



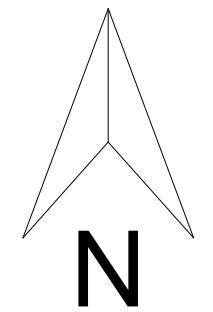
Proposed Location Plan

0 12.5 25 37.5 50 62.5m  
1:1250



Proposed Block Plan

0 5 10 15 20 25m  
1:500



Client

119 Woodlands Avenue  
Eastcote HA4 9RE

Drawing Title			
REAR SIDE EXTENSION PROPOSED SITE PLAN AND BLOCK PLAN			
Sheet 1A			
Drawn	Name	Date	Scale
Design			1:500 / 1:1250 @ A1
Checked			File No. N/A
Approved			Drawing Status. For Planning Approval
Drawing No.			Revision -

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8. ELECTRIC AND M&E WORK TO BE CARRIED OUT BY QUALIFIED AND REGISTERED SPECIALIST.

9. ALL DRAINAGE RUNS TO BE ABOVE FLOOR UNLESS STATED OTHERWISE.

4. ABBREVIATIONS USED:-  
MJD MOVED JEWELL JOINT, HL AT HIGH LEVEL  
AAV AIR ADMITTANCE VALVE, SVP SOIL AND VENT PIPE  
DR DRAINAGE POINT, RWP RAIN WATER PIPE  
W1 WINDOW REFERENCE

10. KITCHEN LAYOUT TO SPECIALIST'S DESIGN AND DETAILS  
11. MECHANICAL VENTILATION  
ALL EXTRACT DUCTS TO RUN BE WITHIN FLOORS AND ROOF VOID UNLESS STATED OTHERWISE.

INDICATES EXTRACT LOCATION

5. LEGEND  
NEW FACING BRICKWORK TO MATCH WITH THE EXISTING.  
7.3 NCG. MM LOADBEARING AACRETE BLOCK (450 - 800 KG/M<sup>3</sup>) TO EXTERNAL CAVITY WALL TO CLIENTS SPECIFICATION. BLOCK STRENGTH TO BE CONFIRMED AND DETAILED BY THE STRUCTURAL ENGINEER

