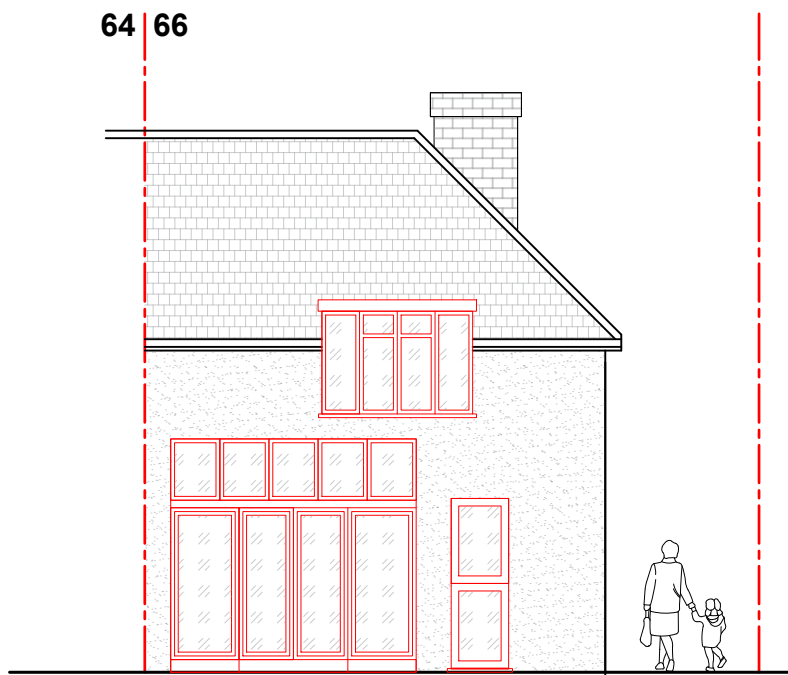
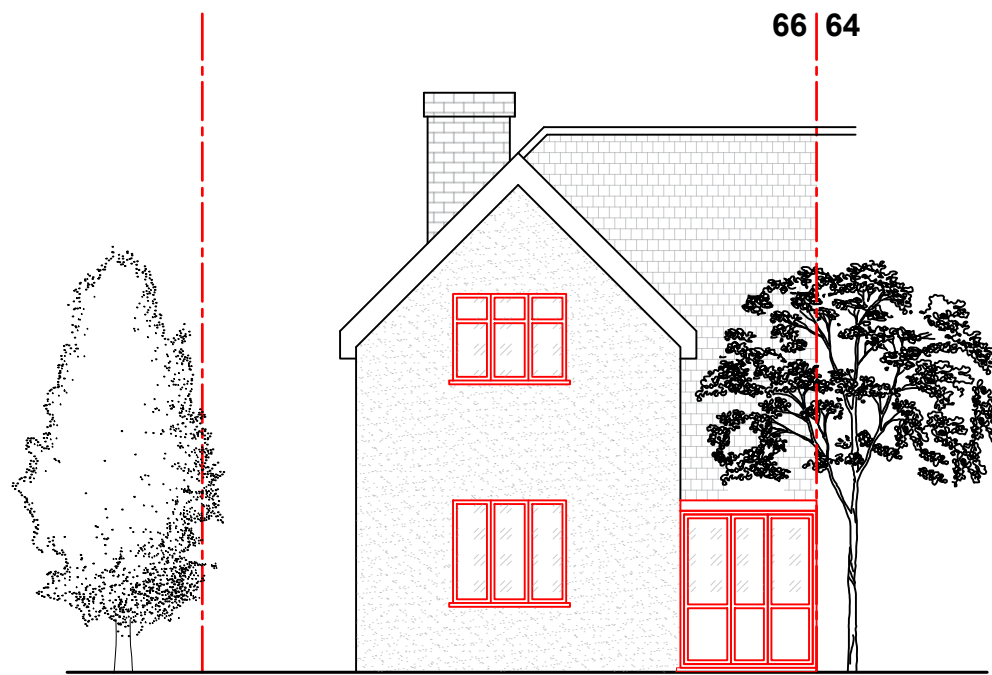




Existing rear elevation

scale 1:100



Existing front elevation

scale 1:100

Front of 66 Hercies Road

**GENERAL**  
ANY DISCREPANCIES ARE TO BE POINTED TO THE ARCHITECT. THE ARCHITECT IS NOT LIABLE FOR ANY FAULTS NOT RAISED,(RE)USING THE DRAWINGS WITHOUT ARCHITECTS' CONSENT IS THEFT OF INTELLECTUAL PROPERTY.

