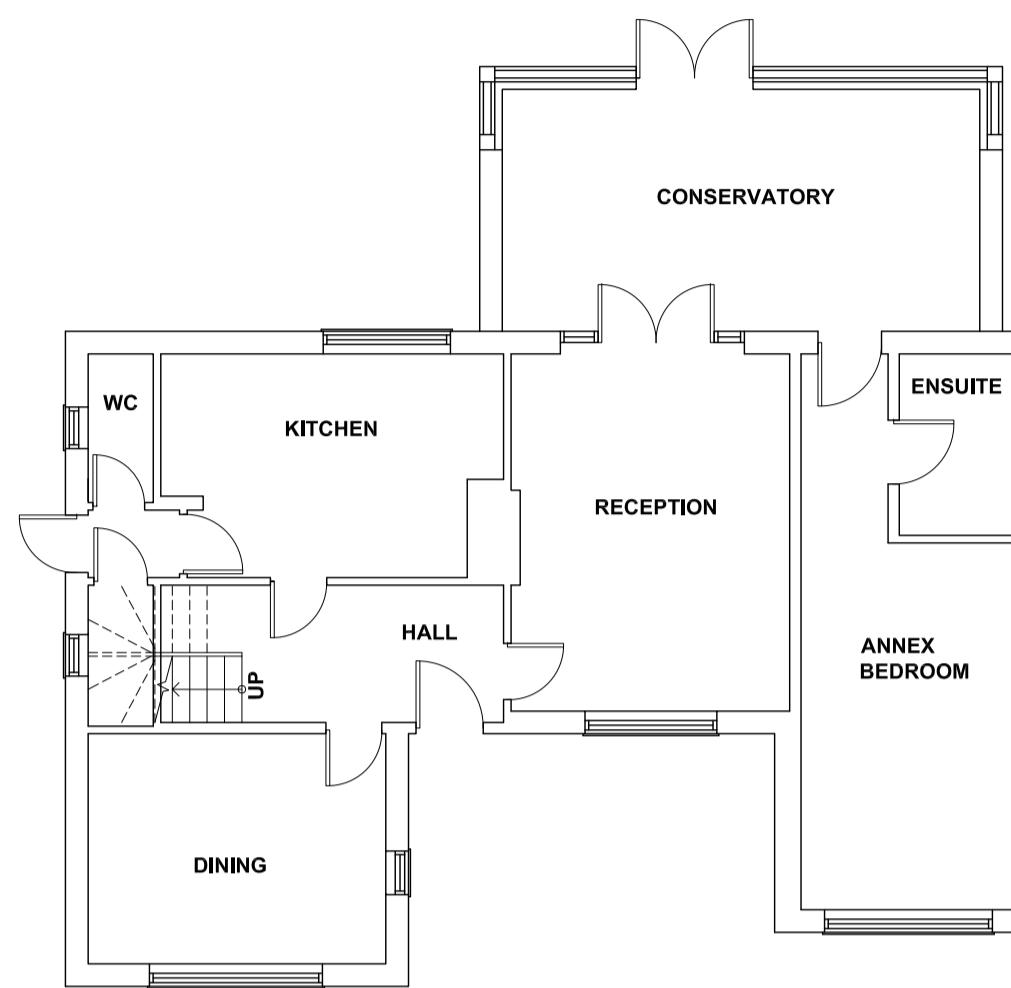
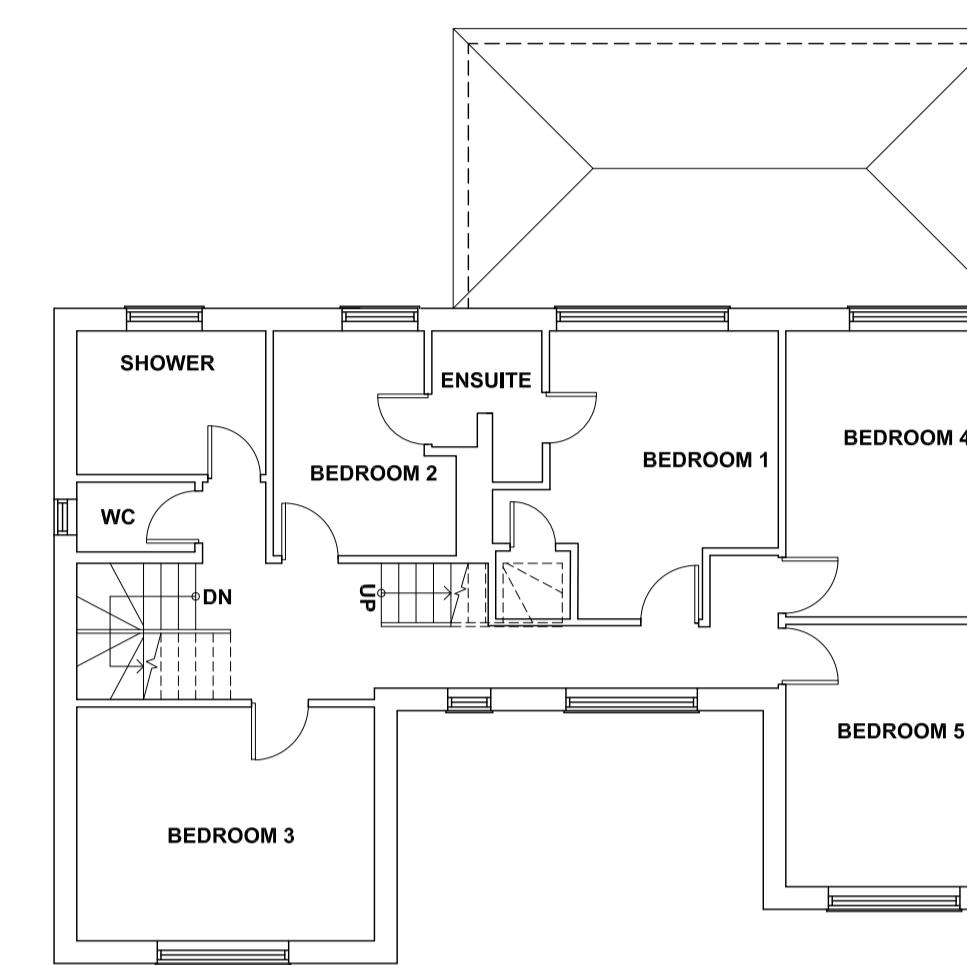
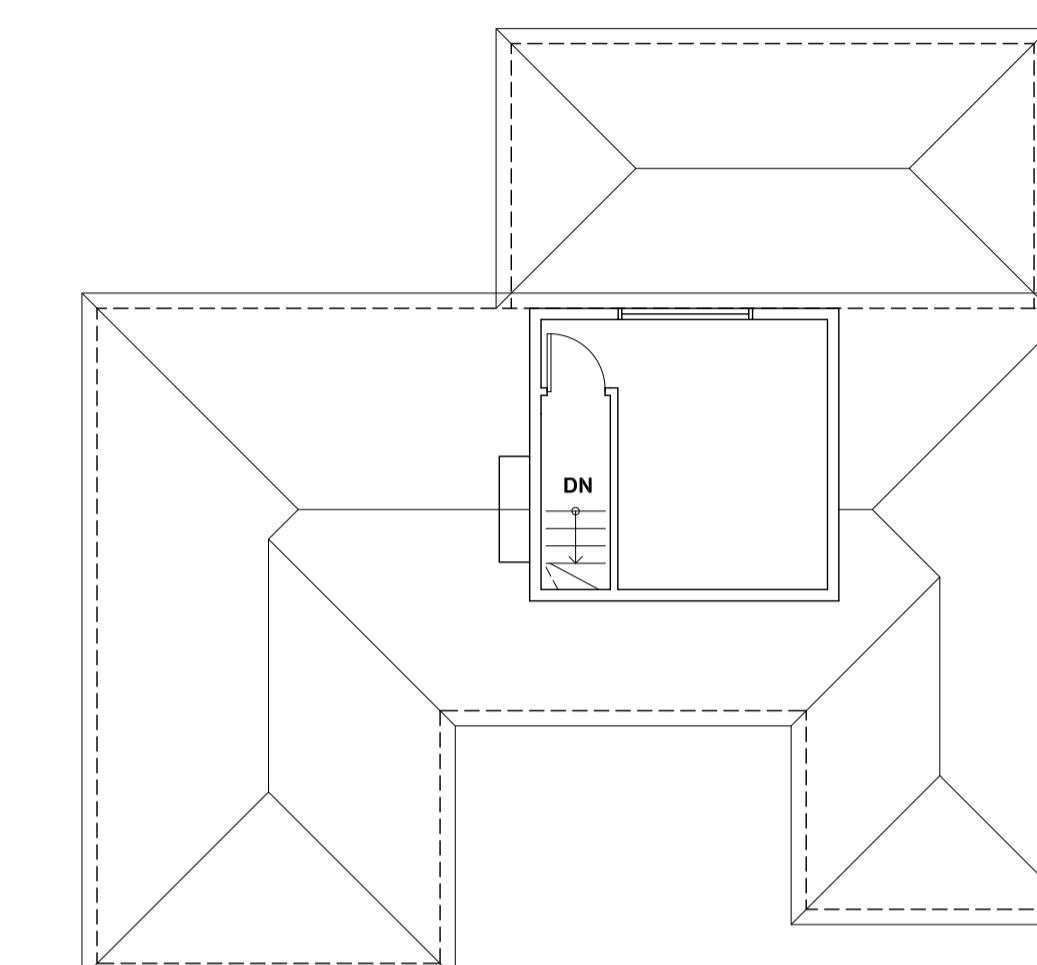
