

Proposed Location Plan

0 12.5 25 37.5 50 62.5m
1:1250



Proposed Block Plan

0 5 10 15 20 25m
1:500

GENERAL NOTES

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3. ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO THE FABRICATION OF ANY WORK AND/OR ORDERING ANY MATERIAL.

4. ABBREVIATIONS USED:-
MJ MOVEMENT JOINT, HL AT HIGH LEVEL
AV AIR ADMITTANCE VALVE, SVP SOIL AND VENT PIPE
DP DRAINAGE POINT, RWP RAIN WATER PIPE
W1 WINDOW REFERENCE

10. KITCHEN LAYOUT TO SPECIALIST'S DESIGN AND DETAILS
11. MECHANICAL VENTILATION
ALL EXTRACT DUCTS TO RUN BE WITHIN FLOORS AND ROOF VOID UNLESS STATED OTHERWISE.

INDICATES EXTRACT LOCATION

5. LEGEND
NEW FACING BRICKWORK TO MATCH WITH THE EXISTING.
7.3 N/SQ. MM LOADBEARING AIRCRETE BLOCK (450 - 800 KG/M³) TO EXTERNAL CAVITY WALL TO CLIENTS SPECIFICATION. BLOCK STRENGTH TO BE CONFIRMED AND DETAILED BY THE STRUCTURAL ENGINEER

12. ALL EXTERNAL MATERIALS AND DETAILS TO BE CONFIRMED BY THE END USER AND LOCAL AUTHORITY BEFORE PLACING ANY ORDER FOR MATERIALS OR COMMENCEMENT OF WORK ON SITE.

NEW NON-LOADBEARING PARTITION, 70MM TIMBER STUDS WITH 12.5MM SOUNDBLOC RAPID BOARD ON EACH SIDE. 12.5MM PLY BOARD TO BE USED TO SUPPORT MAIN WALL IN BEDROOMS AND ALL SIDES OF BATHROOM AND KITCHEN FOR APPLIANCES FIXTURES. PARTITION TO ACHIEVE MINIMUM 40DB SOUND REDUCTION. MR GRADE BOARD TO BE USED IN WET AREAS. (PLEASE CONFIRM FROM CLIENT IF TIMBER STUD TO BE REPLACED WITH GYPSUM 'C' STUDS)
50MM SOUND QUILT INSULATION TO BE FILLED AS INDICATED ON FLOOR PLANS

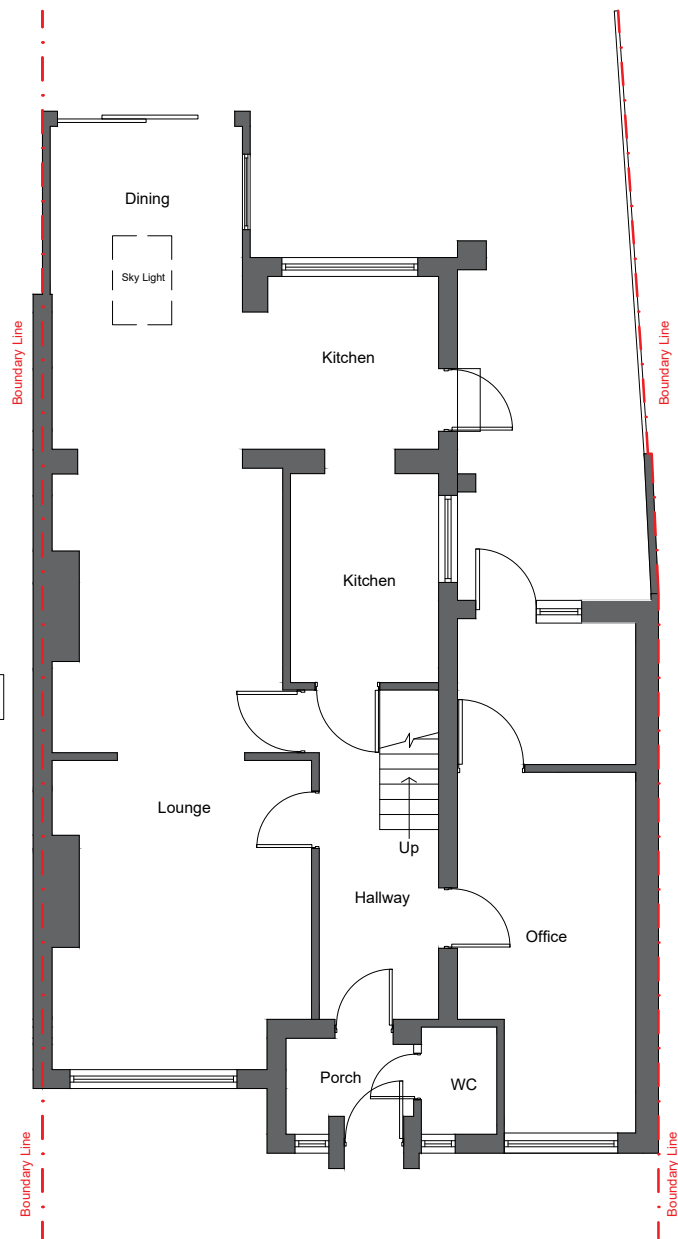
WALL FOR ATTIC ROOM, EXACT SIZE OF TIMBER TO BE CONFIRMED BY ENGINEER

DENOTES SPAN OF FLOOR OVER (TYPE STATED)