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**Stairs**  
going - 250mm, max. riser - 200mm & angle-42° min 2m head room to be provided above stairs, tapered going width to be 50mm handrail to be provided on side of stairs, 900mm above stair pitch, width 800mm 900mm high guarding to be provided around open stair wells and shall be spaced to ensure that a 100mm sphere cannot pass through any opening in the guarding, new hand railing to extend 300mm either end of new stair case

**Doors**  
all ground floor doors to have min. 775mm clear opening, new flat entrance doors to be fd30s fitted with self closing devices and intumescent strips, internal doors to be fd20 fitted with self closing devices.

**Windows**  
windows to be double glazed in a upvc frame with min. 16mm space between panes, all new glazing to be 'low-e' glass (en = 0.15) all new windows to maintain a u value of 1.6 w/m<sup>2</sup> k all windows within habitable rooms to have opening window for escape and ventilation, min. opening size 450mm wide x 730mm high (min. 0.33m<sup>2</sup>) first floor sill heights to be 800mm & max. 1100mm above floor level (ex. windows to be replaced as necessary)

CLIENT

Mr. Wiji Gorwara

PROJECT LOCATION

66 Hercies Road, UB10 9NB  
Hillingdon, London

DRAWING TITLE

Existing Front and  
Rear elevation

SCALE

1:100 / A3

DATE

January - 2022

DRAWING NO. REV.

01ELF1

DRAWN

TAHER

Floor plan it, design and build

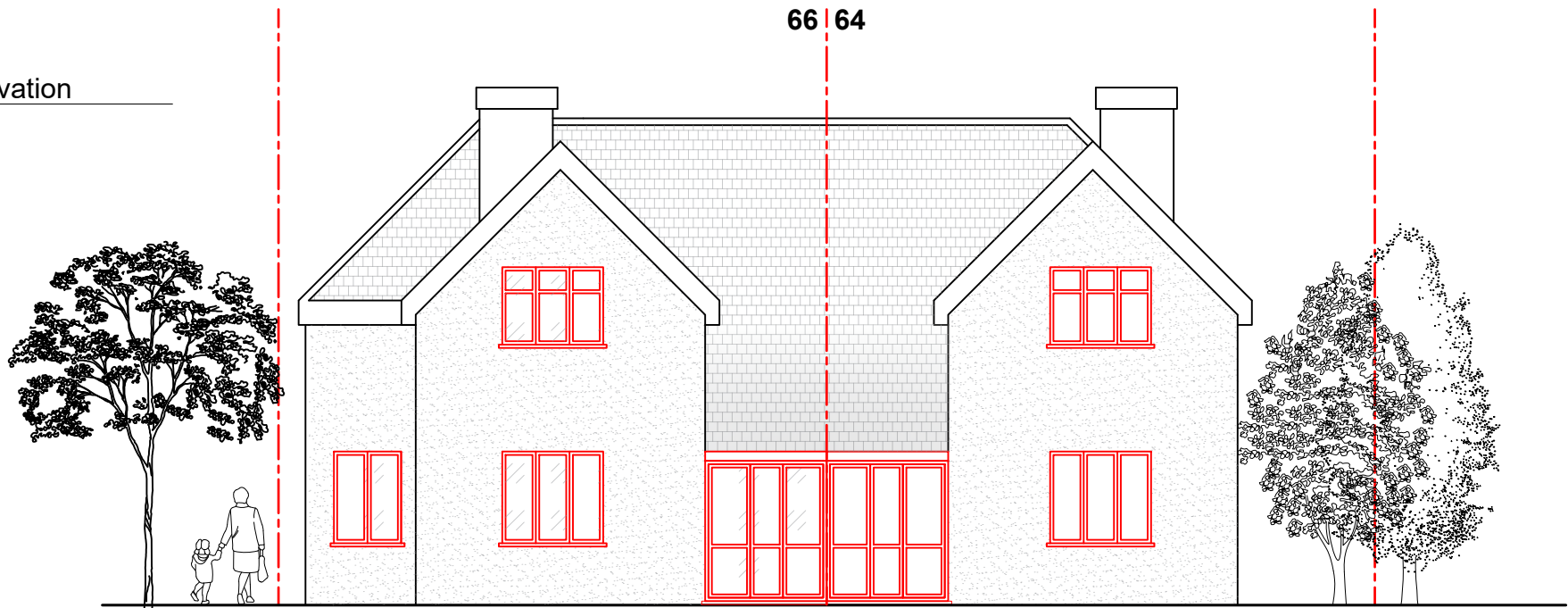
152 – 160 Kemp House,  
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NOTE: ALL PROPOSED  
MATERIALS TO MATCH  
EXISTING