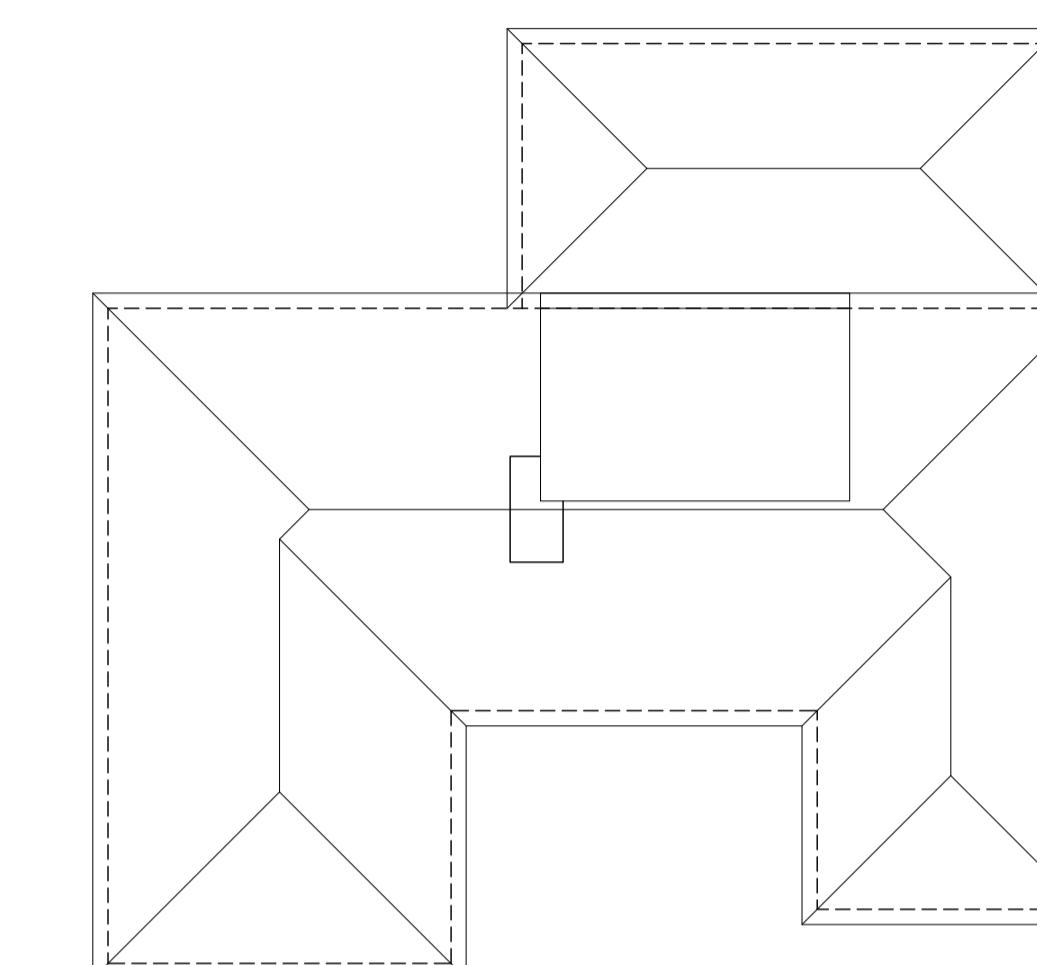
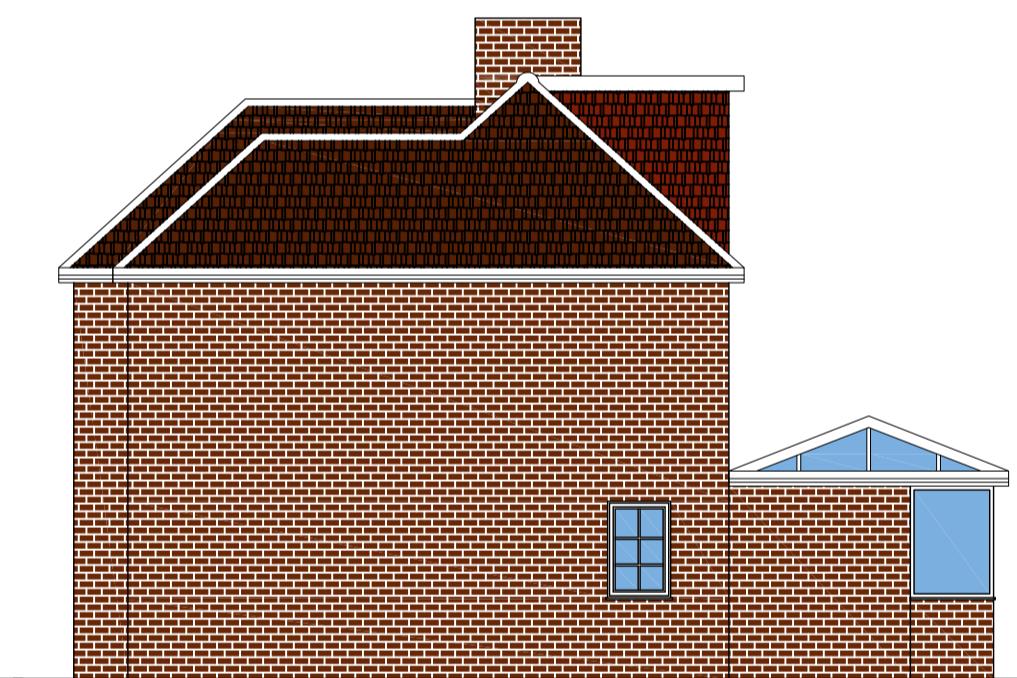
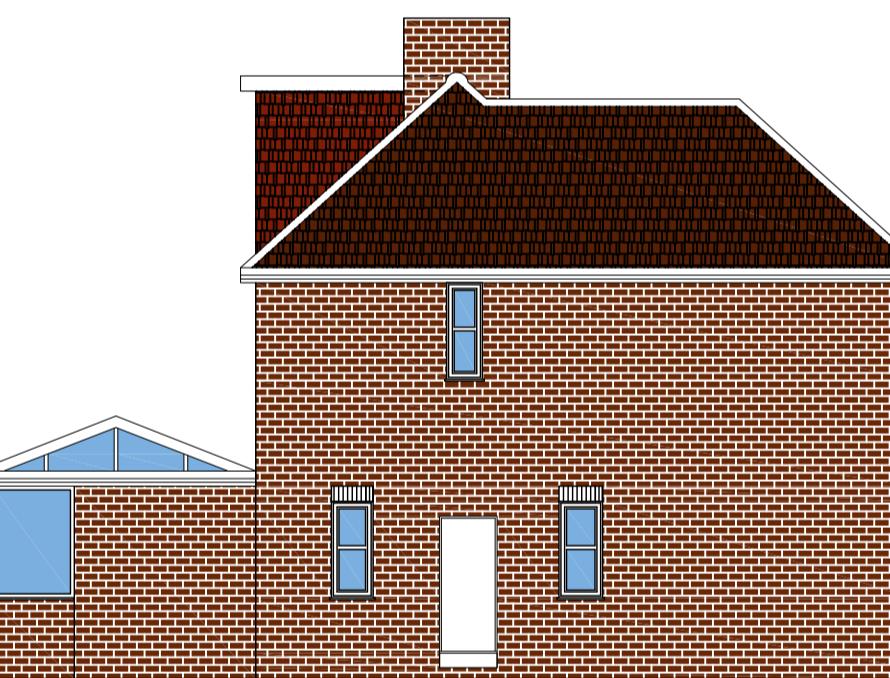