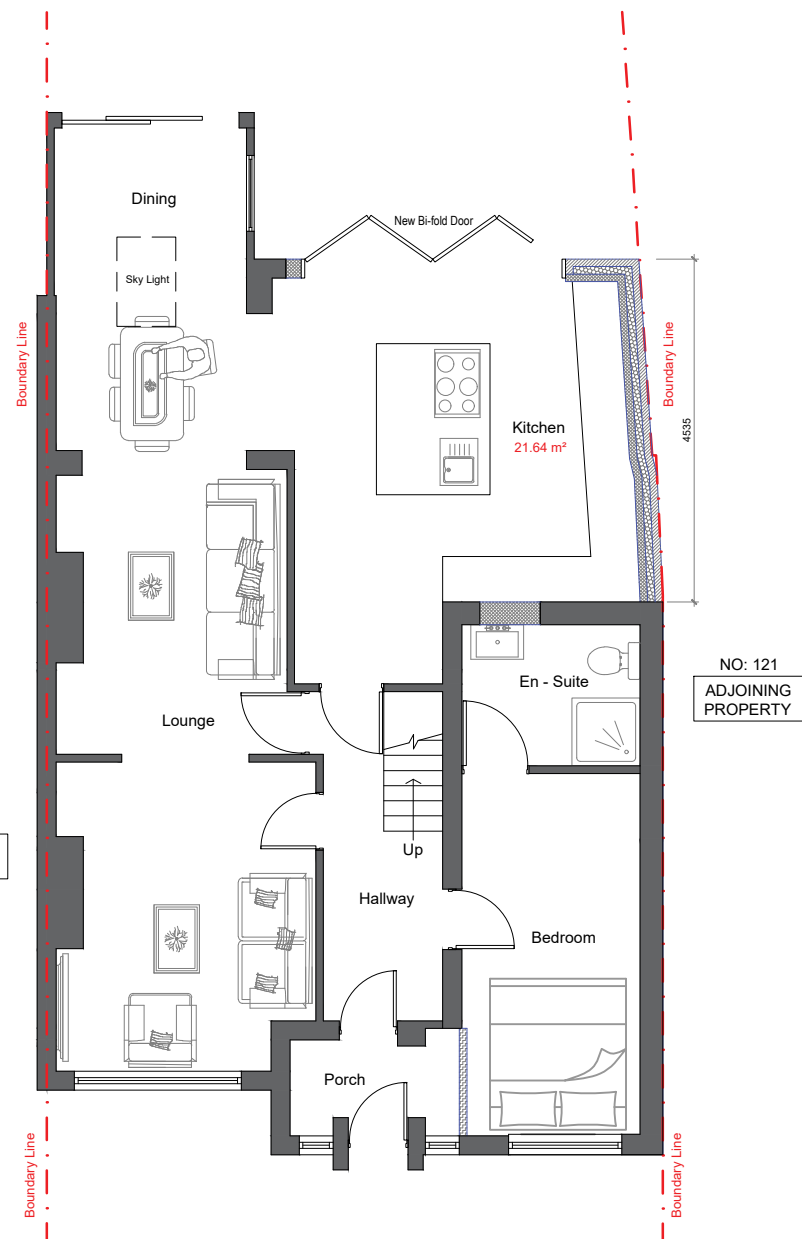
6. DENOTES STRUCTURAL STEEL BEAM/TIMBER TRIMMER OVER. ALL STEEL BEAMS TO HAVE MINIMUM 1 HOUR FIRE PROTECTION.

SB STEEL BEAM
CSB CRANKED STEEL BEAM
TR TIMBER TRIMMER

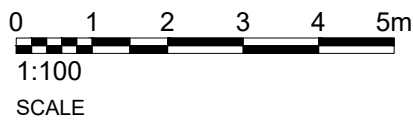
Client	
Project	
119 Woodlands Avenue Eastcote HA4 9RE	
Drawing Title	
REAR SIDE EXTENSION PROPOSED SITE PLAN AND BLOCK PLAN	
Sheet 1A	
Name	Date
Scale	1:500 / 1:1250 @ A1
Design	File No. N/A
Checked	Drawing Status. For Planning Approval
Approved	Revision
Drawing No.	-



Existing Ground Floor



Proposed Ground Floor



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- ELECTRIC AND M&E WORK TO BE CARRIED OUT BY QUALIFIED AND REGISTERED SPECIALIST.
- ALL DRAINAGE RUNS TO BE ABOVE FLOOR UNLESS STATED OTHERWISE.