Proposed front elevation

scale 1:100

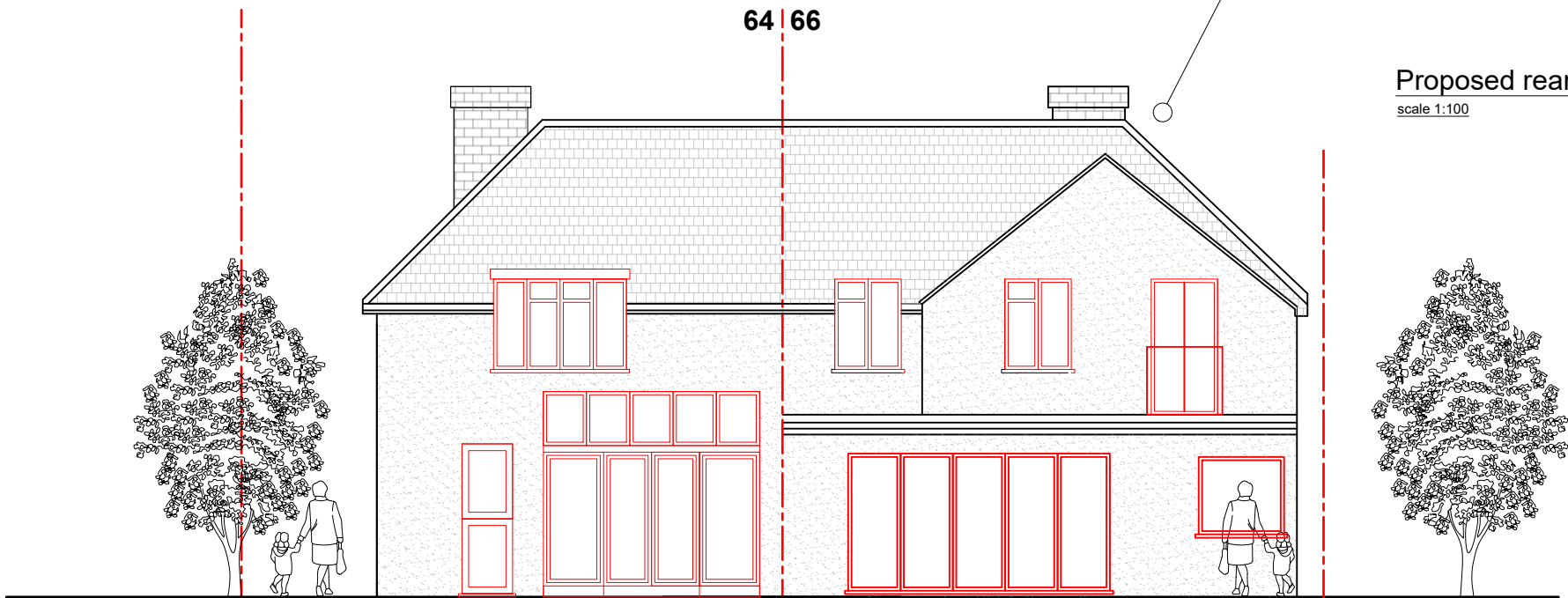


Front of 66 Hercies Road

Adjusted height 580MM Hillingdon design guidance notes 5.8 dictates that for semi-detached properties the roof height of the extension should not exceed the height of the main roof and so should be lowered by at least 0.5m at roof level.