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NEW NON-LOADBEARING PARTITION, 70MM TIMBER STUDS WITH 12.5MM SOUNDBLOC RAPID BOARD ON EACH SIDE. 12.5MM PLY BOARD TO BE USED TO SUPPORT MAIN WALL IN BEDROOMS AND ALL SIDES OF BATHROOM AND KITCHEN FOR APPLIANCES FIXTURES. PARTITION TO ACHIEVE MINIMUM 40DB SOUND REDUCTION. MR GRADE BOARD TO BE USED IN WET AREAS. (PLEASE CONFIRM FROM CLIENT IF TIMBER STUD TO BE REPLACED WITH GYFRAME 'C' STUDS)  
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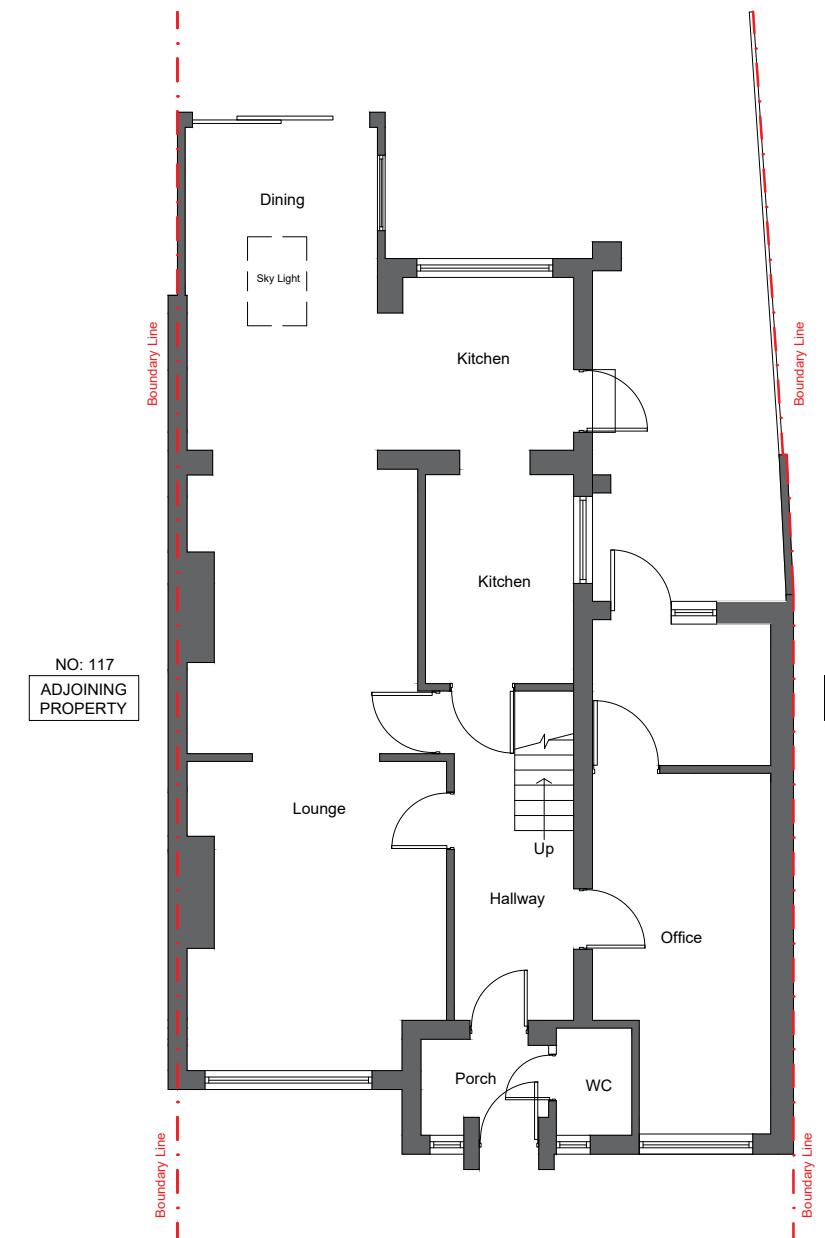
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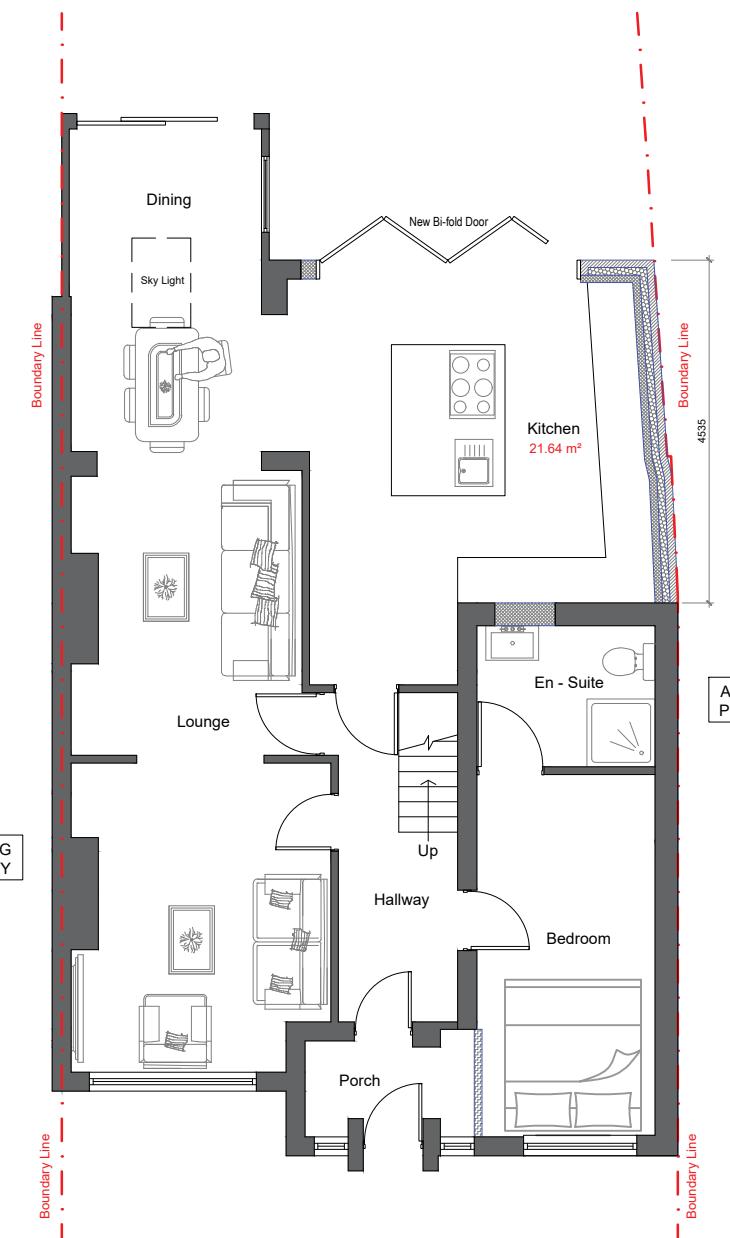
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Existing Ground Floor



Proposed Ground Floor

0 1 2 3 4 5m  
1:100  
SCALE

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AAV - AIR ADMITTANCE VALVE, SVP - SOIL AND VENT PIPE  
DP - DRAINAGE POINT, RWP - RAIN WATER PIPE  
W1 - WINDOW REFERENCE

