



Bridge Industrial

**RIVERSIDE HOUSE,
HILLINGDON**

Car Park Management Plan

January 2023

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Appendix A - Site Plan

1 INTRODUCTION

1.1 This Car Park Management Plan which is required to discharge Condition 7 of Planning Permission (Ref: 35755/APP/2021/4146) has been prepared by TTP Consulting on behalf of Bridge Industrial (the Landlord) for their Site on Riverside Road in the London Borough of Hillingdon. It will be updated to include contact details by the incoming tenant.

1.2 Condition 7 states that:

"Prior to the occupation of the development a parking management plan shall be submitted to and approved in writing by the Local Planning Authority. The plan shall include details of how the proposed parking spaces will be managed"

1.3 Contact details for the Administration Team are as follows:

Name: _____

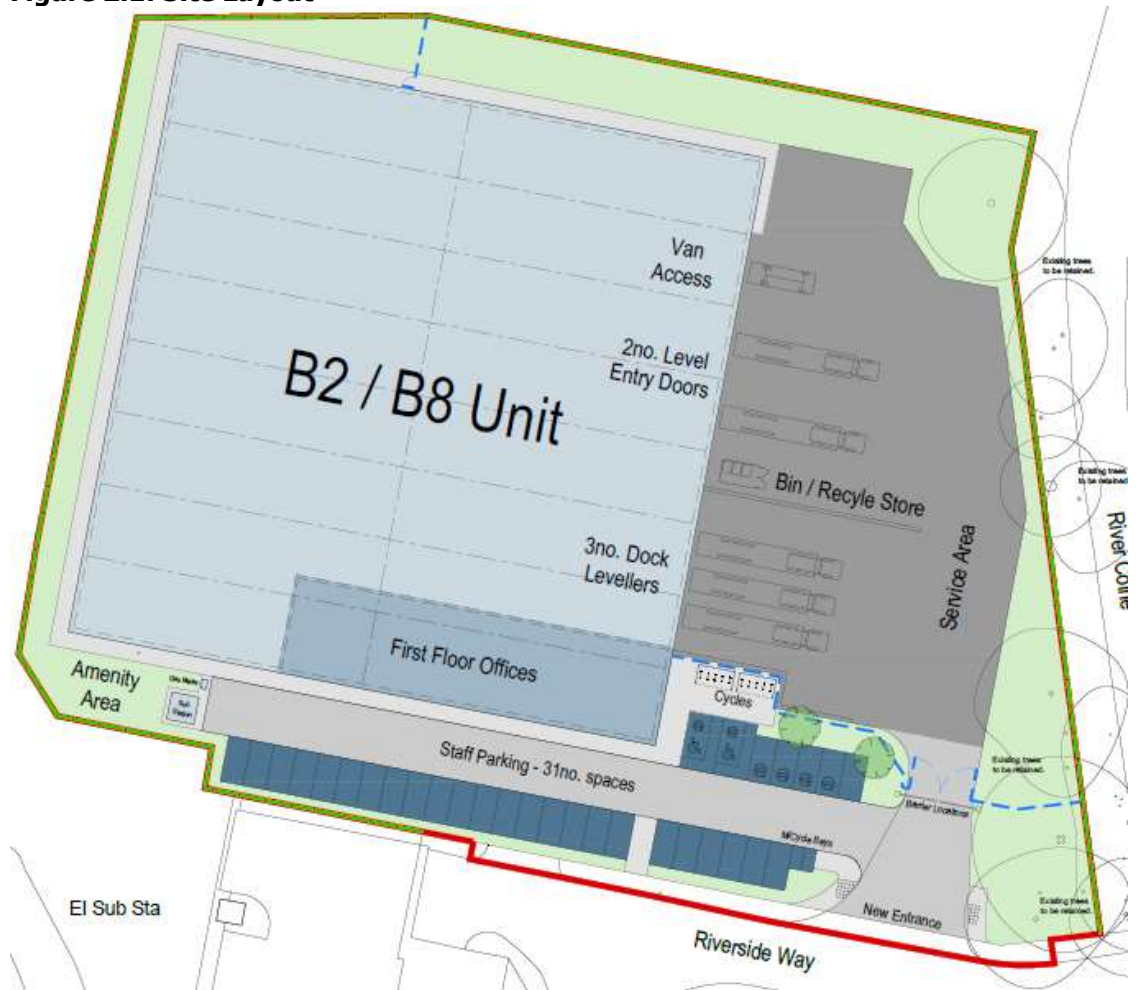
Email: _____

Tel: _____

2 THE SITE

- 2.1 The Site comprises of a 4,675sqm warehouse including ancillary office accommodation with parking for up to 31 cars; the provision includes 2 spaces reserved for Blue Badge holders and 6 spaces with EV Charging facilities. In addition, parking is provided for up to 20 bicycles and 2 motorbikes with a copy of the Site layout illustrated in **Figure 2.1**.

Figure 2.1: Site Layout



3 MANAGEMENT STRATEGY

General

- 3.1 Use of the parking spaces is restricted to employees and visitors to the Site.
- 3.2 Employees will be required to provide details of their car to the Administration Team including make, model and registration of the vehicle along with whether the vehicle requires use of the Electric Charging Facilities and they hold a Blue Badge.

Disabled Spaces