4. ABBREVIATIONS USED:-
- | | | | |
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| MJ | MOVEMENT JOINT, | HL | AT HIGH LEVEL |
| AAV | AIR ADMITTANCE VALVE, SVP | SOIL AND VENT PIPE | |
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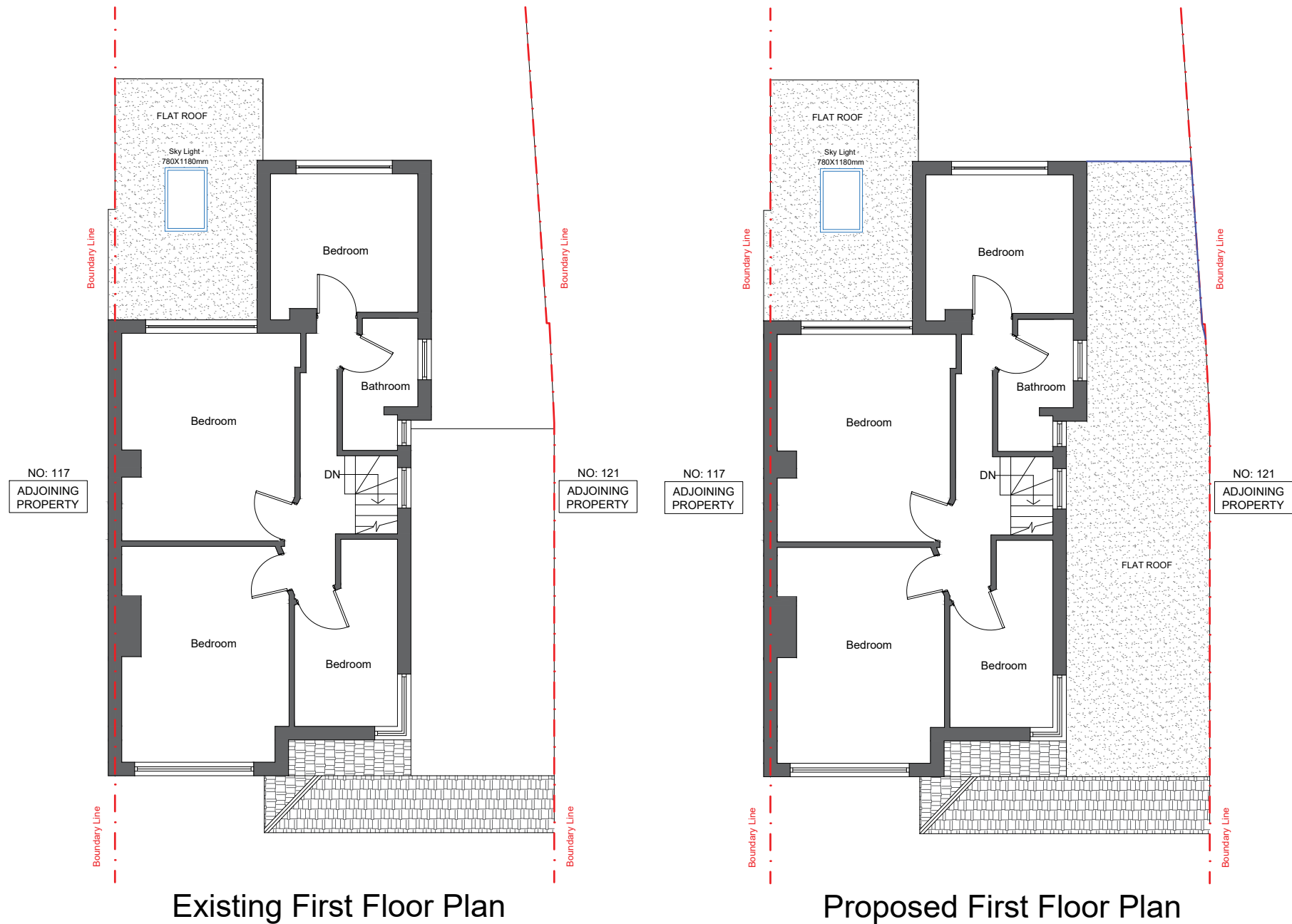
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- WALL FOR ATTIC ROOM, EXACT SIZE OF TIMBER TO BE CONFIRMED BY ENGINEER
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| SB | STEEL BEAM |
| CSB | CRANKED STEEL BEAM |
| TR | TIMBER TRIMMER |

Client			
Project	119 Woodlands Avenue Eastcote HA4 9RE		
Drawing Title	REAR SIDE EXTENSION EXISTING AND PROPOSED GROUND FLOOR PLAN Sheet 1		
Drawn	Name	Date	Scale 1:50 / 1:100 @ A1
Design			File No. N/A
Checked			Drawing Status For Planning Approval
Approved			
Drawing No.			Revision
			-





Client

Project

119 Woodlands Avenue
Eastcote HA4 9RE

Drawing Title

REAR SIDE EXTENSION
EXISTING AND PROPOSED
FIRST FLOOR PLAN
Sheet 2

Drawn	Name	Date	Scale	1:50 / 1:100 @ A1
Design			File No.	N/A
Checked			Drawing Status	For Planning Approval
Approved				
Drawing No.			Revision	-