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INDICATES EXTRACT LOCATION

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6. DENOTES STRUCTURAL STEEL BEAM/TIMBER TRIMMER OVER ALL STEEL BEAMS TO HAVE MINIMUM 1 HOUR FIRE PROTECTION.  
SB - STEEL BEAM  
CSB - CRANKED STEEL BEAM  
TR - TIMBER TRIMMER

7. DENOTES SPAN OF FLOOR OVER (TYPE STATED)



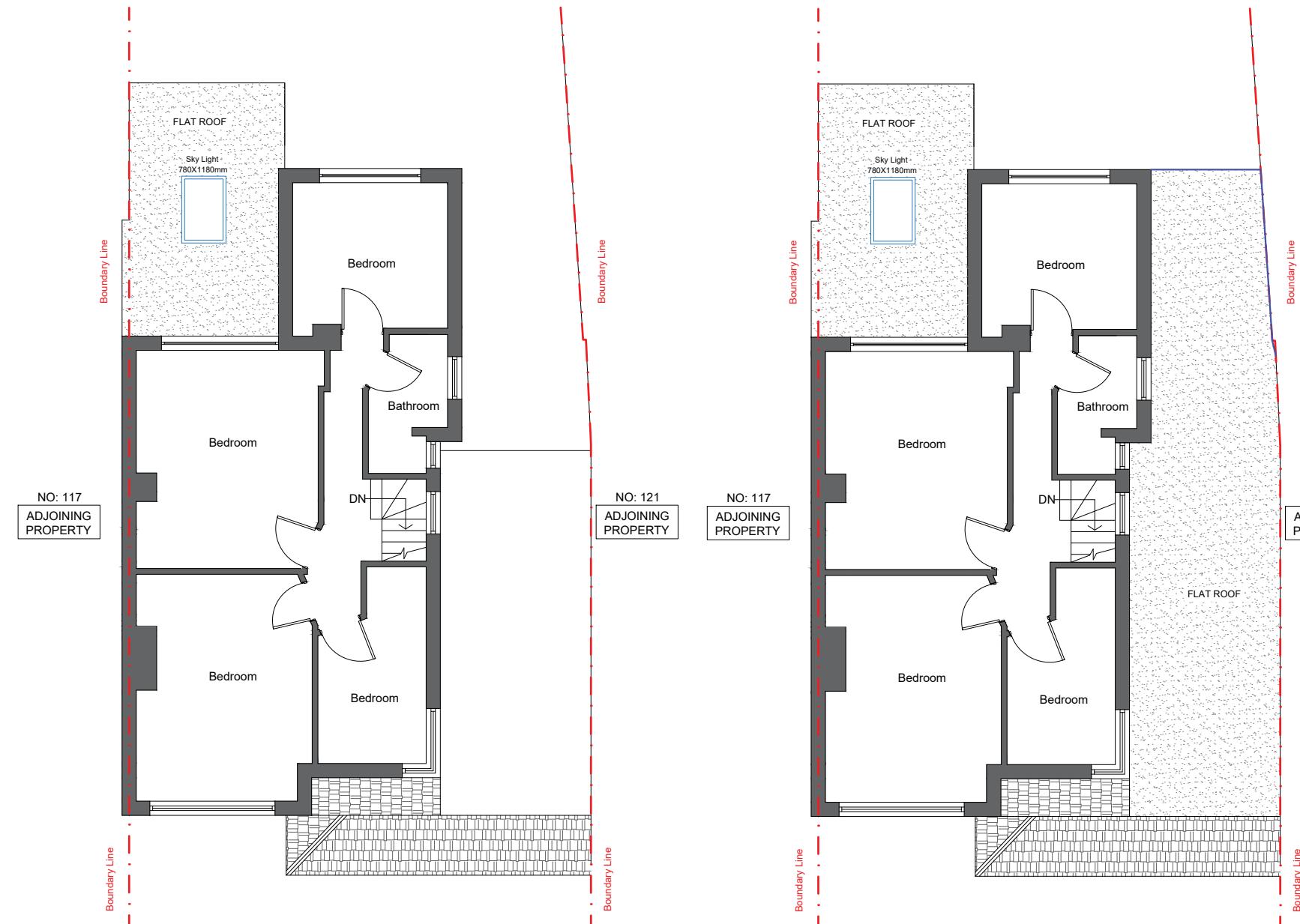
Project

119 Woodlands Avenue  
Eastcote HA4 9RE

Drawing Title

REAR SIDE EXTENSION  
EXISTING AND PROPOSED  
GROUND FLOOR PLAN  
Sheet 1

	Name	Date	Scale
Drawn			1:50 / 1:100 @ A1
Design			File No. N/A
Checked			Drawing Status. For Planning Approval
Approved			Drawing No. Revision No. -