SCALE BAR 1:100



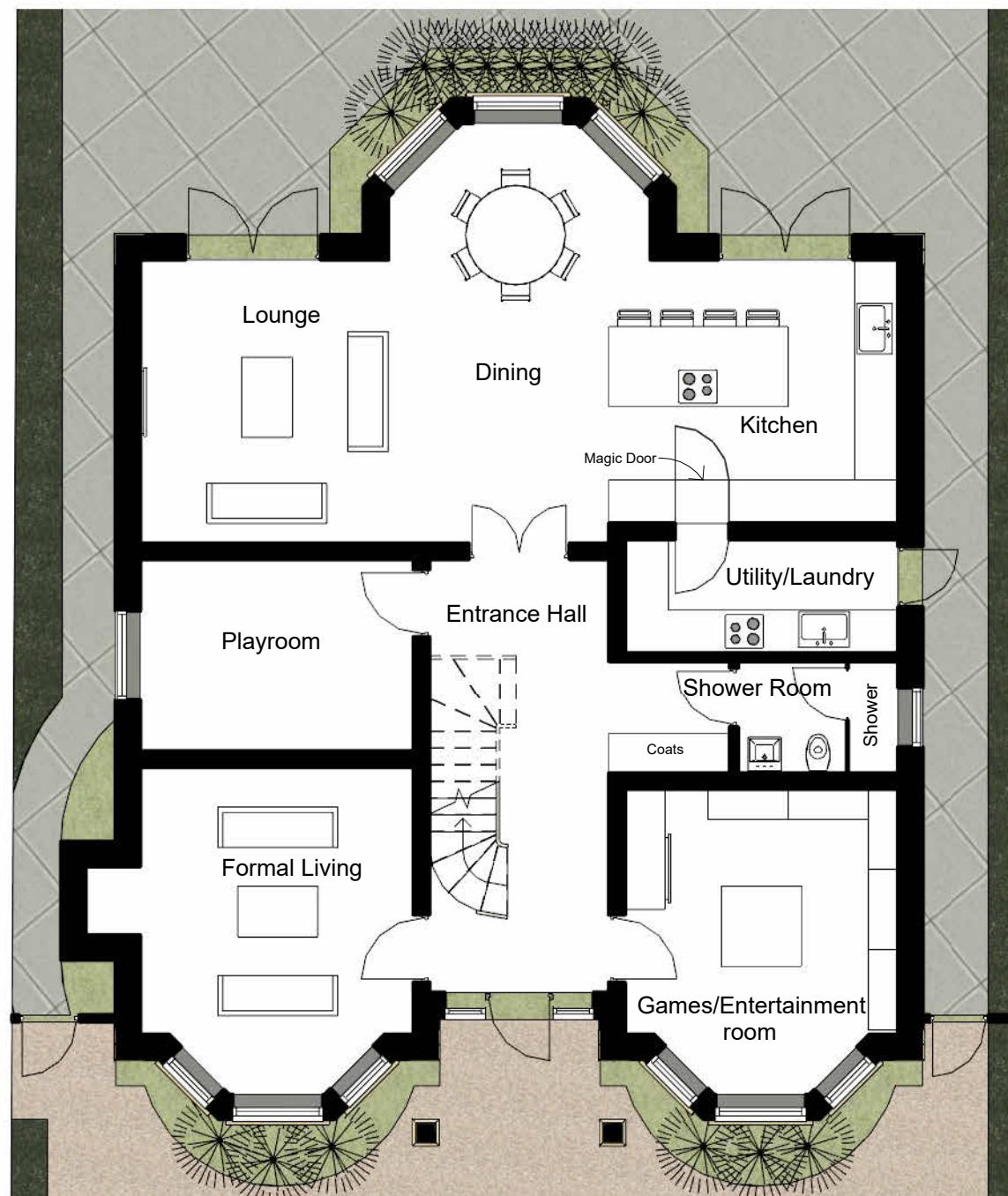
SCALE BAR 1:200

EXISTING GROUND FLOOR PLAN
SCALE 1:100
118m²EXISTING FIRST FLOOR PLAN
SCALE 1:100
94m²EXISTING SECOND FLOOR PLAN
SCALE 1:100
16m²EXISTING ROOF PLAN
SCALE 1:100EXISTING AREA
228m²EXISTING FRONT ELEVATION
SCALE 1:100EXISTING REAR ELEVATION
SCALE 1:100EXISTING SIDE ELEVATION
SCALE 1:100EXISTING SIDE ELEVATION
SCALE 1:100EXISTING SITE PLAN
SCALE 1:500