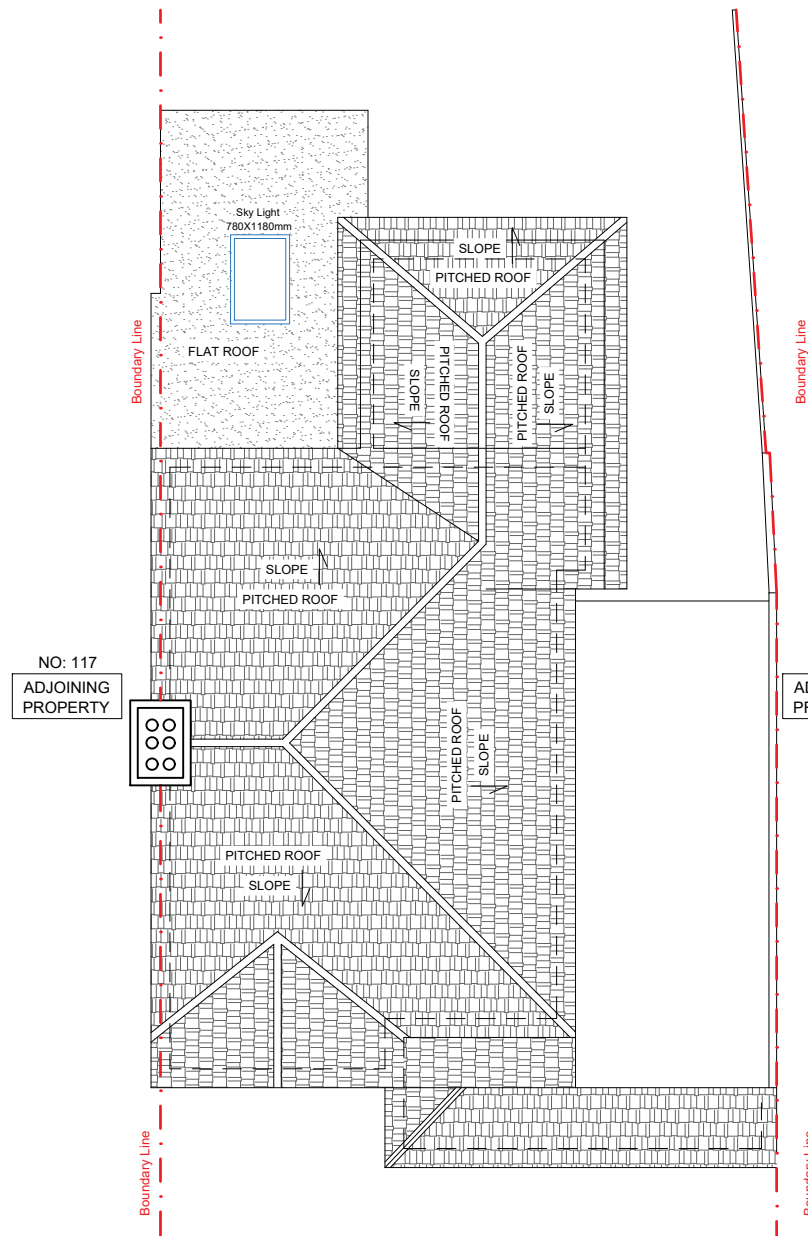
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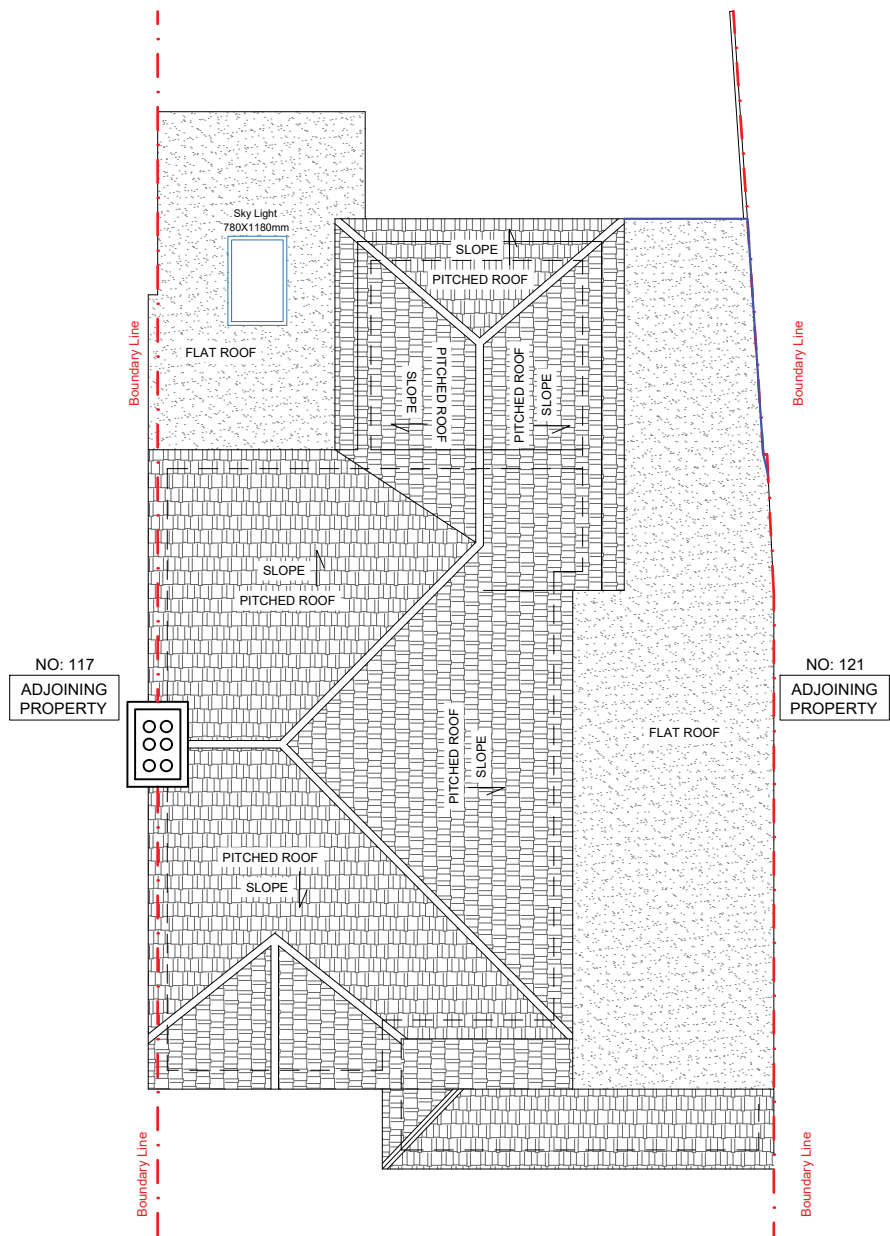
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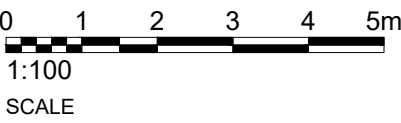
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Existing Topview