Proposed rear elevation

scale 1:100



Rear of 66 Hercies Road

CLIENT

Mr. Wiji Gorwara

PROJECT LOCATION

66 Hercies Road, UB10 9NB  
Hillingdon, London

SCALE

1:50 / A3

DRAWING NO. REV

01ELS1

DATE

January - 2022

DRAWN

TAHER

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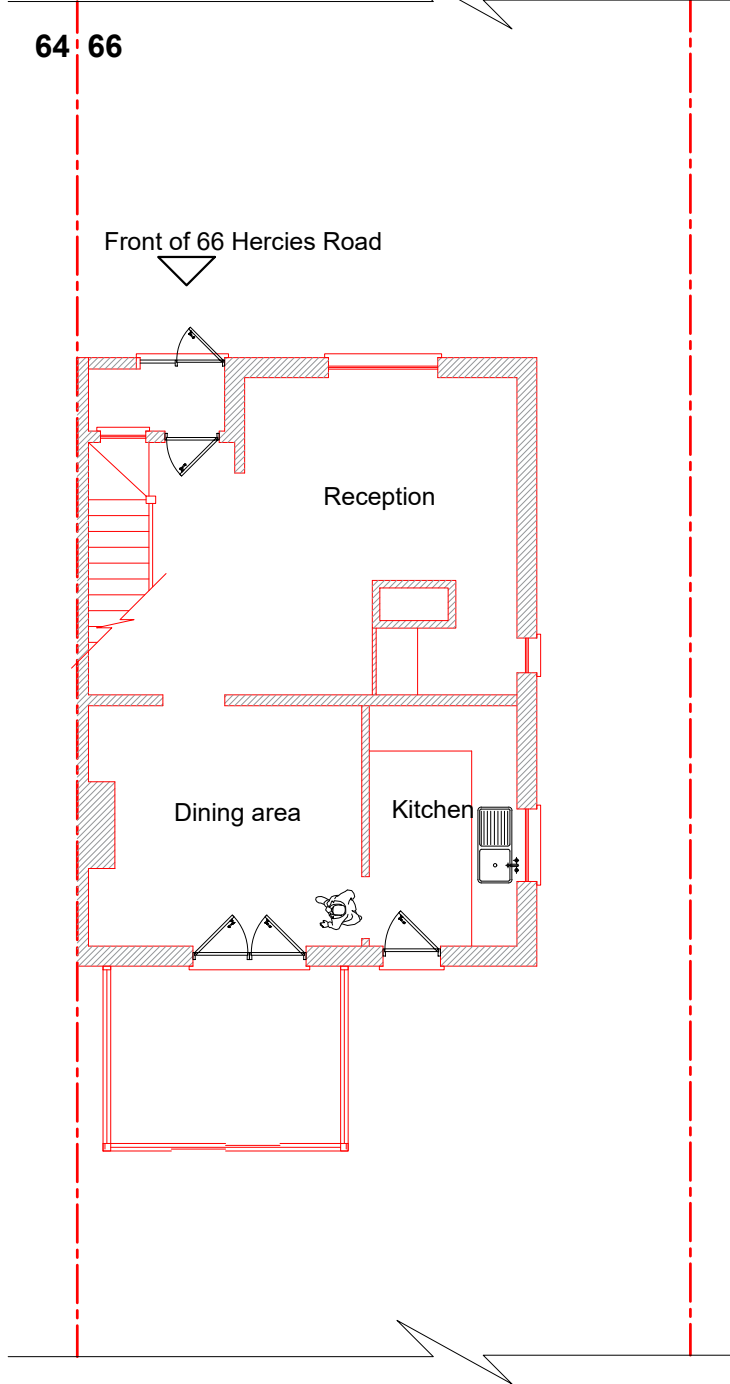
DRAWING TITLE