SCALE BAR 1:500

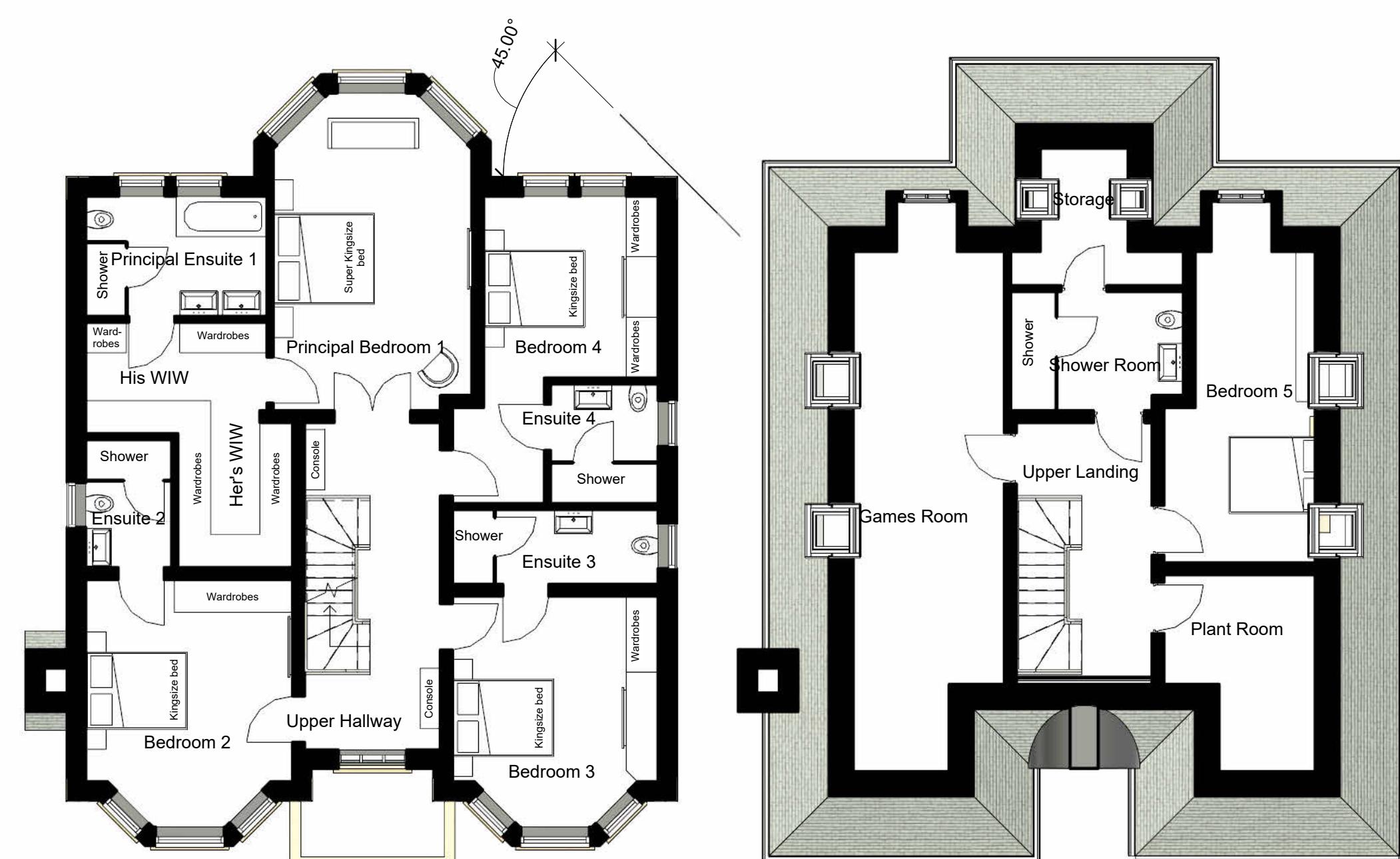
SCALE BAR 1:1250

Scale: 100
0 1m 2 3 4 5 6 7 8 9 10m
Scale: 50
0 1m 2 3 4 5m



01 Ground Floor FFL

1 : 100

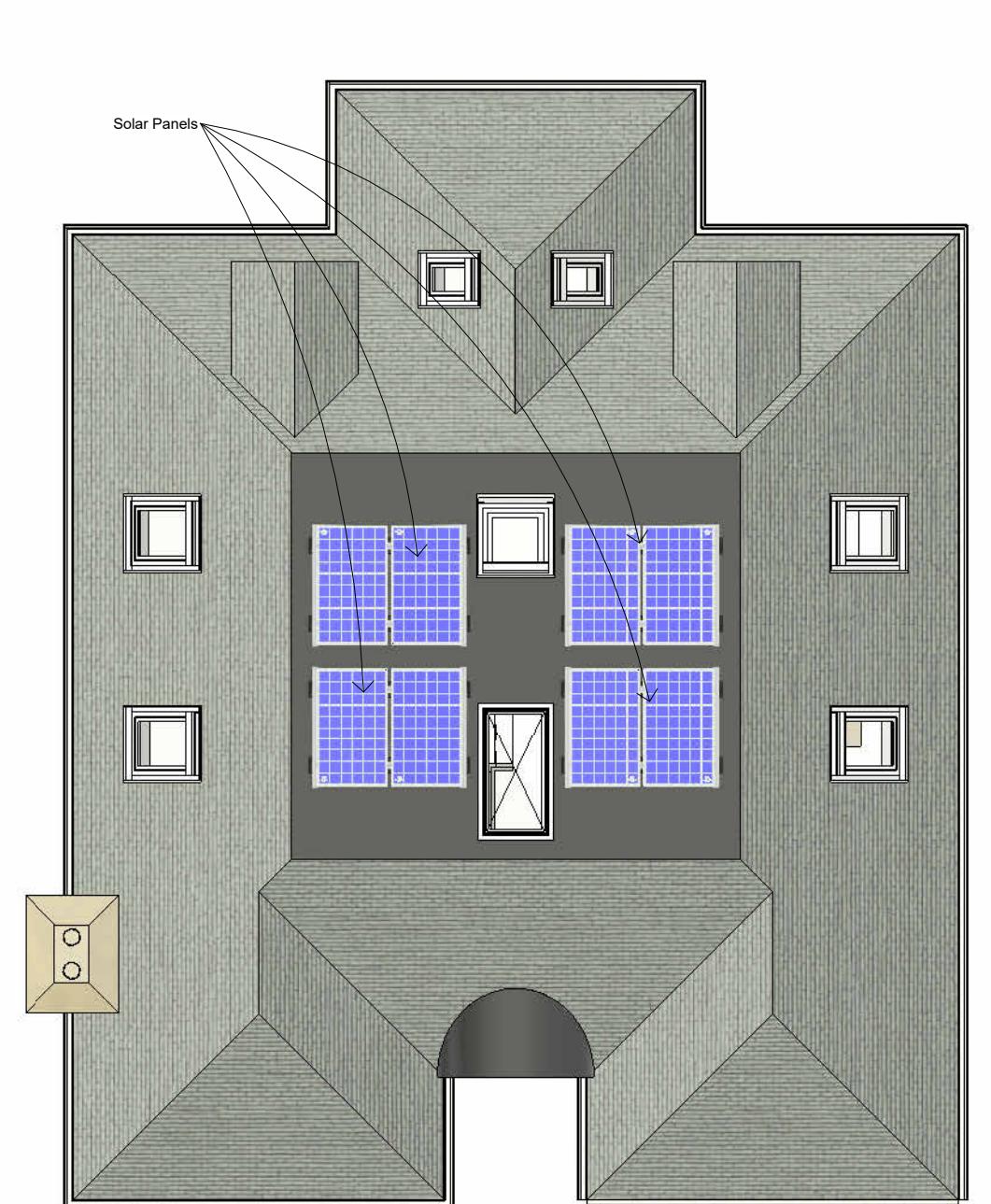


02 First Floor FFL

1 : 100

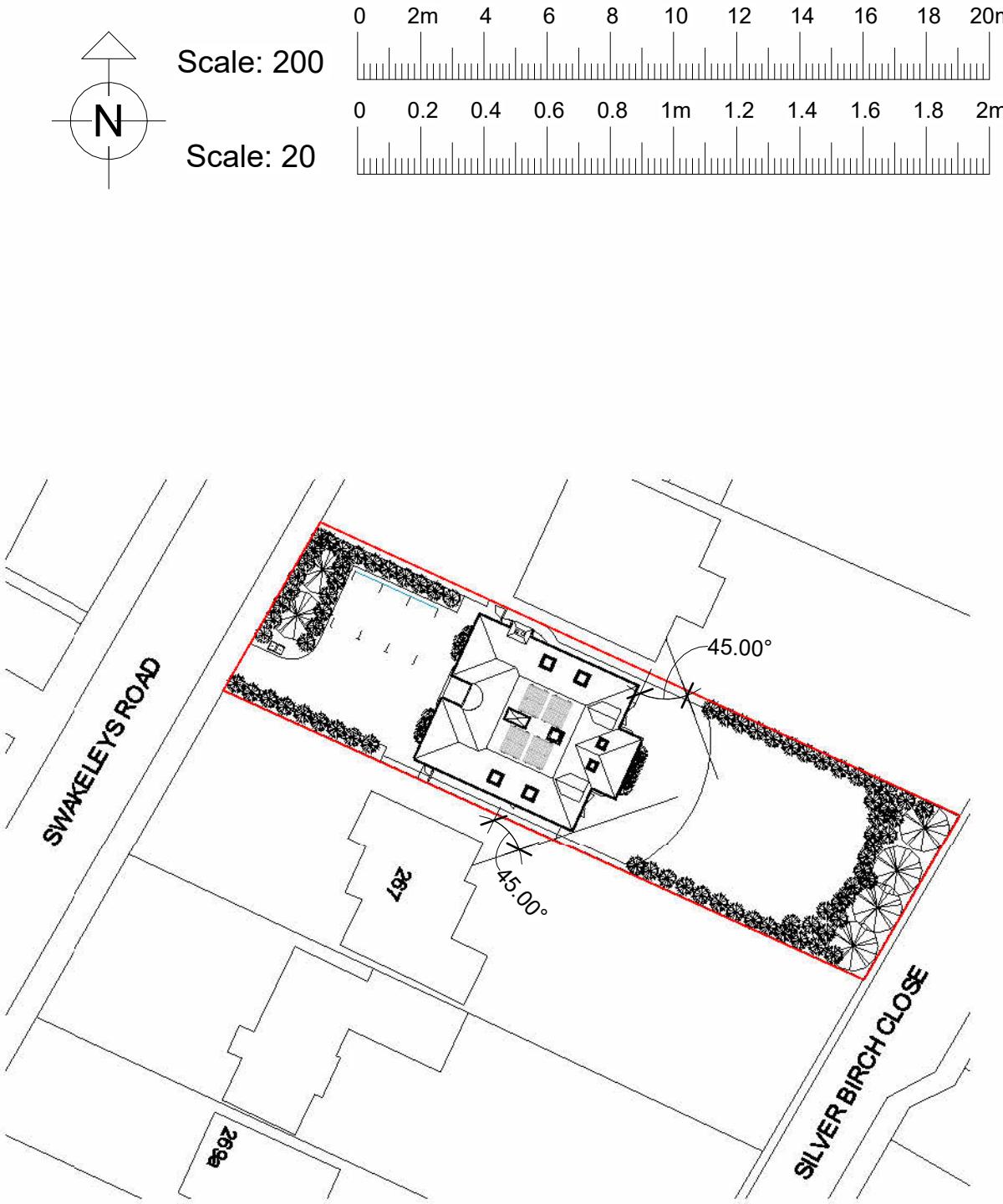
03 Second Floor FFL

1 : 100



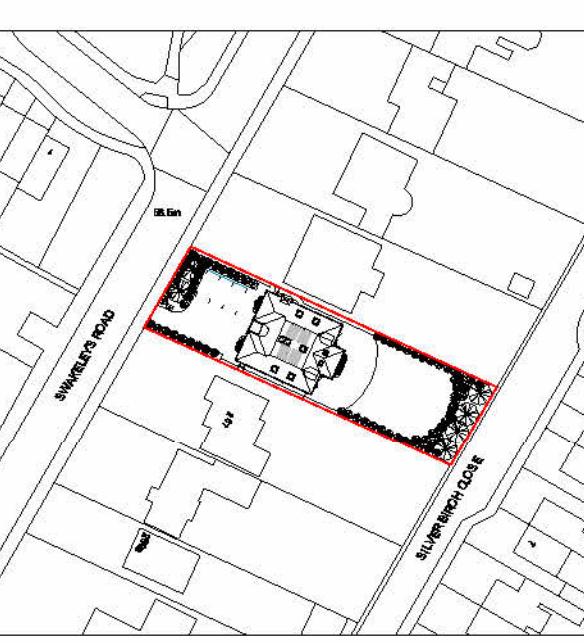
04 Roof Plan

1 : 100



Proposed Site Plan

1 : 500



Proposed Location Plan

1 : 1250



Front Elevation