Proposed Topview



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Client

Project

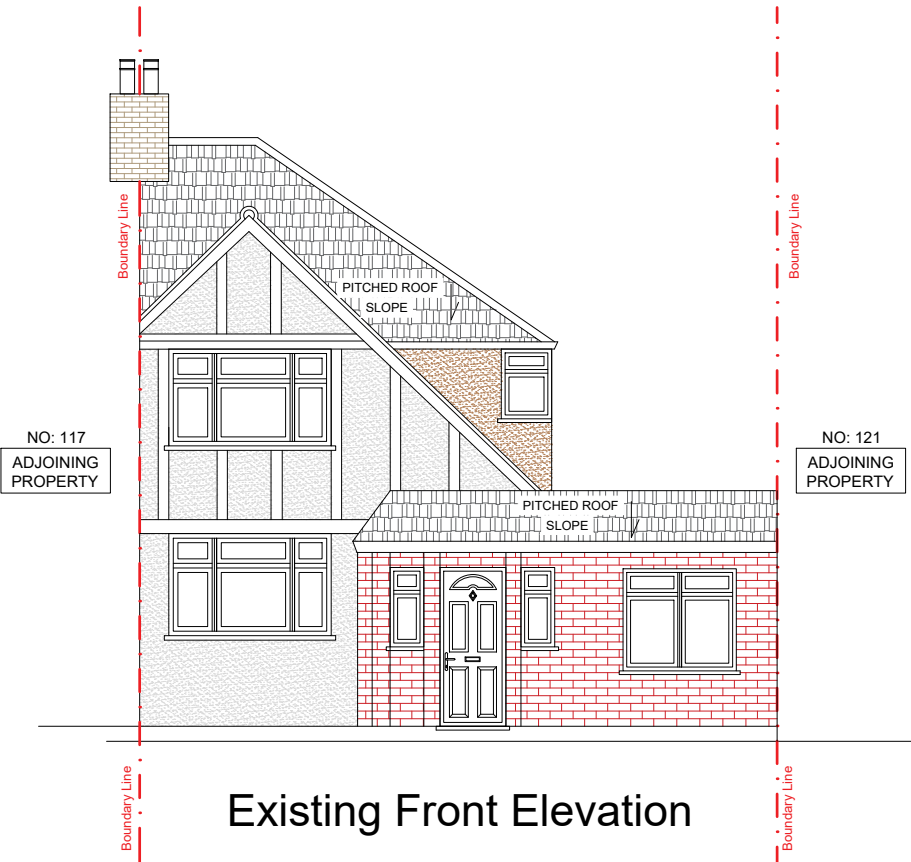
119 Woodlands Avenue
Eastcote HA4 9RE

Drawing Title

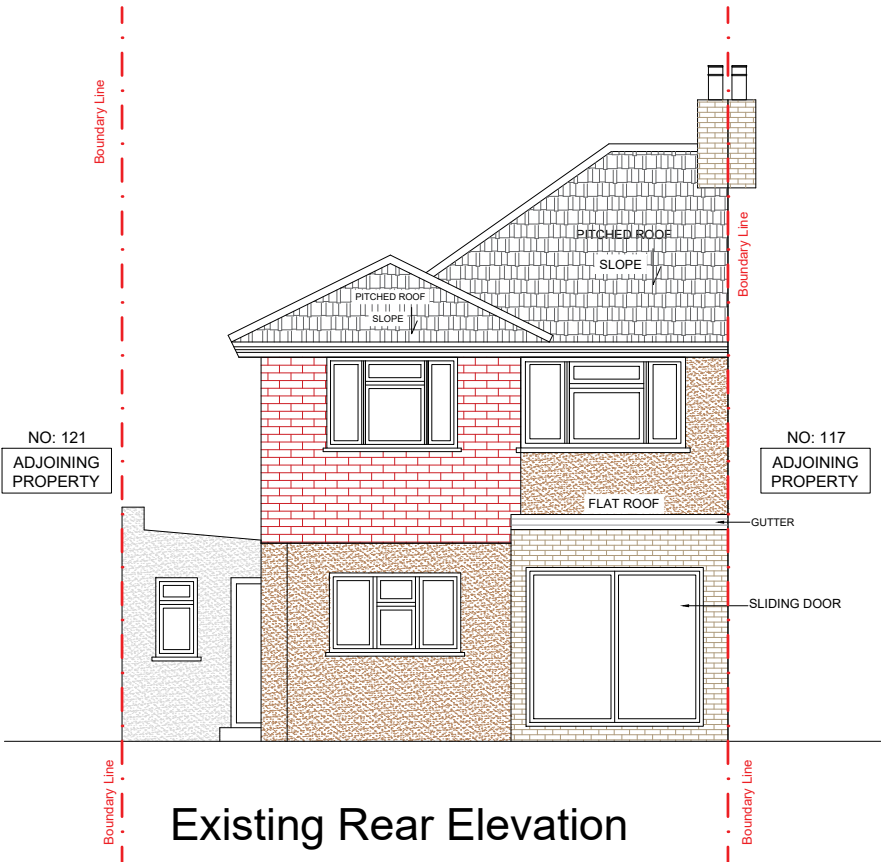
REAR SIDE EXTENSION
EXISTING AND PROPOSED ROOF PLAN

Sheet 3

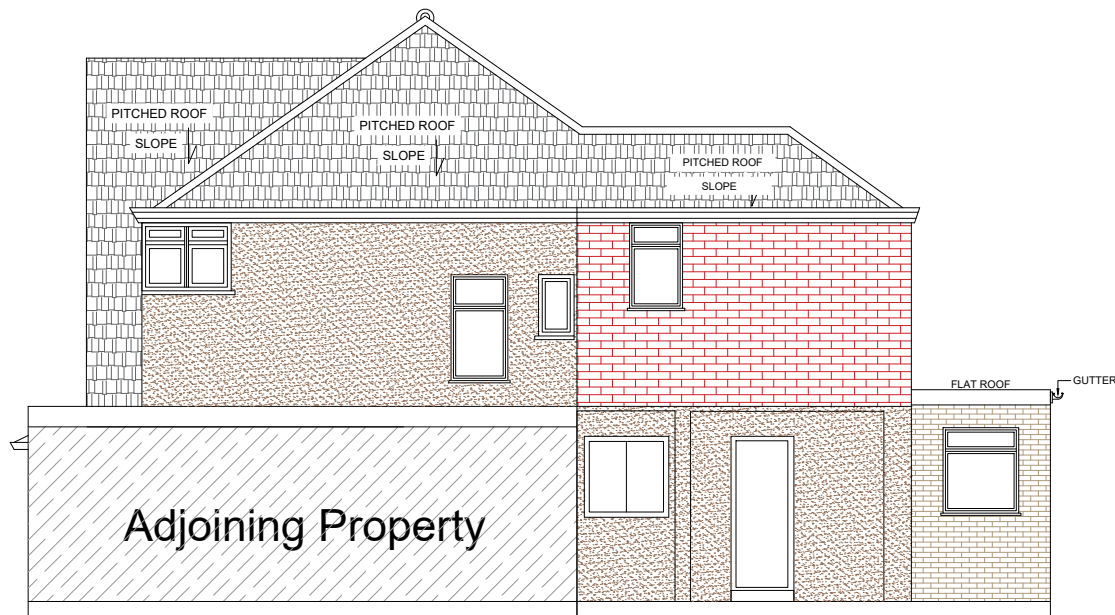
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Design		Drawing Status.	For Planning Approval
Checked			
Approved			
Drawing No.		Revision	-