- 3.3 Use of the Disabled Spaces is reserved for employees and visitors displaying a Blue Badge. Level access is provided to the building from the Disabled Parking spaces.
- 3.4 The Administration Team will monitor the use of the Disabled Spaces with the aim of taking necessary action against unauthorised use of the Disabled Spaces.
- 3.5 The Administration Team will arrange to provide additional spaces for Blue Badge holders should the demand arise.

Electric Charging Facilities

- 3.6 Six spaces will be provided with Rapid Charging facilities with a further four having passive provision to be converted should demand arise. The spaces will be provided with 62.5kW Rapid Charging units.
- 3.7 Use of the spaces with Electric Charging facilities is reserved for vehicles with electric charging requirements.
- 3.8 Vehicles parked in spaces with Electric Charging facilities are required to be plugged in and charging.
- 3.9 The Administration Team will monitor the demand for Electric Charging spaces. Should the demand arise, additional Electric Charging facilities will be provided in the spaces identified with Passive Provision.

Motorcycle Parking

- 3.10 Parking is provided for 2 motorcycles in the vicinity of the vehicular access. The spaces are provided with ground anchor bolts to secure the motorbikes.
- 3.11 The Administration Team will monitor the use of the motorcycle parking and will endeavour to provide additional parking should the demand arise.

Bicycle Parking

- 3.12 There is parking for up to 20 bicycles in a shelter within the car park adjacent to the reception entrance. The spaces are free to use and available for both staff and visitors.
- 3.13 The Administration Team will monitor the demand for bicycle parking with the aim of providing additional parking should demand levels dictate.