1 : 100



Side Elevation 1

1 : 100



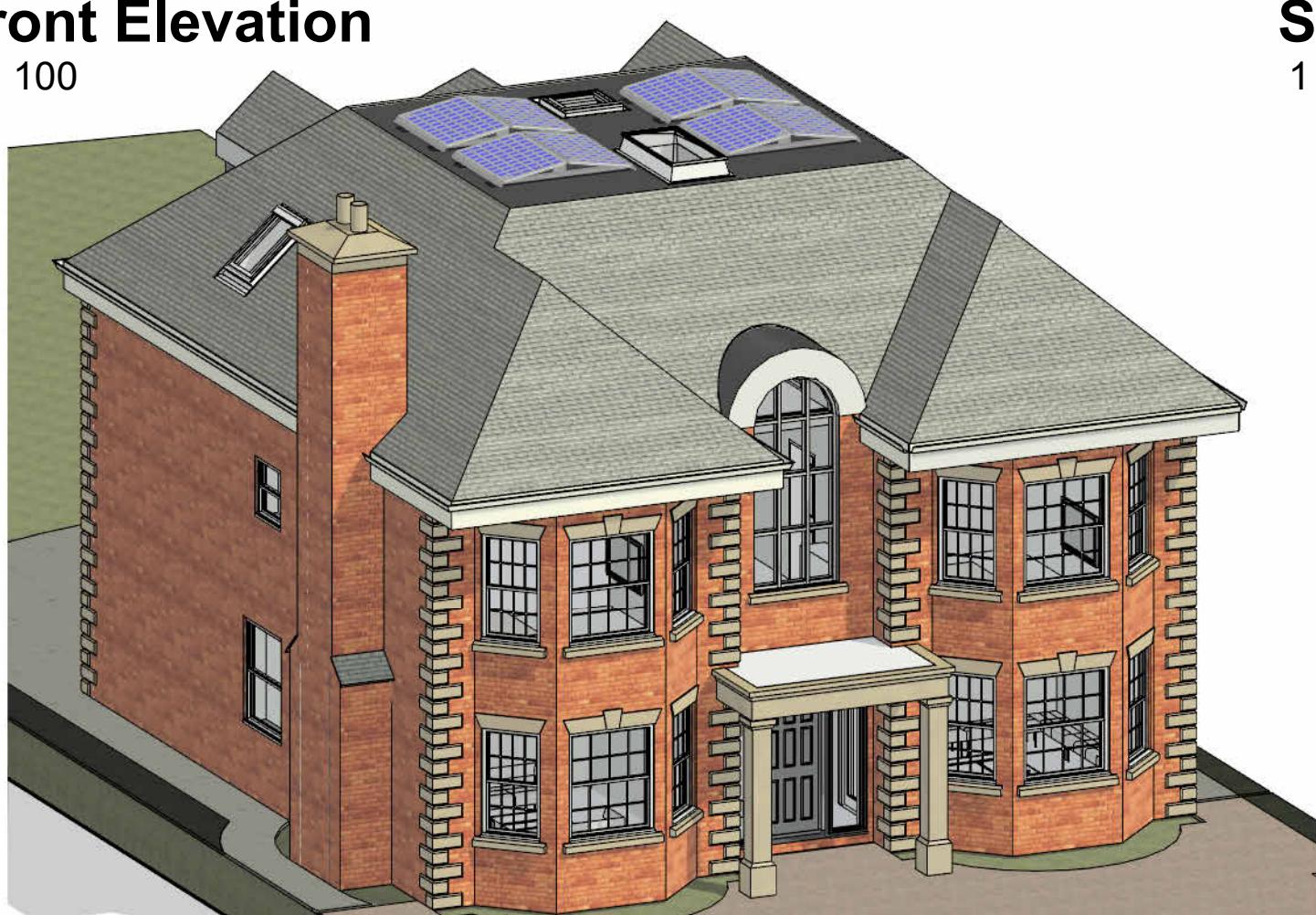
Rear Elevation

1 : 100



Side Elevation 2

1 : 100



3D Front View

Scale: 500
0 5m 10 15 20 25 30 35 40 45 50m



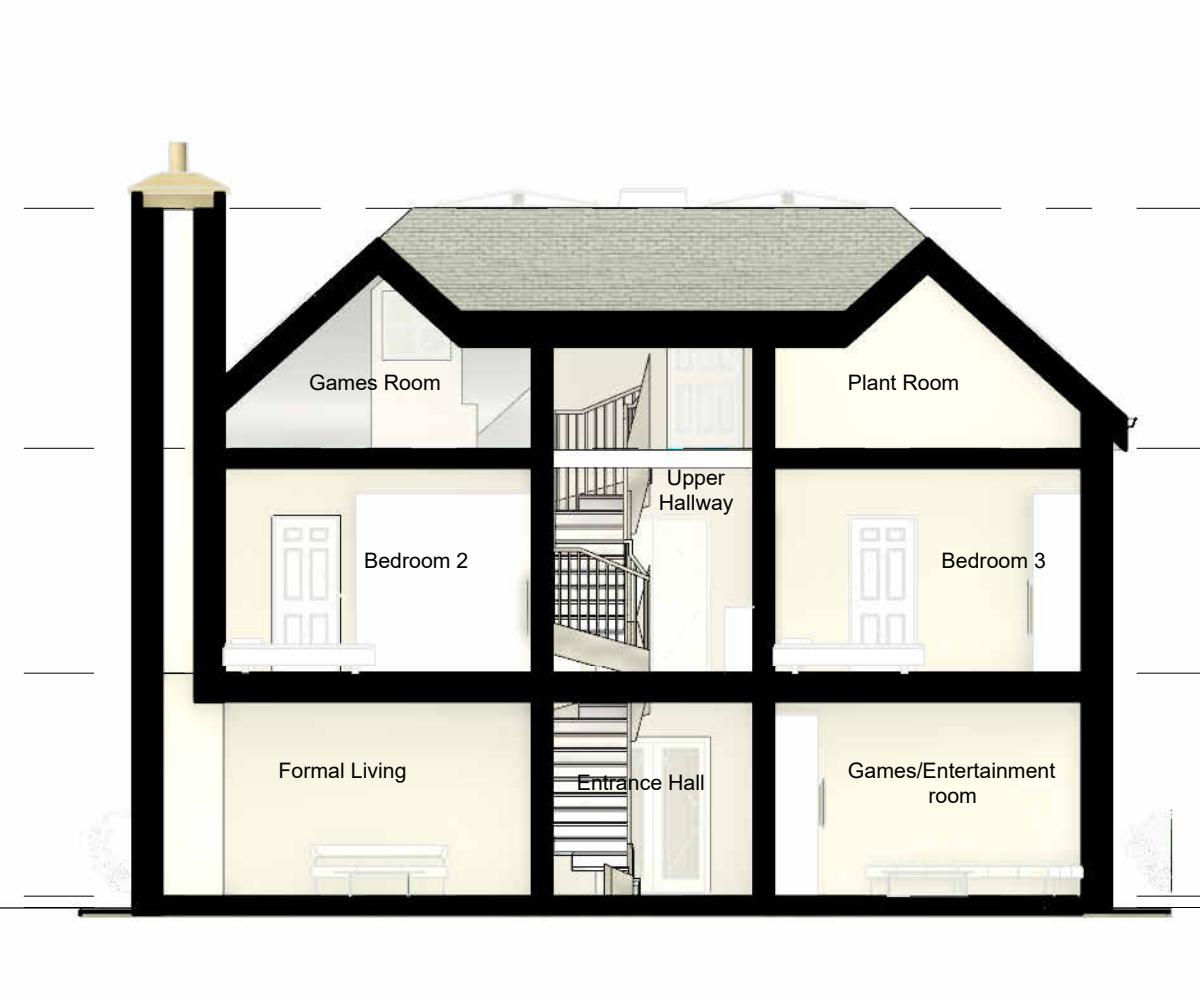
3D Rear View

Scale: 500
0 1m 2 3 4 5m



Longitudinal Section

1 : 100



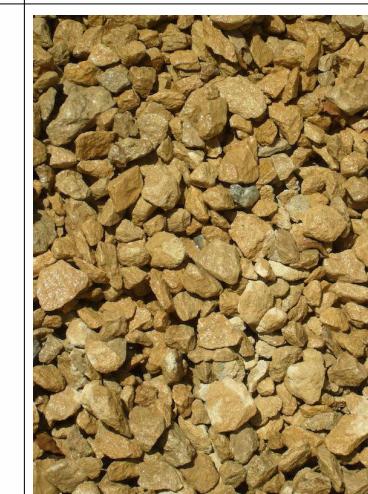
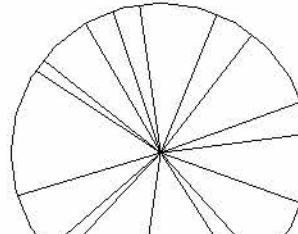
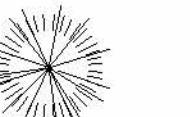
Cross-Sectional Section