0 1 2 3 4 5m  
1:100  
SCALE

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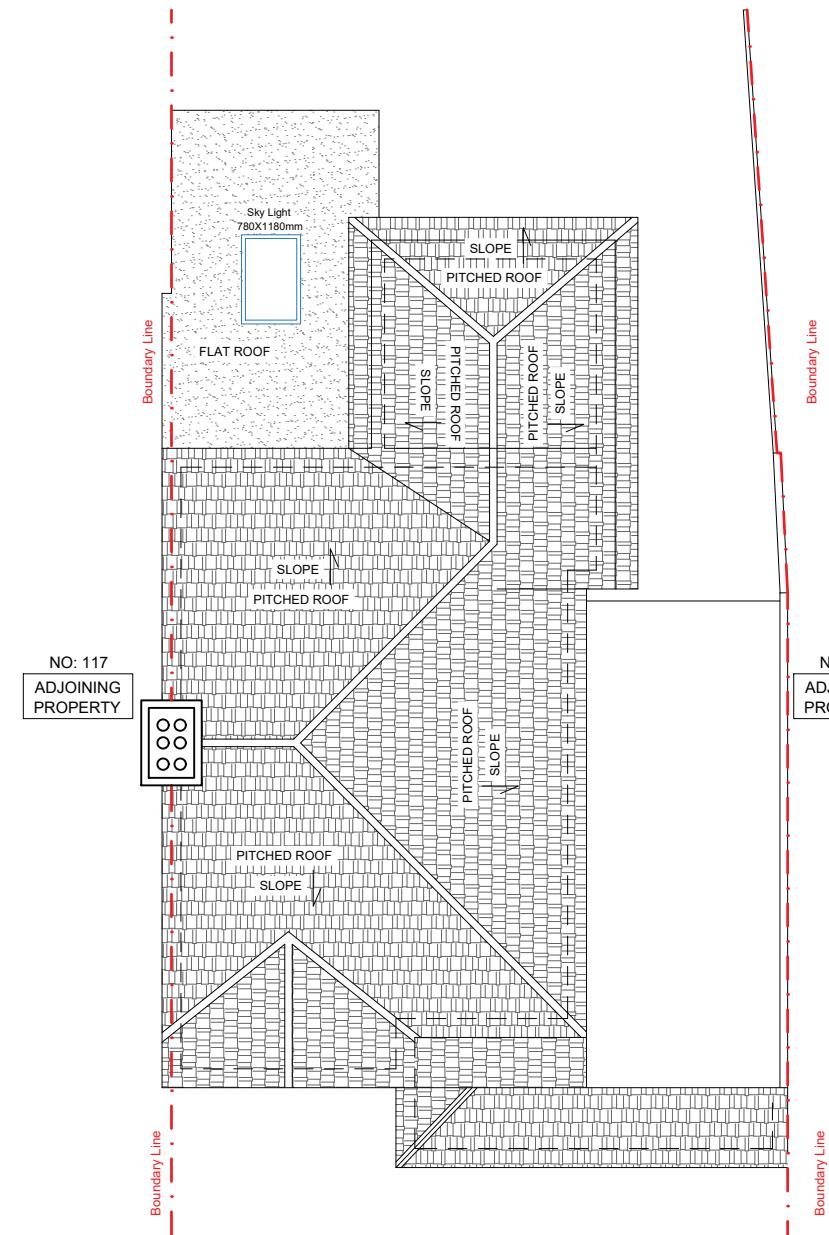
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	 <b>Shakti Consults Ltd</b> <small>Architects &amp; Surveyors - Building Services Engineers</small>
Client	
Project	
119 Woodlands Avenue Eastcote HA4 9RE	

