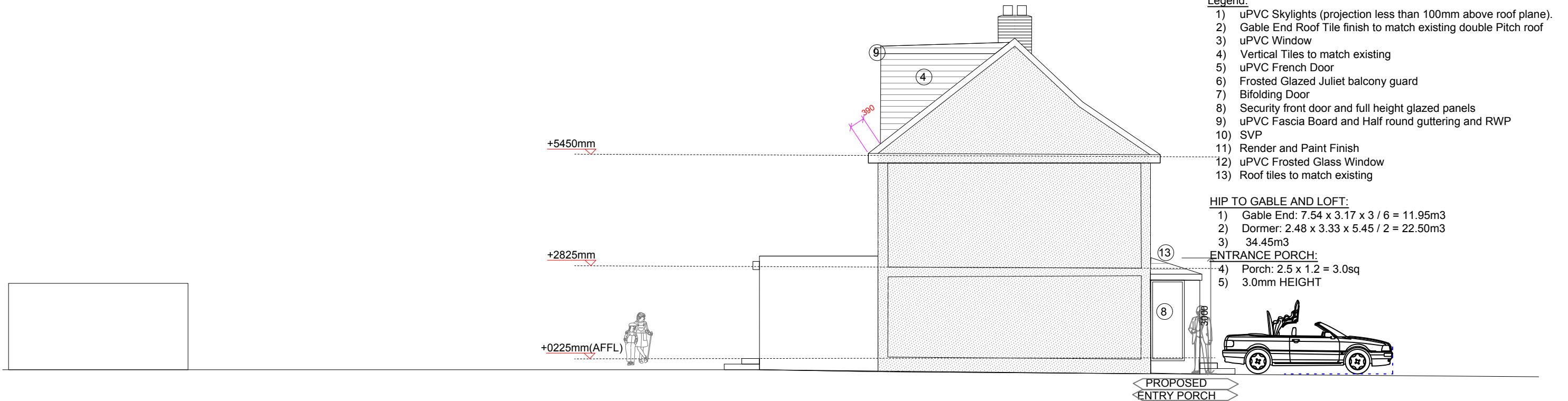


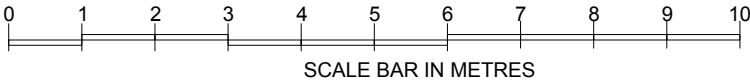
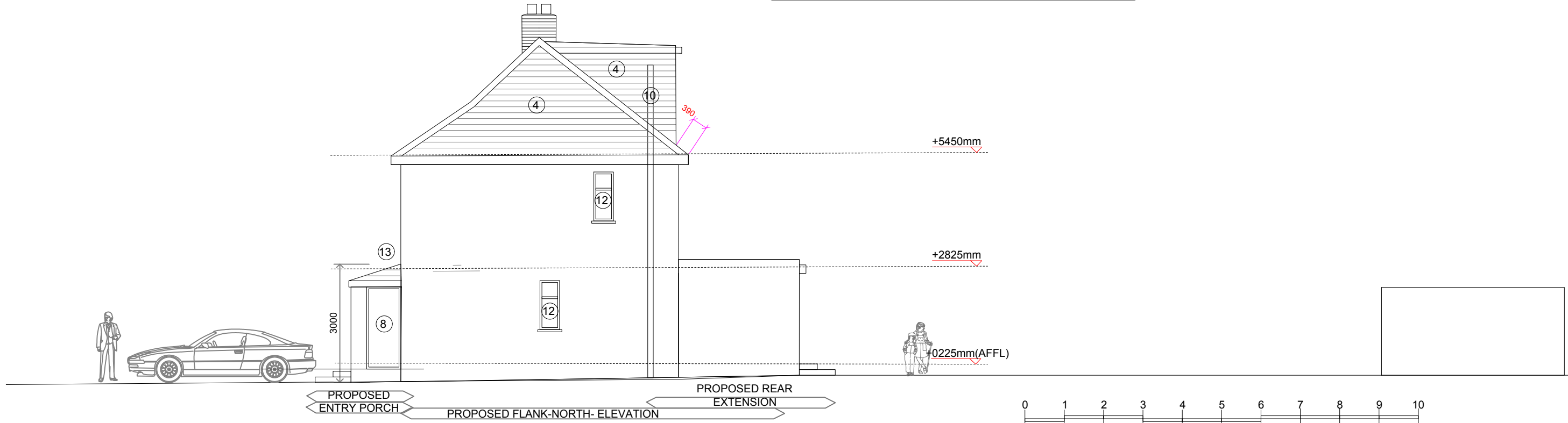
general notes:
Do Not Scale. All dimensions and conditions are to be checked on site prior to preparing drawings or commencing any work.
This drawing is the property of Cre8:Portfolio and protected by the Copyright, Designs and Patents Act, 1988

- Legend:
- 1) uPVC Skylights (projection less than 100mm above roof plane).
 - 2) Gable End Roof Tile finish to match existing double Pitch roof
 - 3) uPVC Window
 - 4) Vertical Tiles to match existing
 - 5) uPVC French Door
 - 6) Frosted Glazed Juliet balcony guard
 - 7) Bifolding Door
 - 8) Security front door and full height glazed panels
 - 9) uPVC Fascia Board and Half round guttering and RWP
 - 10) SVP
 - 11) Render and Paint Finish
 - 12) uPVC Frosted Glass Window
 - 13) Roof tiles to match existing

- HIP TO GABLE AND LOFT:
- 1) Gable End: $7.54 \times 3.17 \times 3 / 6 = 11.95\text{m}^3$
 - 2) Dormer: $2.48 \times 3.33 \times 5.45 / 2 = 22.50\text{m}^3$
 - 3) 34.45m³
- ENTRANCE PORCH:
- 4) Porch: $2.5 \times 1.2 = 3.0\text{sq}$
 - 5) 3.0mm HEIGHT



PROPOSED FLANK-SOUTH- ELEVATION



PROPOSED ENTRANCE PORCH AND LOFT CONVERSION-(CERTIFICATE OF LAWFULNESS)

Entrance Porch Amended to 3m max height and 3sqm Footprint - 03/07/24 - Rev A

<div>Cre8:Portfolio</div> <div>ARCHITECTURE . INTERIOR DESIGN . PROJECT MANAGEMENT</div> <div>63 Twyford Road Harrow, HA2 0SH</div> <div>M: +44(0)7855956063</div> <div>E: gocreate@cre8portfolio.com</div> <div>W: www.cre8portfolio.com</div>	<div><input type="checkbox"/><input type="checkbox"/><input type="checkbox"/> C8: P</div> <div>NOTE: Do not scale off drawings.. Read in conjunction with associated information. All dimensions are to be checked on site by the Contractor prior to order of materials and commencement of works on site, discrepancies shall be referred to the Architect for clarifications following site check measurements. Supply of the drawing in digital form is for convenience only and no reliance may be placed on any data in digital form. All data must be checked against hard copy. This drawing is issued for Statutory Application and Design Intent only and not for construction unless stated. All Materials, Methods of Storage, and installation shall be in accordance with the current British Standards, Approved Codes of Practice, as well as Manufacturer's recommendations and other recognised Certification.</div>	Site Address	Project Title	Drawing Sheet		Project number	Drawing number	Purpose	
				Proposed Flank Elevations		021123	PDA 207	PERMITTED DEVELOPMENT APPLICATION	
				Drawn by	Checked by	Scale	Revision	Date	
		23 Mansfield Drive Hayes Hillingdon UB4 8EA	ENTRANCED PORCH + LOFT CONVERSION			1:100@A3	B	NOVEMBER 2023	