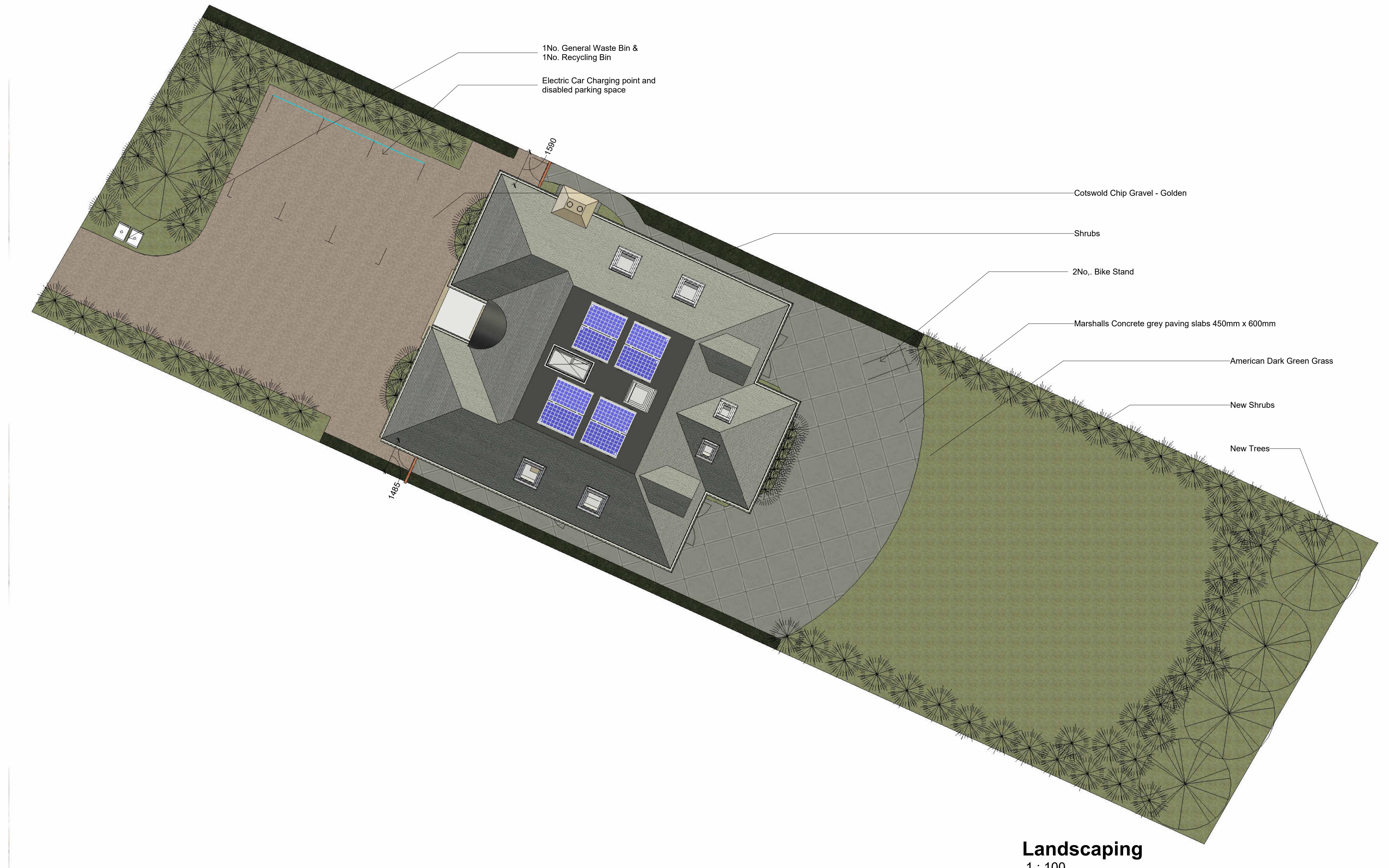
1 : 100

Scale: 1250
0 10m 20 30 40 50 60 70 80 90 100m

Scale: 100 0 1m 2 3 4 5 6 7 8 9 10m
Scale: 50 0 1m 2 3 4 5m

Scale: 200 0 2m 4 6 8 10 12 14 16 18 20m
Scale: 20 0 0.2 0.4 0.6 0.8 1m 1.2 1.4 1.6 1.8 2m

Landscaping Legend	
Material	Image
Cotswold Chip Gravel - Golden	
Marshalls Concrete grey paving slabs 450mm x 600mm	
Shrubs	
PLANTING KEY	DESCRIPTION
	New Tree
	New Shrubs



Scale: 500 0 5m 10 15 20 25 30 35 40 45 50m

Scale: 1250 0 10m 20 30 40 50 60 70 80 90 100m



LANDMARK
GROUP

CIOB
THE CHARTERED INSTITUTE OF BUILDING

RTPI
Chartered Town Planner
IN PARTNERSHIP WITH LABC

THE PILLARS
SLADE OAK LANE,
GERRARDS CROSS
BUCKINGHAMSHIRE, SL9 0QE
TEL: 01895 832 560
FAX: 01895 832 360
EMAIL: INFO LANDMARK-GROUP.CO.UK

SUBMISSION/ REFERENCE

Planning

DRAWING TITLE

Replacement Dwelling

CLIENT/ JOB ADDRESS

265 Swakeleys Road,
Ickenham,
Uxbridge,
UB10 8DR

HEET TITLE

Landscaping

Rev

Description

Date

DRAWN BY

DV

CHECKED BY

MS

DATE

28/09/23

SCALE (@ A1)

1 : 100

PROJECT NUMBER

SR 100

DRAWING NUMBER

265/SR/PL/101

REV

265/SR/PL/101

1 STRUCTURAL AND BUILDING DRAWINGS TO BE READ IN CONJUNCTION WITH ALL RELATED DRAWINGS.
2 ALL DIMENSIONS TO BE CHECKED ON SITE AND ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER BEFORE PROCEEDING WITH THE WORKS.
3 ENGINEERS DRAWINGS INDICATE STRUCTURAL ELEMENTS ONLY.

8 SOME AREAS OF EXISTING WORK HAVE BEEN ASSUMED. ALL ARE TO BE CHECKED ON-SITE BY MAIN CONTRACTOR AND ANY DISCREPANCIES REPORTED SO THAT ADJUSTMENTS CAN BE MADE TO THE STRUCTURAL SCHEME IF NECESSARY.
9 IT IS THE RESPONSIBILITY OF THE CLIENT TO ENSURE THAT THOSE UNDERTAKING THE WORKS ARE COMPETENT AND EXPERIENCED IN THE TYPE OF WORK TO BE UNDERTAKEN.

4 ALL EXISTING DETAILS AND DIMENSIONS INDICATED ON THIS DRAWING ARE FOR GUIDANCE ONLY AND ARE TO BE CHECKED ON SITE BY THE CONTRACTOR.

10 ALL PLANS SHOW STRUCTURE FOR FLOOR ABOVE.
11 THAMES WATER (OR OTHER LOCAL WATER PROVIDER) BUILD OVER AGREEMENTS MAY BE REQUIRED. THIS IS SUBJECT TO A DRAINAGE INSPECTION AND MAY REQUIRE AN ADDITIONAL FEE, WHICH WILL BE PAYABLE TO THE WATER PROVIDER AND LANDMARK GROUP.

5 THE CONTRACTOR IS RESPONSIBLE FOR AND MUST TAKE NECESSARY PRECAUTIONS TO ENSURE THE STABILITY OF EXISTING STRUCTURES AND SUPPORTS. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ALL TEMPORARY SUPPORT REMAINS WITH THE CONTRACTOR AT ALL TIMES.

12 PARTY WALL (ETC) ACT 1996 TO BE AGREED WITH ADJACENT NEIGHBOURS PRIOR TO ALL WORK TO THE SATISFACTION OF LOCAL AUTHORITY INSPECTOR. NO DEVIATION FROM THESE DRAWINGS. WHAT SO EVER UNLESS AGREED IN WRITING WITH LANDMARK GROUP.

6 ALL SERVICES ARE TO BE LOCATED AND PROTECTED AS NECESSARY BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF THE WORKS.

13 ALL GUTTERS, FOUNDATIONS AND DOWNPipes TO REMAIN WITHIN THE BOUNDARY LINES OF THE SUBJECT PROPERTY ALL PLANS ARE SUBJECT TO FULL PLANS APPROVAL BY BUILDING CONTROL NOT BUILDING NOTICE.

7 ALL WORKMANSHIP AND MATERIALS ARE TO BE CARRIED OUT IN ACCORDANCE WITH CURRENT BS. CODES OF PRACTICE AND GOOD BUILDING PRACTICE.

14 DRAWINGS AND CALCULATIONS TO BE APPROVED BY LOCAL AUTHORITY OR APPROVED BUILDING CONTROL INSPECTOR BEFORE WORK COMMENCES.

Scale: 100 0 1m 2 3 4 5 6 7 8 9 10m
Scale: 50 0 1m 2 3 4 5m

LOCATION	DESCRIPTION	IMAGE
Exterior Walls	Weinerberger - Dorton Manor Stock	
Roof Tiles	Marlow - Plain Grey Stone	
Stonework	Serene Stone - Colour Bathstone	
Entrance Door	Black Composite Door - RAL 9005	
Windows	White Georgian UPVC Sash Windows - RAL 9010	
Fascias	White UPVC Fascia	
Downpipes	White UPVC Downpipe	