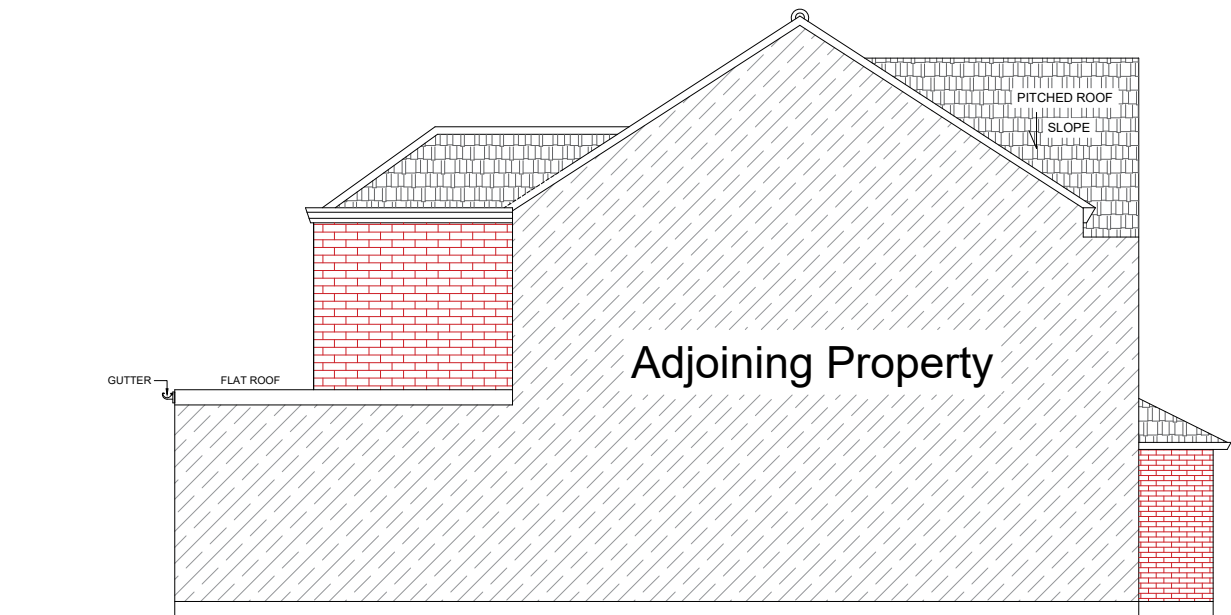
Existing Front Elevation



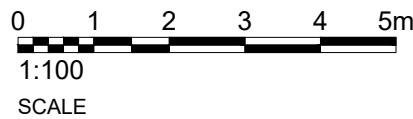
Existing Rear Elevation



Existing Right Side Elevation



Existing Left Side Elevation



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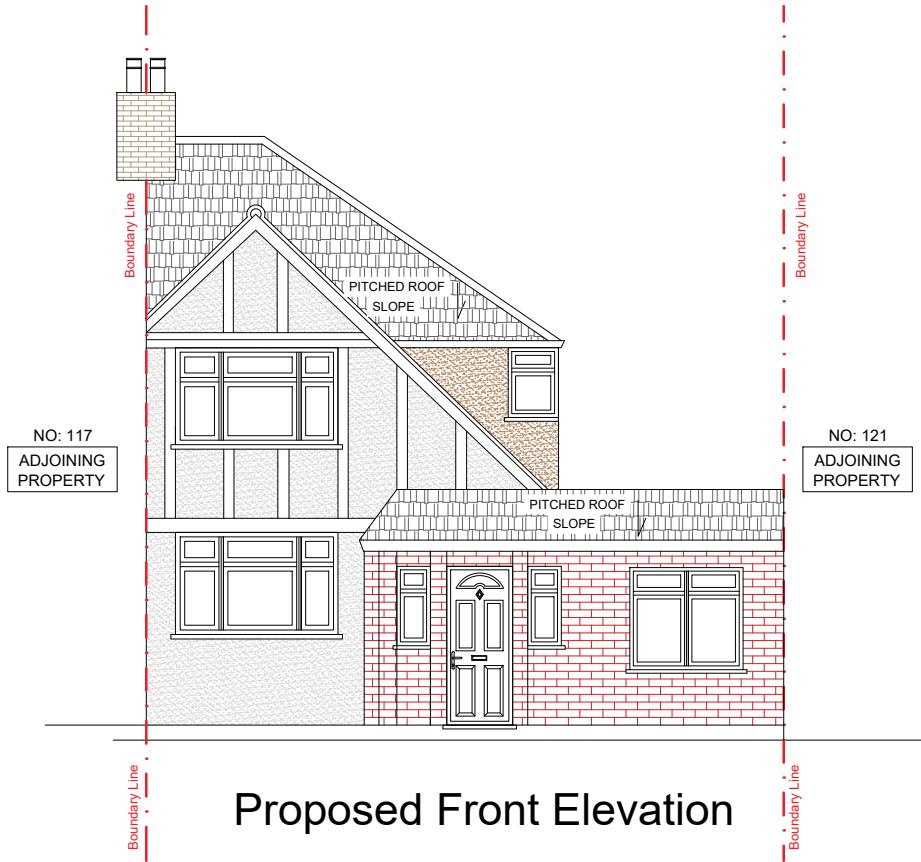
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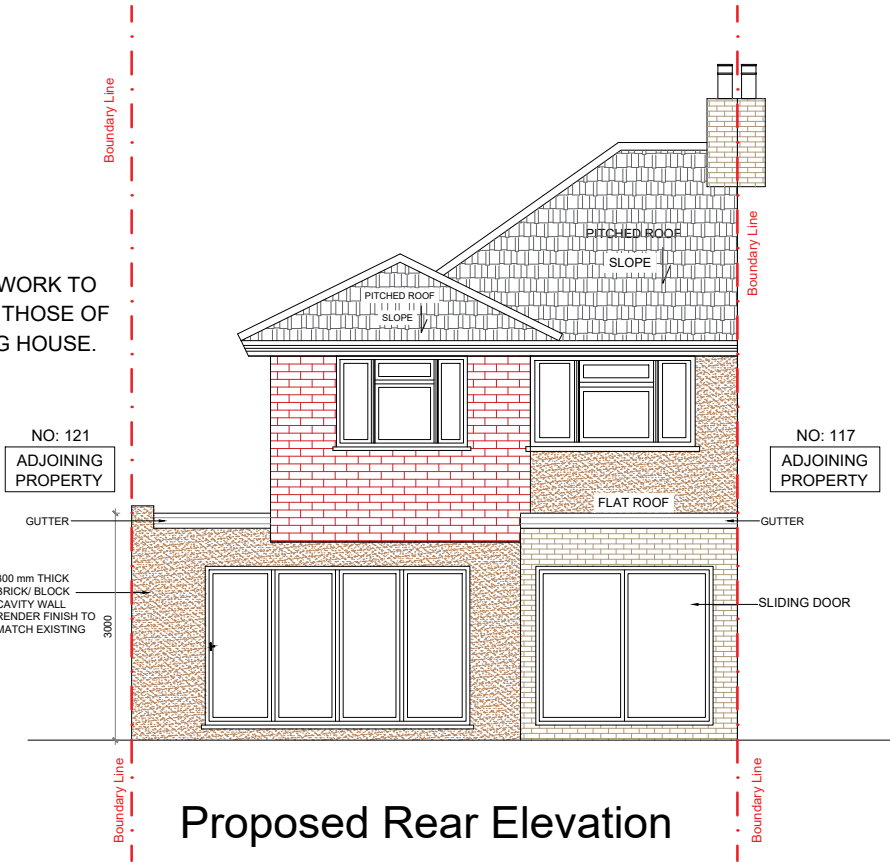
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Client	
Project	119 Woodlands Avenue Eastcote HA4 9RE
Drawing Title	REAR SIDE EXTENSION EXISTING ELEVATIONS
Sheet 4	
Drawn	Name
Design	Date
Checked	Scale
Approved	1:50 / 1:100 @ A1
Drawing No.	File No.
	N/A
	Drawing Status.
	For Planning Approval
	Revision
	-