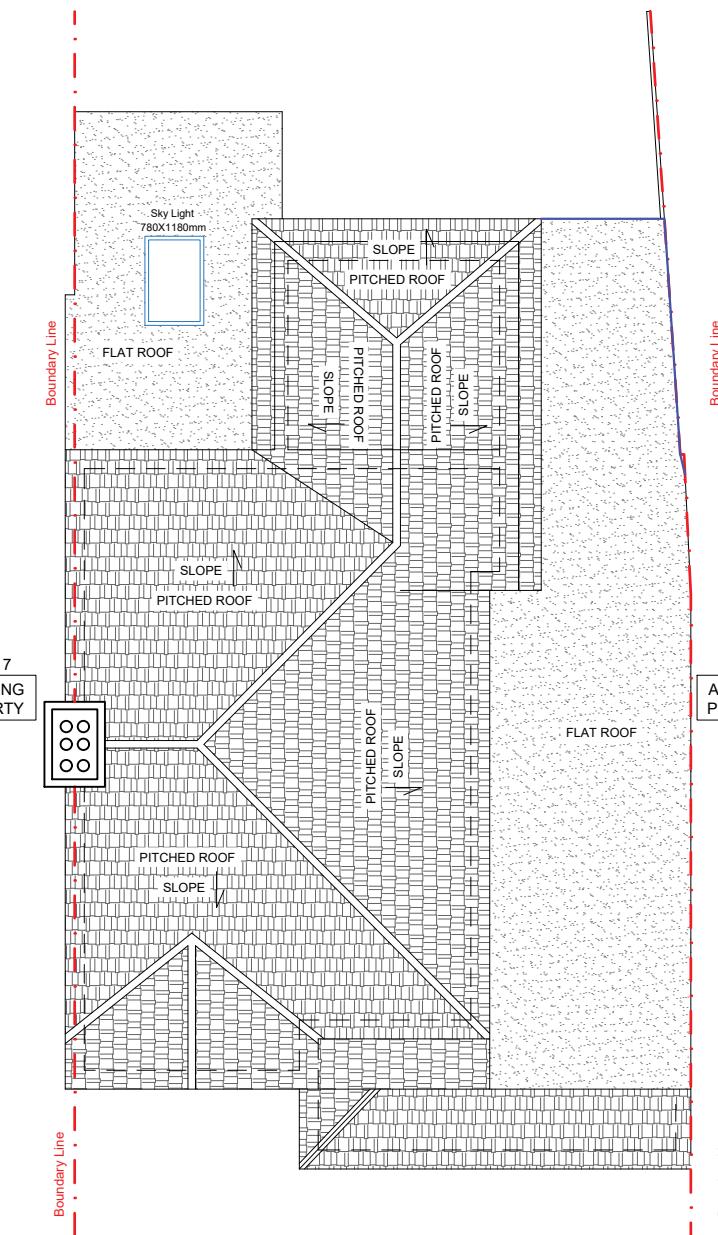
**Drawing Title**  
**REAR SIDE EXTENSION  
EXISTING AND PROPOSED  
FIRST FLOOR PLAN**  
**Sheet 2**

	Name	Date	Scale
Drawn			1:50 / 1:100 @ A1
Design		File No.	N/A
Checked		Drawing Status	For Planning Approval
Approved			
Drawing No.		Revision	-



Existing Topview

0 1 2 3 4 5m  
1:100  
SCALE



Proposed Topview

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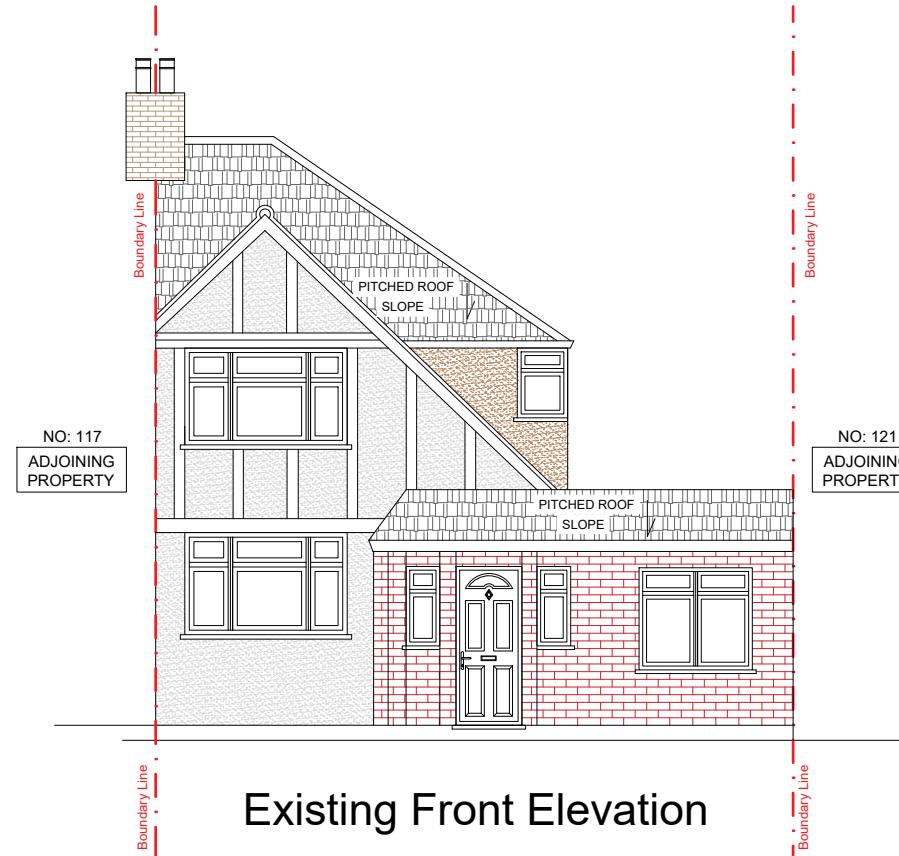
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Drawing Title REAR SIDE EXTENSION EXISTING AND PROPOSED ROOF PLAN			
Sheet 3			
Drawn	Name	Date	Scale
Design			1:50 / 1:100 @ A1
Checked			File No. N/A
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Existing Front Elevation