Proposed Front and  
Rear elevation

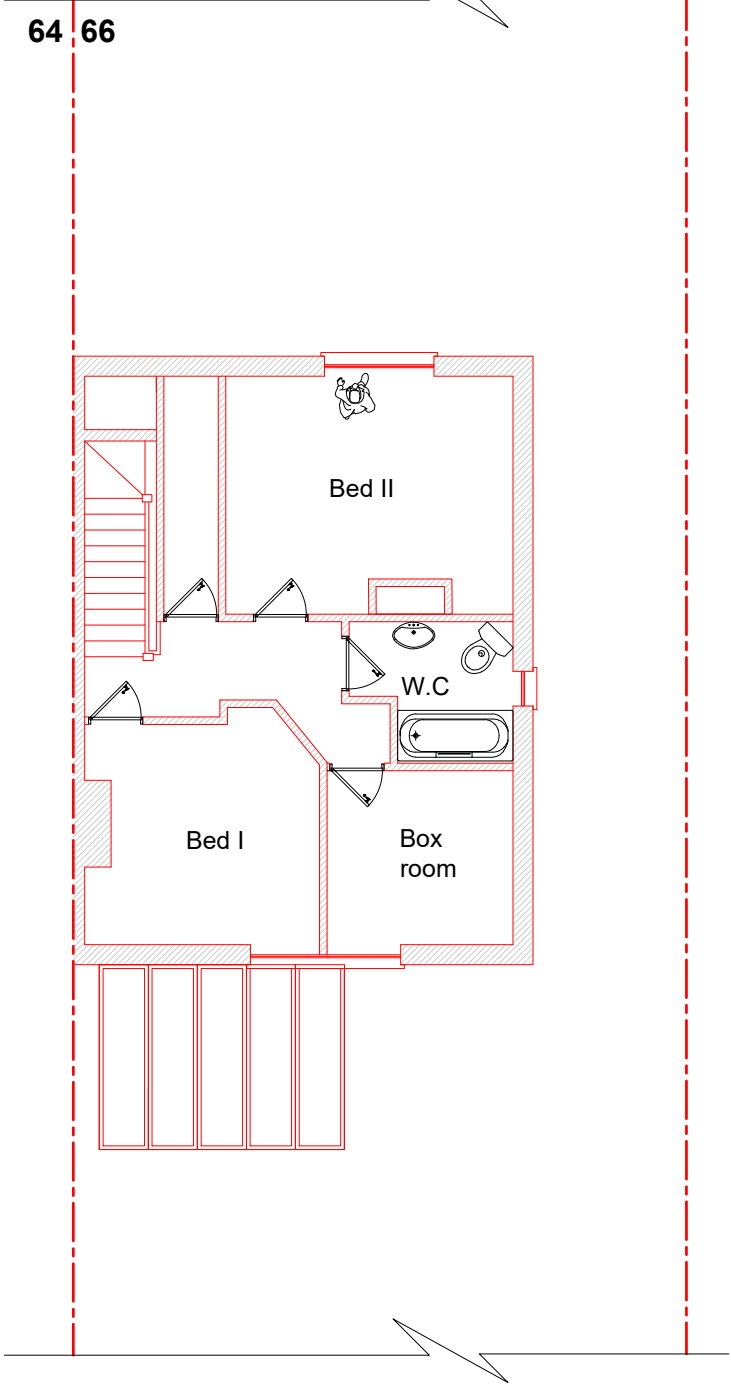


NOTE: ALL PROPOSED  
MATERIALS TO MATCH  
EXISTING

Existing ground floor  
scale 1:100



Existing first floor  
scale 1:100



**GENERAL**  
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CLIENT

Mr. Wiji Gorwara

PROJECT LOCATION

66 Hercies Road, UB10 9NB  
Hillingdon, London

DRAWING TITLE

Existing ground & First floor

SCALE

1:100 / A3

DATE

January - 2022

DRAWING NO. REV.