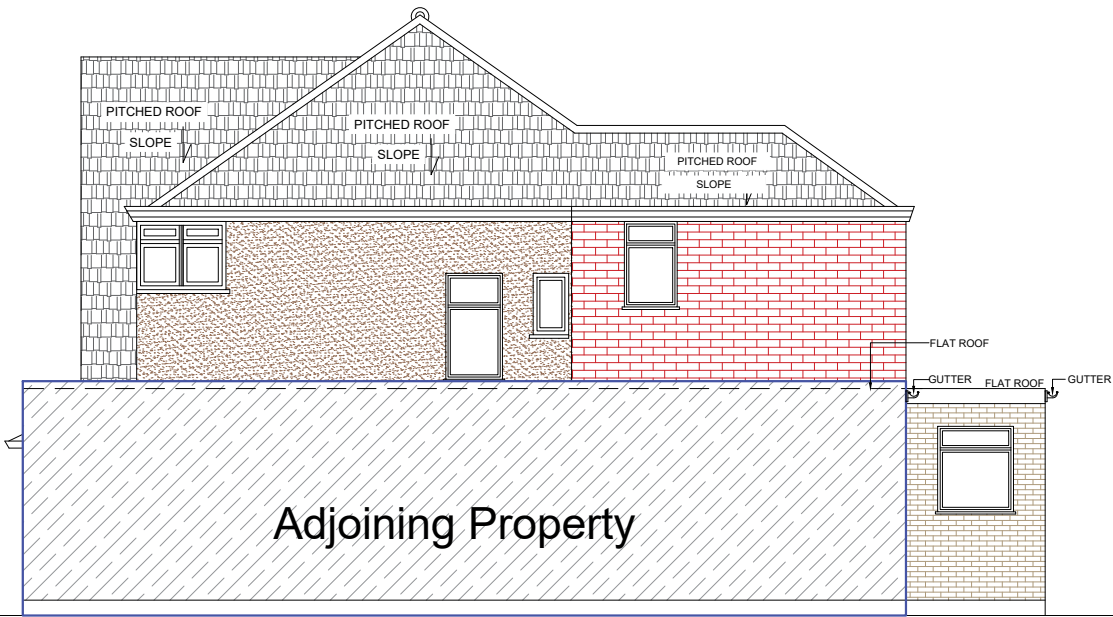


Proposed Front Elevation

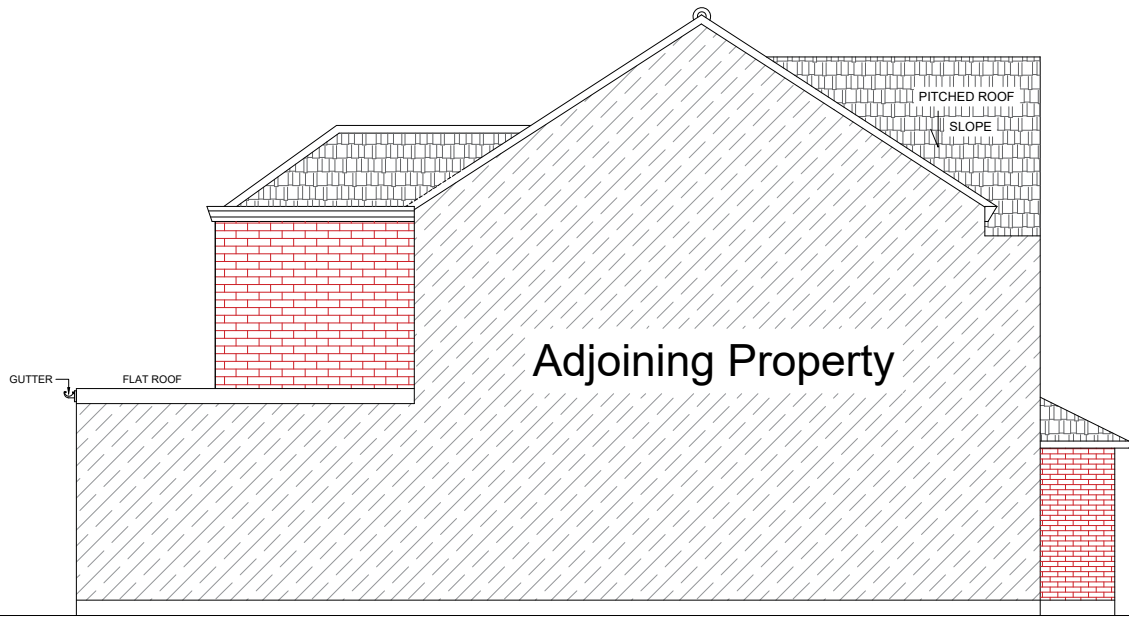
MATERIALS USED IN EXTERIOR WORK TO BE SIMILAR IN APPEARANCE TO THOSE OF THE EXTERIOR OF THE EXISTING HOUSE.



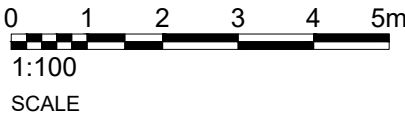
Proposed Rear Elevation



Proposed Right Side Elevation



Proposed Left Side Elevation



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REAR SIDE EXTENSION PROPOSED ELEVATIONS			
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Drawing No.		Revision	-