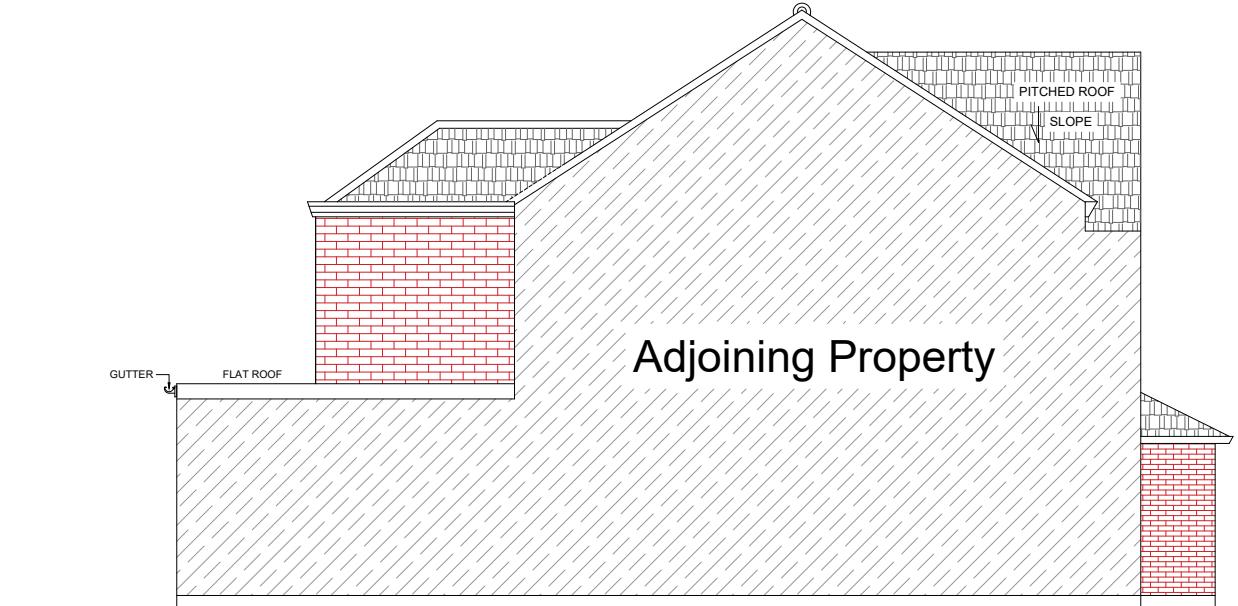


Existing Rear Elevation



Existing Right Side Elevation

0 1 2 3 4 5m  
1:100  
SCALE



Existing Left Side Elevation



Client

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Drawing Title  
REAR SIDE EXTENSION  
EXISTING ELEVATIONS

Sheet 4

Drawn	Name	Date	Scale
			1:50 / 1:100 @ A1
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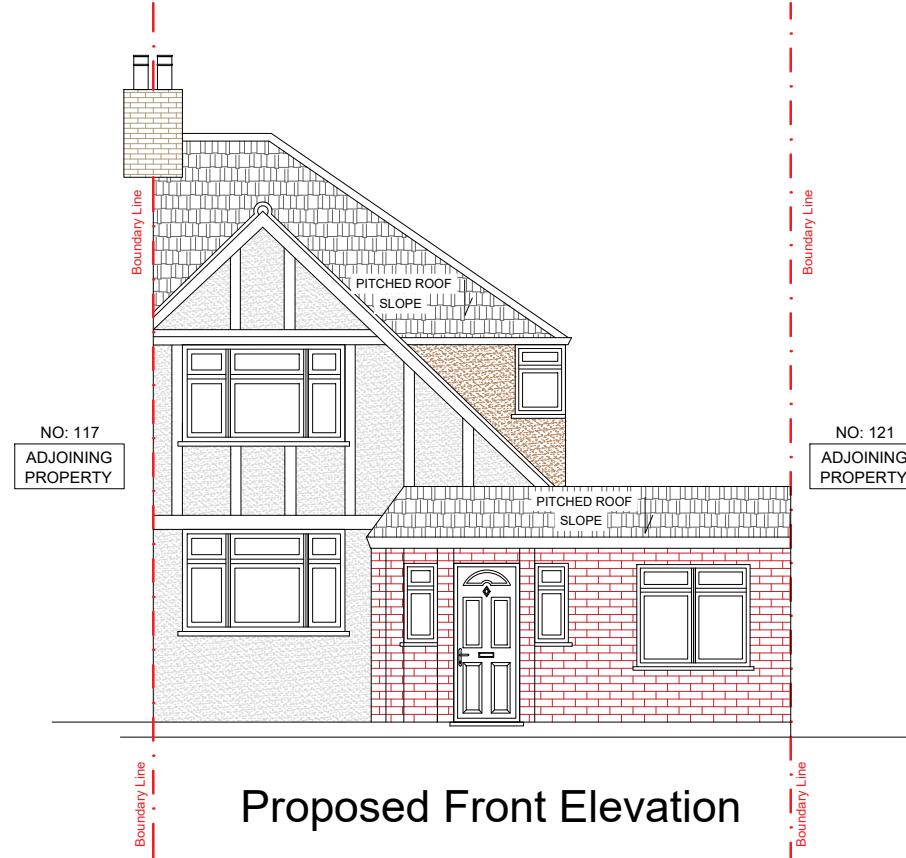
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CSB CRANKED STEEL BEAM  
TR TIMBER TRIMMER