Front Elevation - Materials

1 : 50

Scale: 500 0 5m 10 15 20 25 30 35 40 45 50m

Rear Elevation - Materials

1 : 50

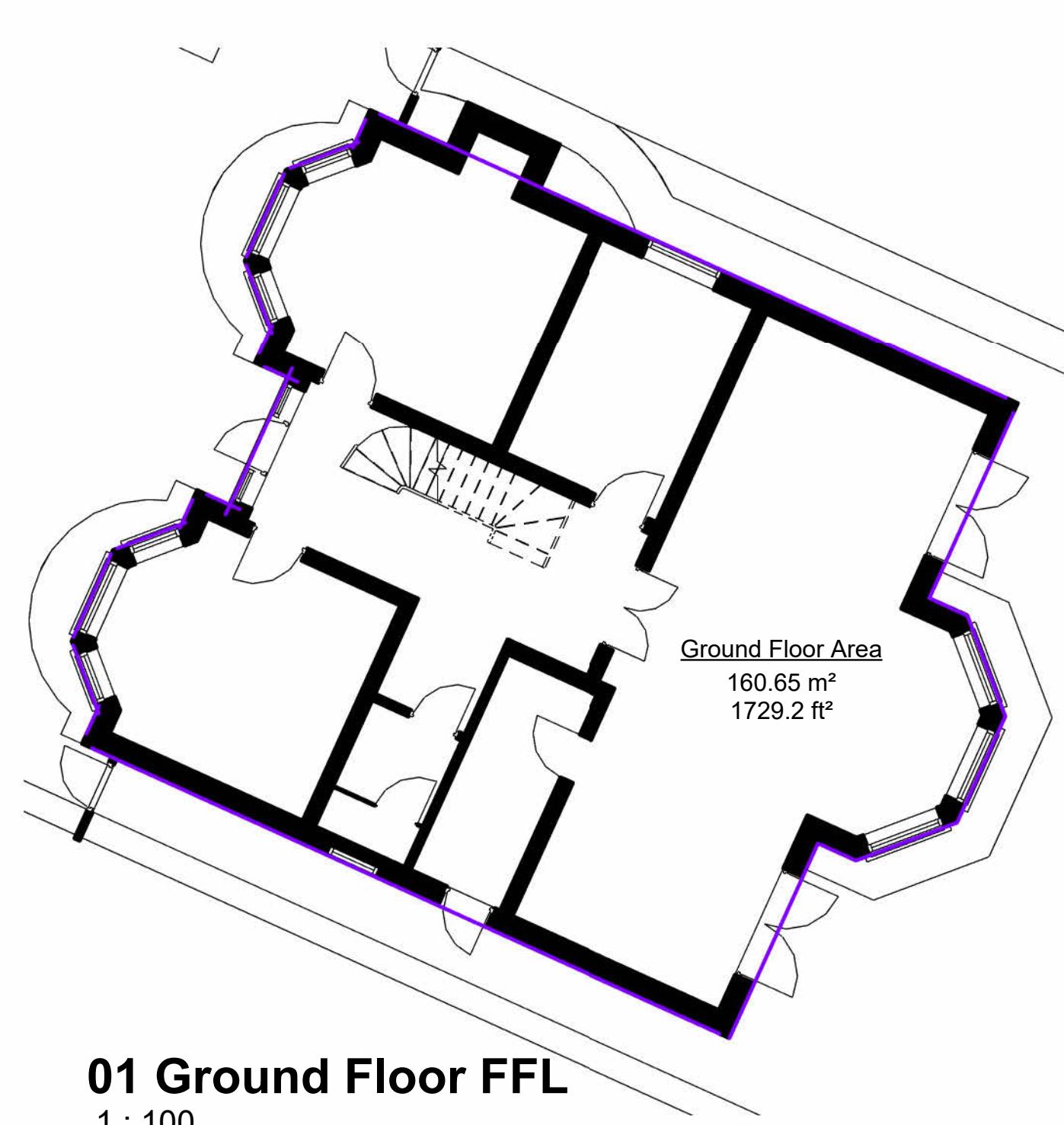
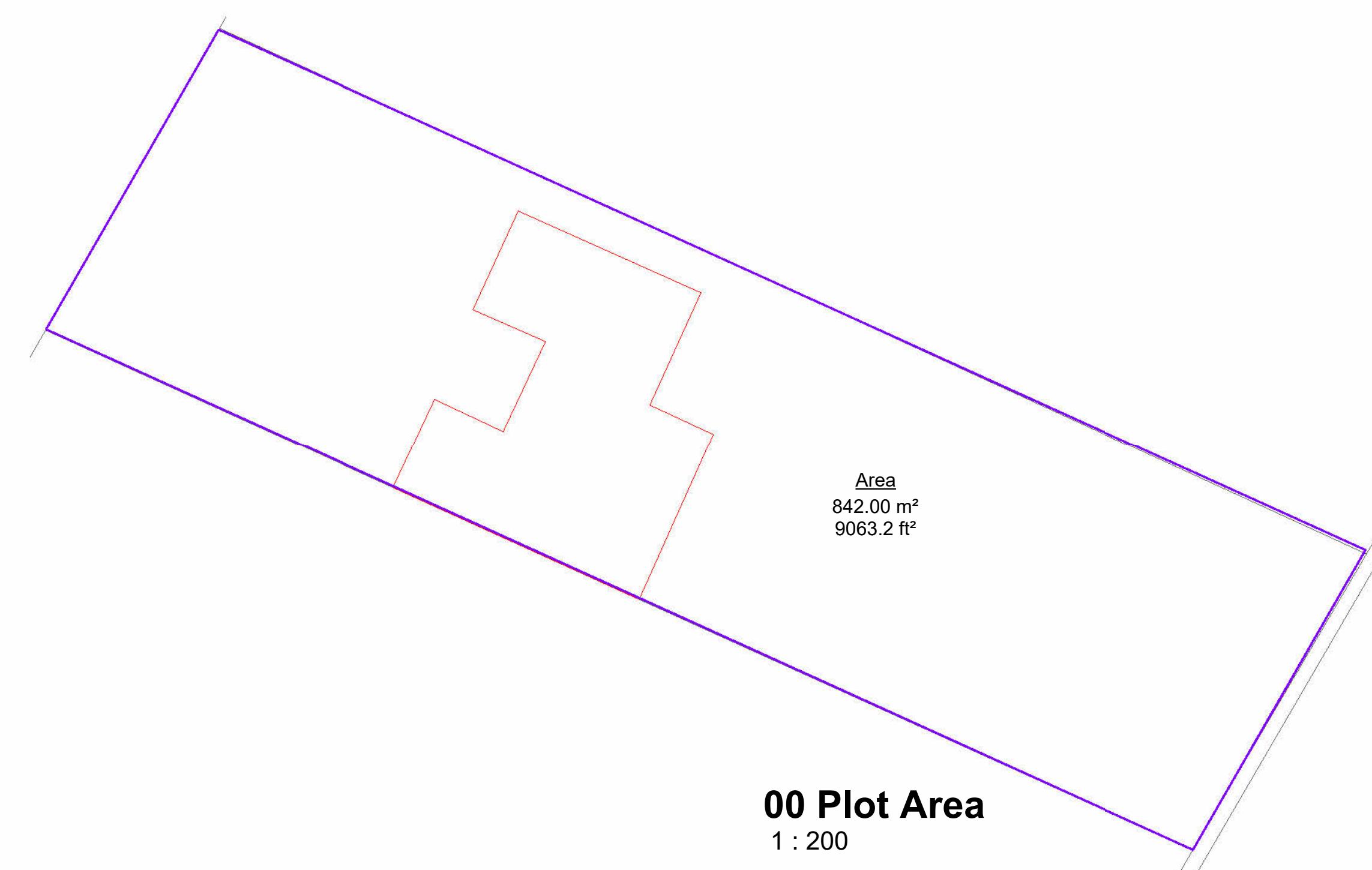
Scale: 200 0 2m 4 6 8 10 12 14 16 18 20m
Scale: 20 0 0.2 0.4 0.6 0.8 1m 1.2 1.4 1.6 1.8 2m