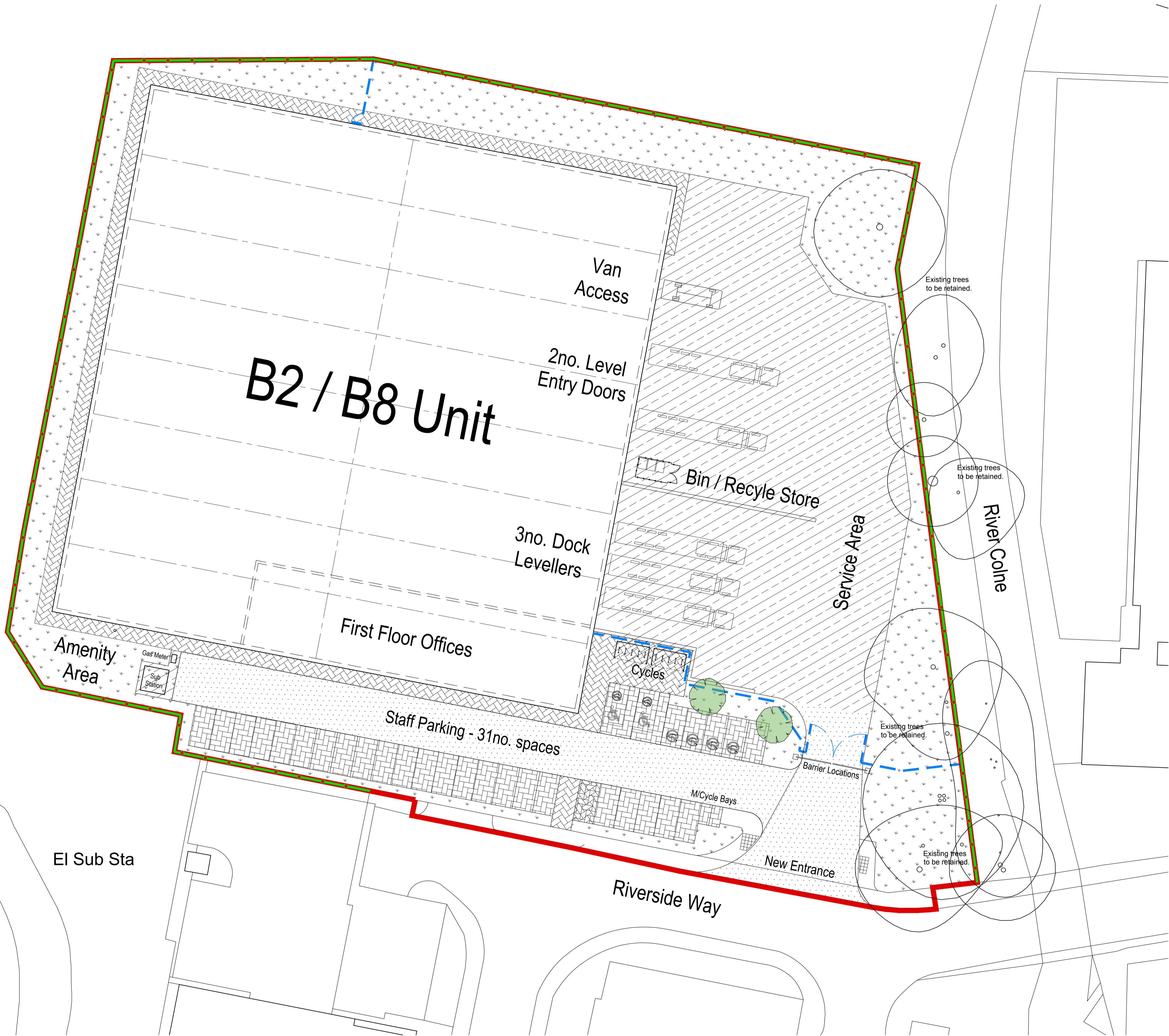
4 REVIEW

4.1 The Car Park Management Plan will be reviewed and updated in January each year or as and when necessary to reflect changes in circumstances. The Review will include but not be limited to the following:

- Changes in the Administration Team (responsible for managing the CPMP);
- Change in Occupier / Tenant;
- The number and location of Disabled Parking;
- The number and location of spaces with Electric Charging facilities;
- The number and location of motorcycle parking; and
- The bicycle parking.

Appendix A

(Layout)



External Finishes Legend

- Brushed concrete surface to service area
- Concrete block pavours laid to car parking bays, with contrasting colour blocks to delineate individual bays.
- Macadam finish to estate road and adjacent footpaths and car park carriageway.
- Concrete block pavours to footpath; laid herringbone. Footpath to rear of Warehouses to include a 300mm margin of gravel adjacent building.
- Combination of planted and grassed landscaping. Refer to Landscape Architect's drawings for details.
- Proposed 2.4m high paladin fence; polyester powder coated black to match existing fence colour. Complete with matching gates.
- Existing powder coated black palisade fence

E	12/05/22	Cycle and motorcycle parking updated.	mjl
D	28/10/21	Landscaping updated.	mjl
C	22/10/21	Scale bar added.	sih
B	13/10/21	Scheme updated to reflect arboricultural information.	mjl
A	15/09/21	Site entrance amended.	kt
no.	date	revision	by



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client

Bridge Development Partners

project

Riverside Way Uxbridge

drawing

Proposed Site Layout Plan External Finishes

scale 1:250 @ A1 drawn kt

checked mjl date 02/09/21

no

6844 - 021 Rev E

PLANNING

