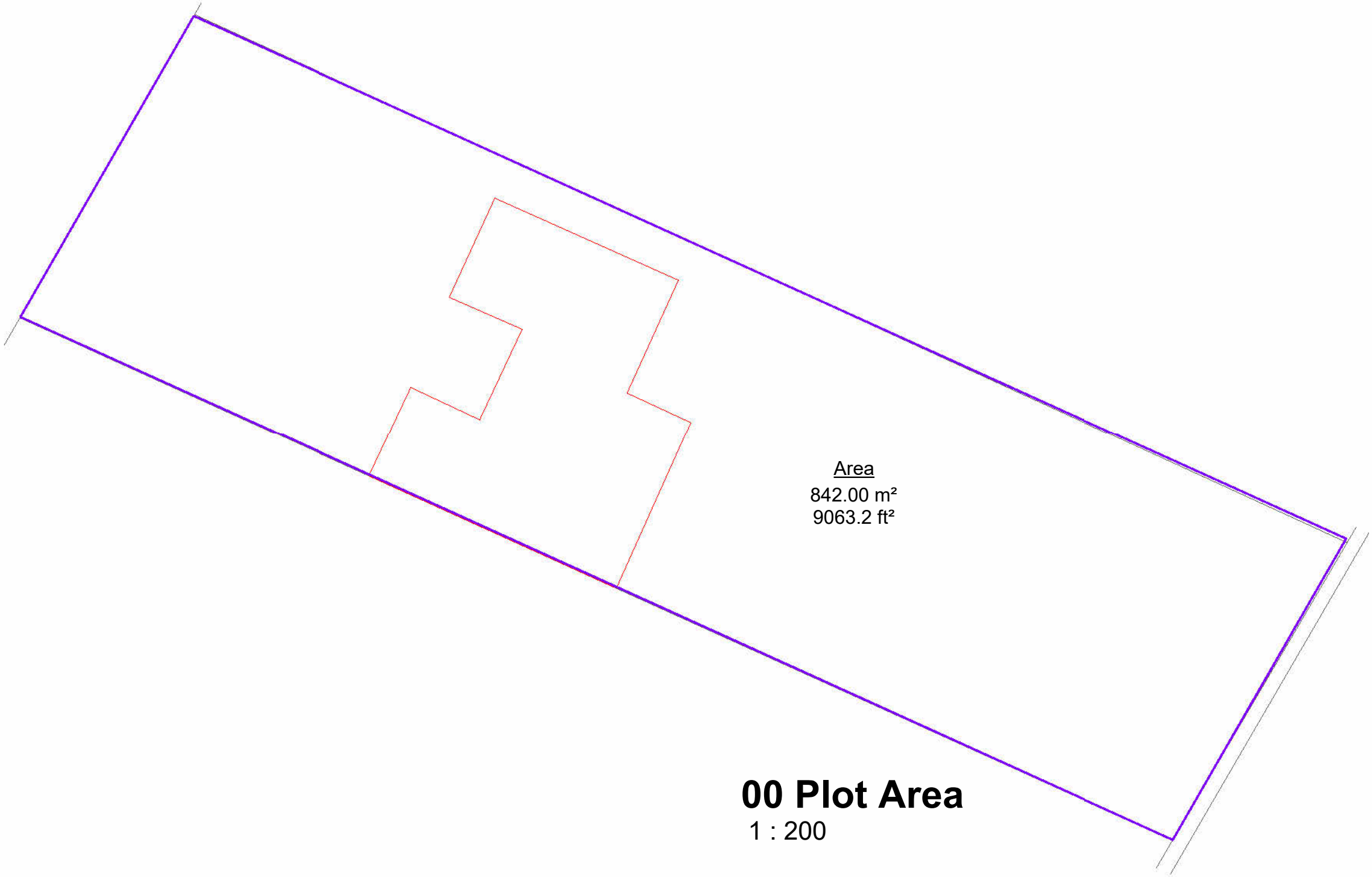
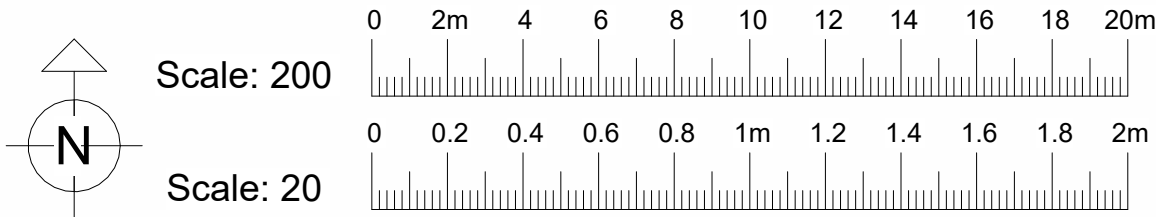
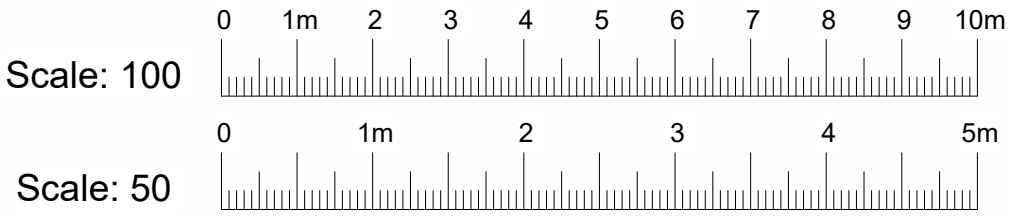
Front Elevation - Materials  
1 : 50



Rear Elevation - Materials  
1 : 50

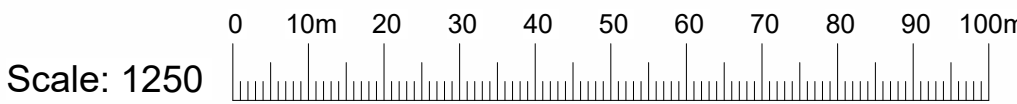
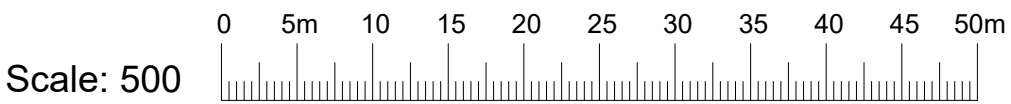






Area Schedule m2	
Name	Area
Ground Floor Area	161 m²
First Floor Area	161 m²
Second Floor Area (2m height)	68 m²
Grand total: 3	390 m²

Area Schedule sqft	
Name	Area
Ground Floor Area	1729 ft²
First Floor Area	1729 ft²
Second Floor Area (2m height)	735 ft²
Grand total: 3	4194 ft²



**LANDMARK GROUP**

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SLADE OAK LANE,  
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BUCKINGHAMSHIRE, SL9 0QE

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FAX : 01895 832 360  
EMAIL: INFO@LANDMARK-GROUP.CO.UK



**SUBMISSION/ REFERENCE**  
Planning

**DRAWING TITLE**  
Replacement Dwelling

**CLIENT/ JOB ADDRESS**  
265 Swakeleys Road,  
Ickenham,  
Uxbridge,  
UB10 8DR

**SHEET TITLE**  
Areas

Rev	Description	Date

<b>DRAWN BY</b> DV	<b>CHECKED BY</b> MS	<b>DATE</b> 28/09/23
<b>SCALE (@ A1)</b> As indicated		<b>PROJECT NUMBER</b> SR 100
<b>DRAWING NUMBER</b> 265/SR/PL/103		<b>REV</b>

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