Scale: 1250 0 10m 20 30 40 50 60 70 80 90 100m

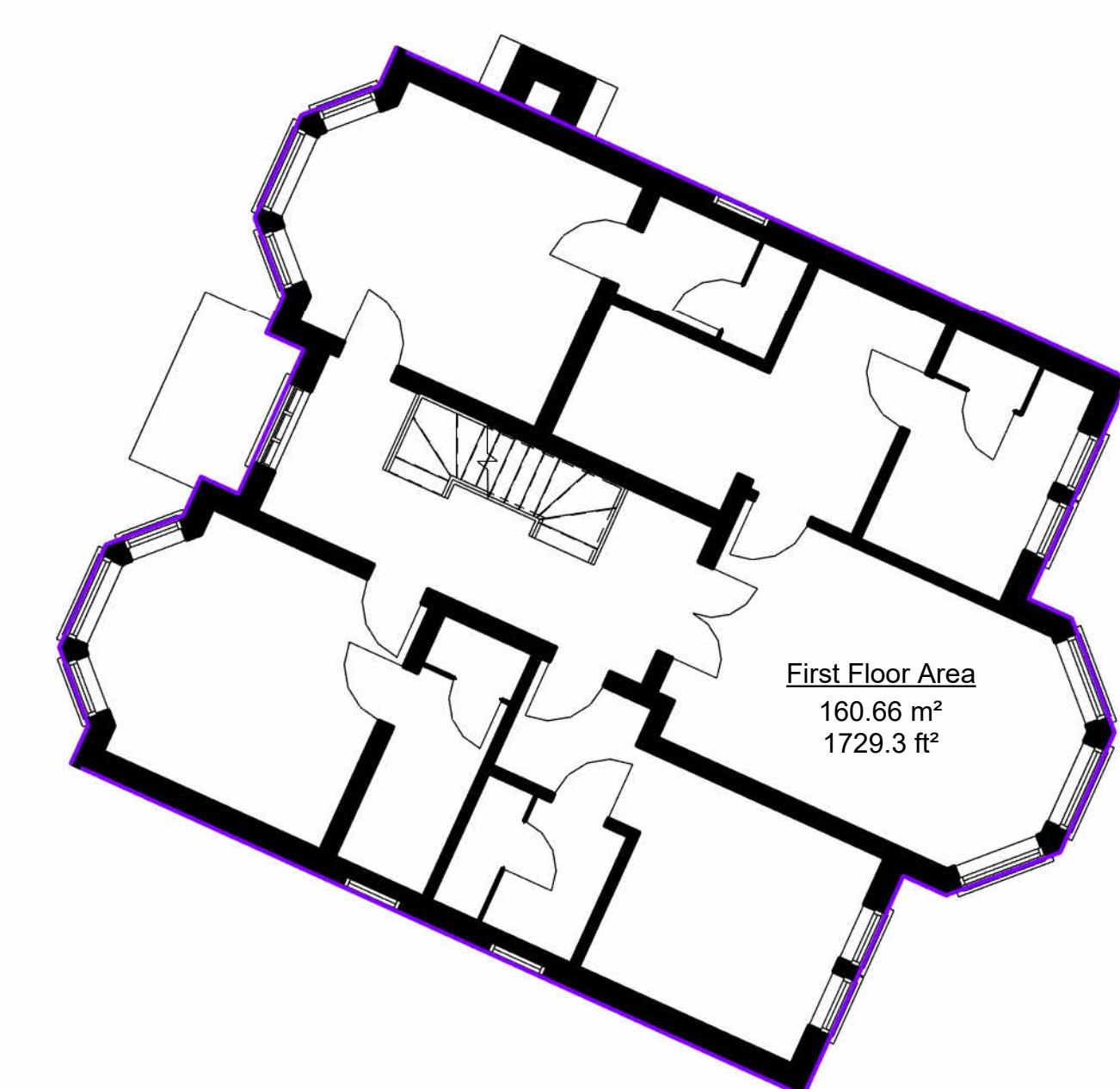
Scale: 200

Scale: 20



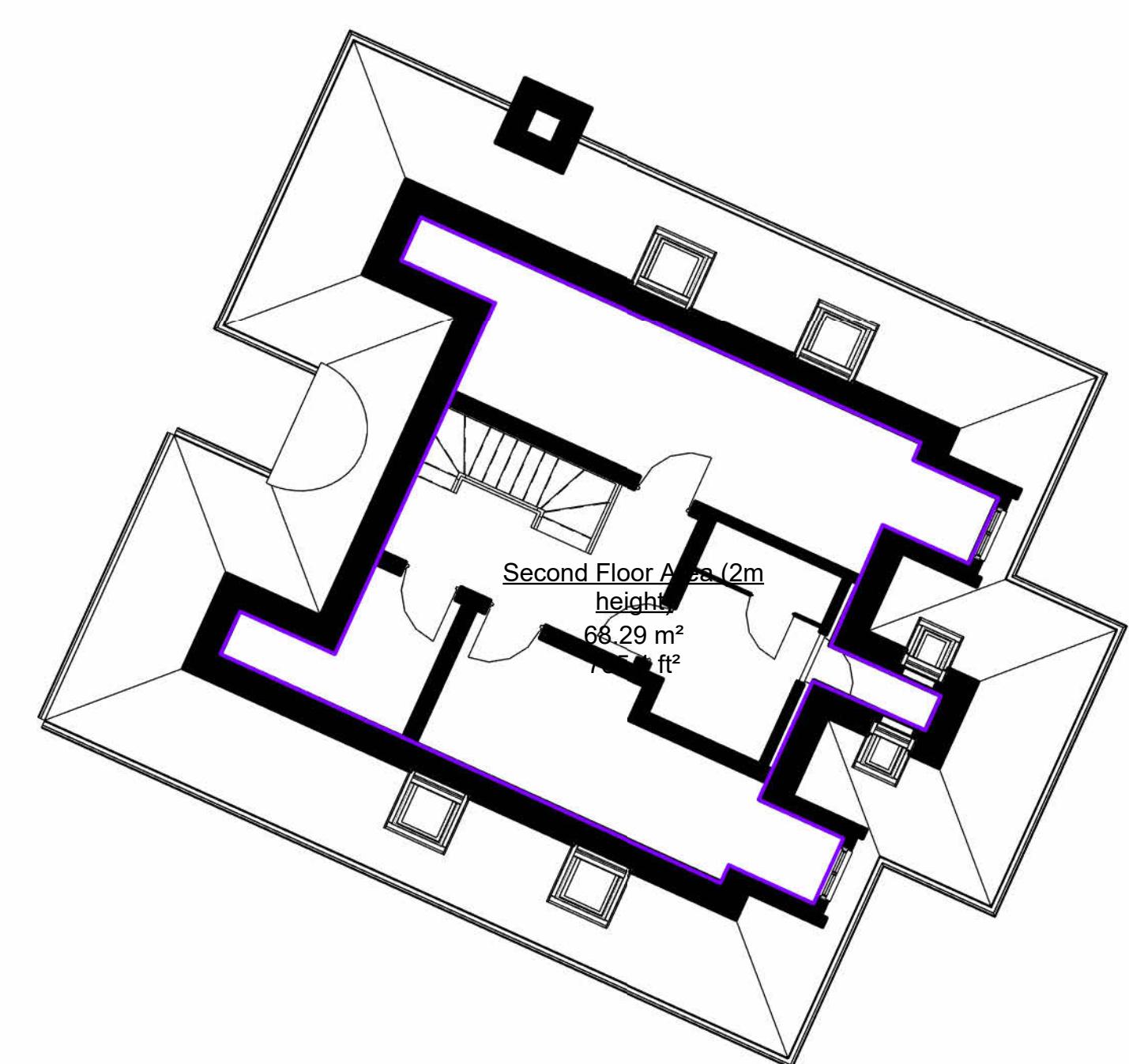
01 Ground Floor FFL

1 : 100



02 First Floor FFL

1 · 1



03 Second Floor E&I

05 Sec

Scale: 500

0 5m 10 15 20 25 30 35 40 45 50

Scale: 1:1250

0 10m 20 30 40 50 60 70 80 90 100m

Area Schedule m2		Area Schedule sqft	
Name	Area	Name	Area
Ground Floor Area	161 m ²	Ground Floor Area	1729 ft ²
First Floor Area	161 m ²	First Floor Area	1729 ft ²
Second Floor Area (2m height)	68 m ²	Second Floor Area (2m height)	735 ft ²
Grand total: 3	390 m ²	Grand total: 3	4194 ft ²

A decorative graphic element consisting of intricate, symmetrical scrollwork or flourish patterns, rendered in a light gray color. The design features flowing lines and circular motifs, creating a sense of movement and elegance.

LANDMARK GROUP



CIOB
THE CHARTERED INSTITUTE OF BUILDING

THE PILLARS
SLADE OAK LANE,
GERRARDS CROSS
BUCKINGHAMSHIRE, SL9 0QE

The logo for RTPI Chartered Town Planners. It features a stylized blue 3D block graphic on the left, followed by the text 'RTPI' in large blue capital letters, and 'Chartered Town Planners' in smaller blue capital letters below it.

1	STRUCTURAL AND BUILDING DRAWINGS TO BE READ IN CONJUNCTION WITH ALL RELATED DRAWINGS.	8	SOME AREAS OF EXISTING WORK HAVE BEEN ASSUMED. ALL ARE TO BE CHECKED ON-SITE BY MAIN CONTRACTOR AND ANY DISCREPANCIES REPORTED SO THAT ADJUSTMENTS CAN BE MADE TO THE STRUCTURAL SCHEME IF NECESSARY.
2	ALL DIMENSIONS TO BE CHECKED ON SITE AND ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER BEFORE PROCEEDING WITH THE WORKS.	9	IT IS THE RESPONSIBILITY OF THE CLIENT TO ENSURE THAT THOSE UNDERTAKING THE WORKS ARE COMPETENT AND EXPERIENCED IN THE TYPE OF WORK TO BE UNDERTAKEN.
3	ENGINEERS DRAWINGS INDICATE STRUCTURAL ELEMENTS ONLY.	10	ALL PLANS SHOW STRUCTURE FOR FLOOR ABOVE
4	ALL EXISTING DETAILS AND DIMENSIONS INDICATED ON THIS DRAWING ARE FOR GUIDANCE ONLY AND ARE TO BE CHECKED ON SITE BY THE CONTRACTOR.	11	THAMES WATER (OR OTHER LOCAL WATER PROVIDER) BUILD OVER AGREEMENTS MAY BE REQUIRED. THIS IS SUBJECT TO A DRAINAGE INSPECTION AND MAY REQUIRE AN ADDITIONAL FEE, WHICH WILL BE PAYABLE TO THE WATER PROVIDER AND LANDMARK GROUP.
5	THE CONTRACTOR IS RESPONSIBLE FOR AND MUST TAKE NECESSARY PRECAUTIONS TO ENSURE THE STABILITY OF EXISTING STRUCTURES AND THE WORKS AT ALL TIMES DURING CONSTRUCTION. TEMPORARY SUPPORT MAY BE REQUIRED. RESPONSIBILITY FOR ALL TEMPORARY SUPPORT REMAINS WITH THE CONTRACTOR AT ALL TIMES.	12	PARTY WALL (ETC) ACT 1996 TO BE AGREED WITH ADJOINING NEIGHBOURS PRIOR TO ALL WORK TO THE SATISFACTION OF LOCAL AUTHORITY INSPECTOR. NO DEVIATION FROM THESE DRAWING WHAT SO EVER UNLESS AGREED IN WRITING WITH LANDMARK GROUP
6	ALL SERVICES ARE TO BE LOCATED AND PROTECTED AS NECESSARY BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF THE WORKS.	13	ALL GUTTERS, FOUNDATIONS AND DOWNPipes TO REMAIN WITHIN THE BOUNDARY LINES OF THE SUBJECT PROPERTY ALL PLANS ARE SUBJECT TO FULL PLANS APPROVAL BY BUILDING CONTROL, NOT BUILDING NOTICE.
7	ALL WORKMANSHIP AND MATERIALS ARE TO BE CARRIED OUT IN ACCORDANCE WITH CURRENT BS, CODES OF PRACTICE AND GOOD	14	DRAWINGS AND CALCULATIONS TO BE APPROVED BY LOCAL AUTHORITY OR APPROVED BUILDING CONTROL INSPECTOR BEFORE WORK