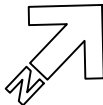
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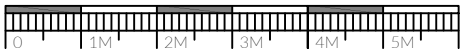
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NOTE: ALL PROPOSED  
MATERIALS TO MATCH  
EXISTING

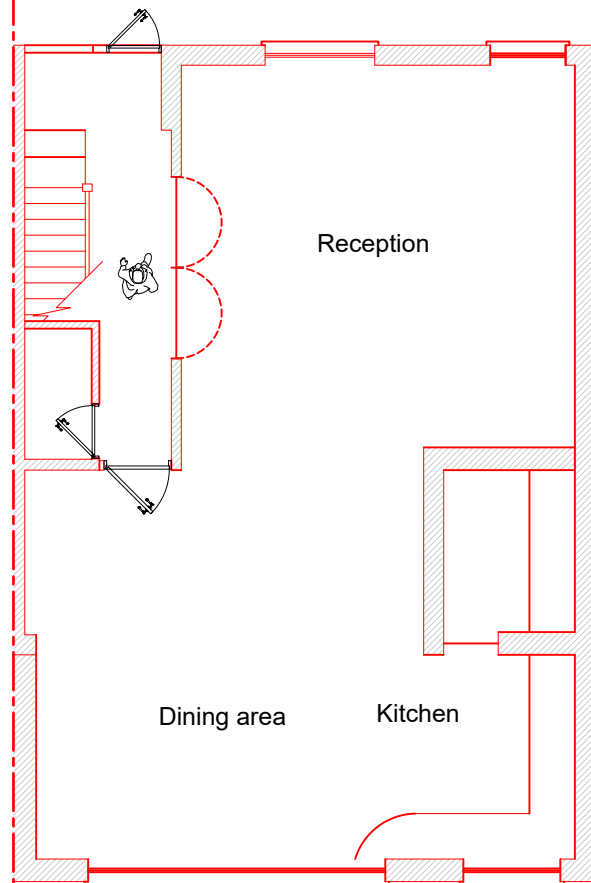


# Proposed ground floor

scale 1:100

64 66

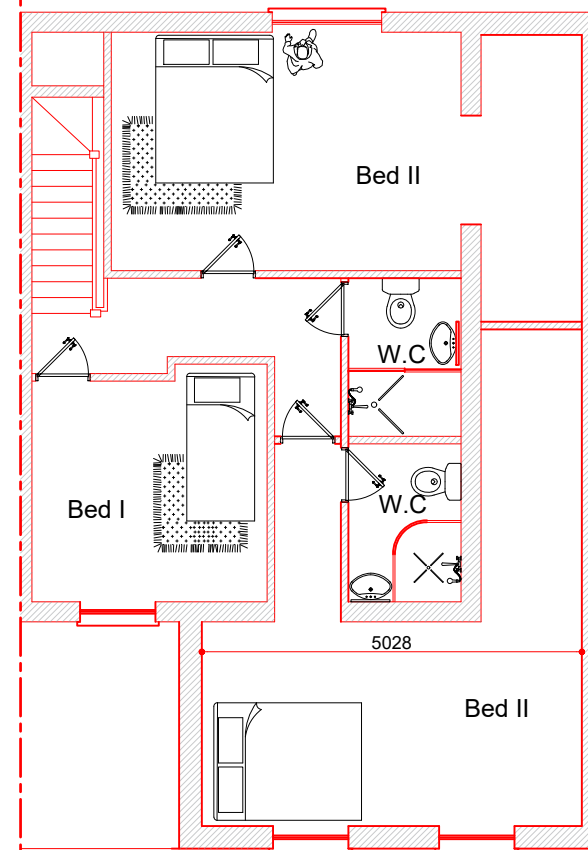