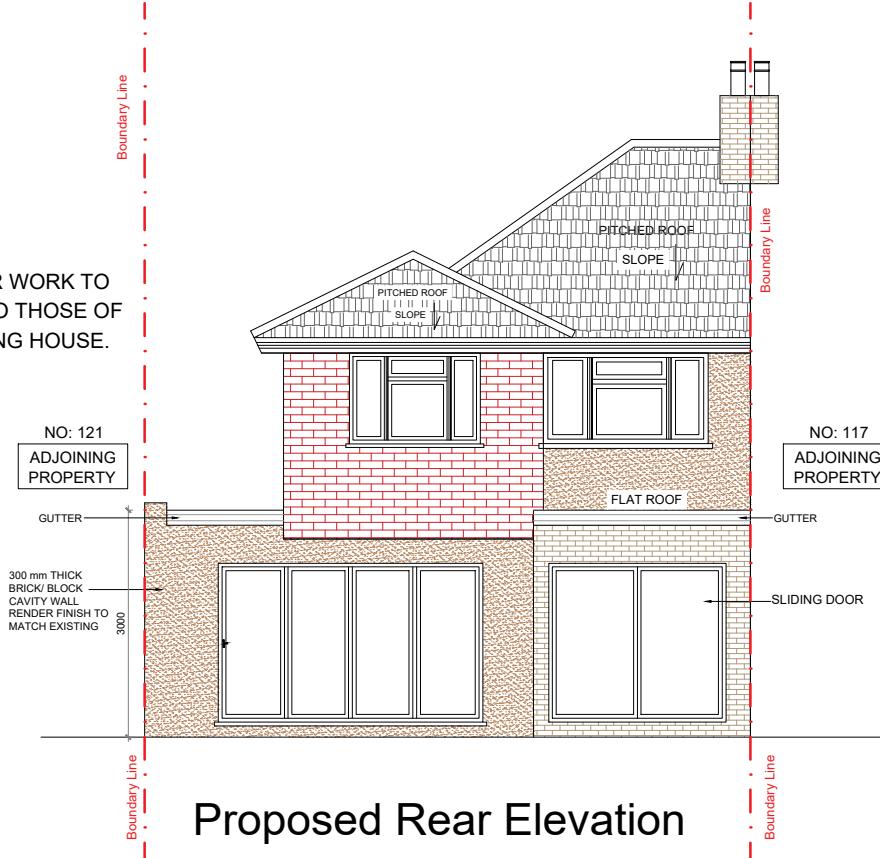
9. DENOTES SPAN OF FLOOR OVER (TYPE STATED)

12. ALL EXTERNAL MATERIALS AND DETAILS TO BE CONFIRMED BY THE END USER AND LOCAL AUTHORITY BEFORE PLACING ANY ORDER FOR MATERIALS OR COMMENCEMENT OF WORK ON SITE.



Proposed Front Elevation

MATERIALS USED IN EXTERIOR WORK TO BE SIMILAR IN APPEARANCE TO THOSE OF THE EXTERIOR OF THE EXISTING HOUSE.



Proposed Rear Elevation



Proposed Right Side Elevation

0 1 2 3 4 5m

1:100

SCALE

GENERAL NOTES

1. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL GENERAL ARRANGEMENT DRAWINGS, PROJECT DETAILS AND SPECIFICATIONS.  
2. UNLESS NOTED OTHERWISE, ALL DIMENSIONS ARE TO STRUCTURAL FACES AND/OR PARTITION STUDS.  
3. ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO THE FABRICATION OF ANY WORK AND/OR ORDERING ANY MATERIAL.

7. STRUCTURAL ENGINEER TO CONFIRM AND PROVIDE DETAILS OF ALL STEEL BEAMS, LINTELS, MOVEMENT JOINTS AND ALL STRUCTURAL INFORMATION.  
8. ELECTRIC AND M&E WORK TO BE CARRIED OUT BY QUALIFIED AND REGISTERED SPECIALIST.