Front of 66 Hercies Road



# Proposed first floor

scale 1:100

64 66



CLIENT

Mr. Wiji Gorwara

PROJECT LOCATION

66 Hercies Road, UB10 9NB  
Hillingdon, London

SCALE

1:100 / A3

DRAWING NO. REV

01RP1

DATE

January - 2022

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DRAWING TITLE

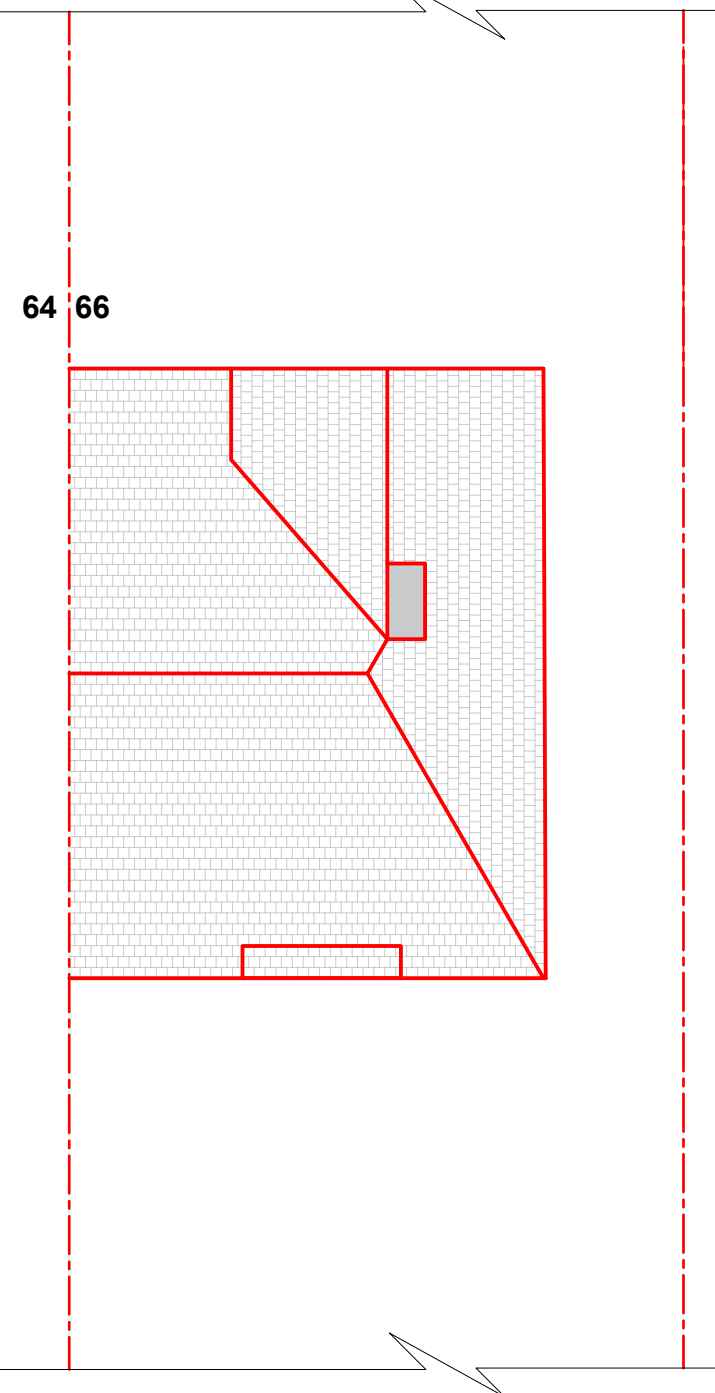