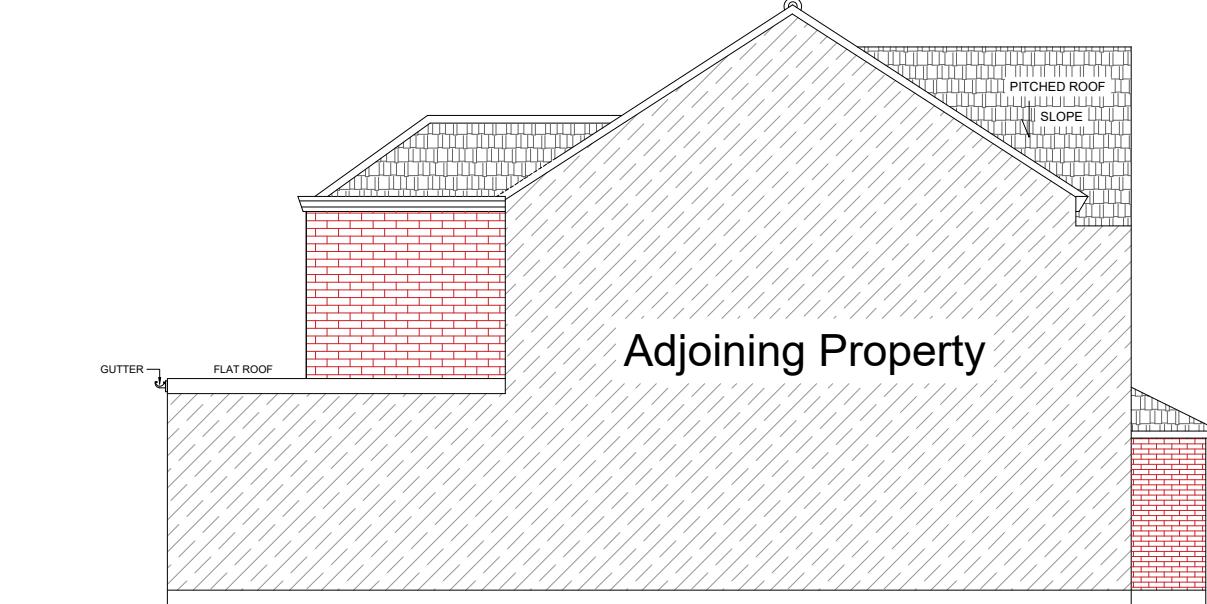
9. ALL DRAINAGE RUNS TO BE ABOVE FLOOR UNLESS STATED OTHERWISE.

4. ABBREVIATIONS USED:-  
MJ MOVEMENT JOINT, HL AT HIGH LEVEL  
AAV AIR ADMITTANCE VALVE, SVP SOIL AND VENT PIPE  
DP DRAINAGE POINT, RWP RAIN WATER PIPE  
W1 WINDOW REFERENCE

5. LEGEND  
NEW FACING BRICKWORK TO MATCH WITH THE EXISTING.  
NEW NON-LOADBEARING PARTITION, 70MM TIMBER STUDS WITH 12.5MM SOUNDBLOC RAPID BOARD ON EACH SIDE. 12.5MM PLY BOARD TO BE USED TO SUPPORT MAIN WALL IN BEDROOMS AND ALL SIDES OF BATHROOM AND KITCHEN FOR APPLIANCES FIXTURES. PARTITION TO ACHIEVE MINIMUM 40dB SOUND REDUCTION. MR GRADE BOARD TO BE USED IN WET AREAS. (PLEASE CONFIRM FROM CLIENT IF TIMBER STUD TO BE REPLACED WITH GYPSUM C STUDS)  
50MM SOUND QUILT INSULATION TO BE FILLED AS INDICATED ON FLOOR PLANS

10. KITCHEN LAYOUT TO SPECIALIST'S DESIGN AND DETAILS  
11. MECHANICAL VENTILATION  
12. ALL EXTERNAL MATERIALS AND DETAILS TO BE CONFIRMED BY THE END USER AND LOCAL AUTHORITY BEFORE PLACING ANY ORDER FOR MATERIALS OR COMMENCEMENT OF WORK ON SITE.

INDICATES EXTRACT LOCATION



Proposed Left Side Elevation



Client

Project

119 Woodlands Avenue  
Eastcote HA4 9RE

Drawing Title

REAR SIDE EXTENSION  
PROPOSED ELEVATIONS

Sheet 5

	Name	Date	Scale
Drawn			1:50 / 1:100 @ A1
Design			File No. N/A
Checked			Drawing Status. For Planning Approval
Approved			Drawing No. Revision -