Proposed ground & First floor



NOTE: ALL PROPOSED  
MATERIALS TO MATCH  
EXISTING

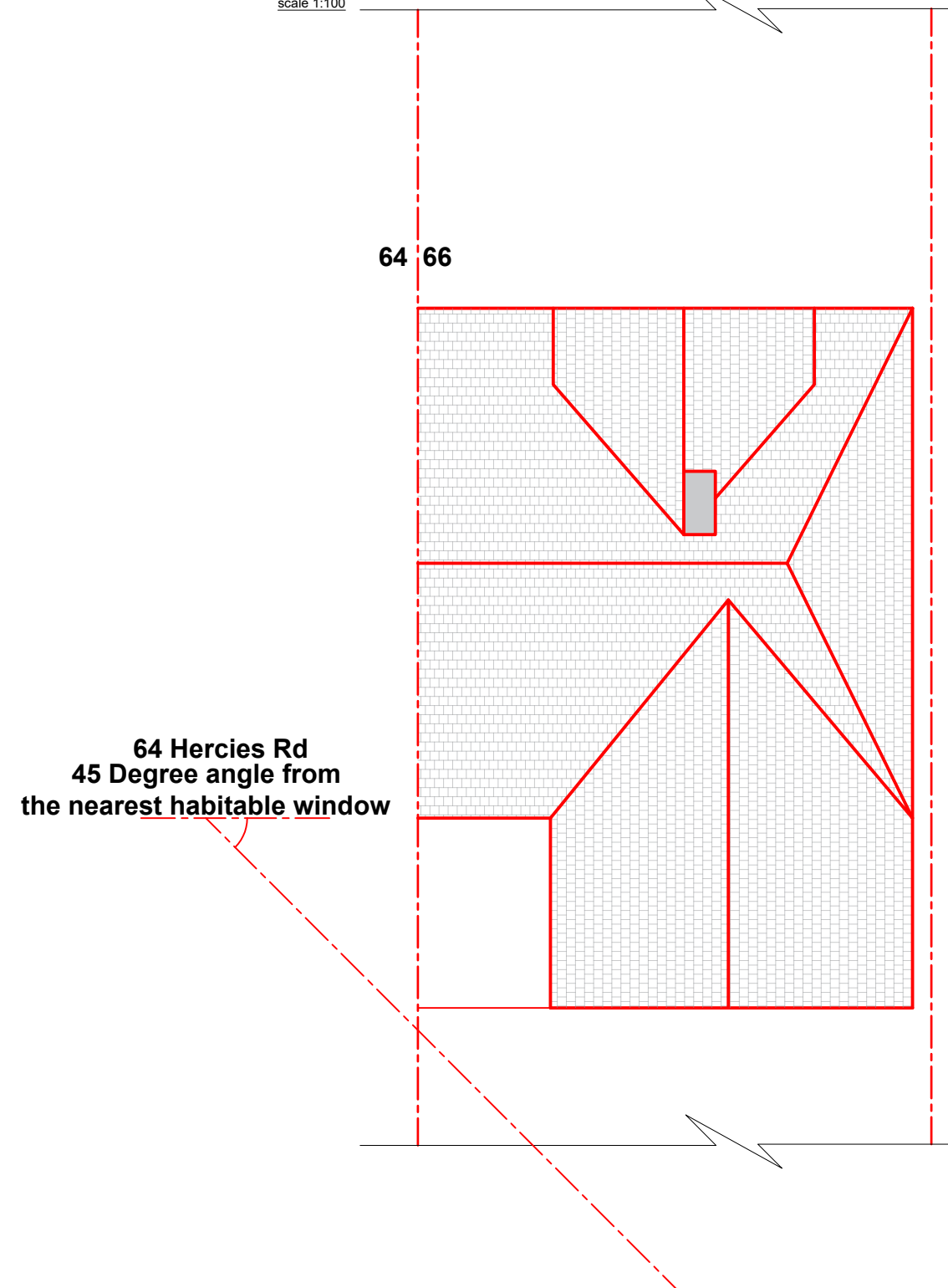
Existing roof plan

scale 1:100



Proposed roof plan

scale 1:100



64 Hercies Rd  
45 Degree angle from  
the nearest habitable window

CLIENT

Mr. Wiji Gorwara

PROJECT LOCATION

66 Hercies Road, UB10 9NB  
Hillingdon, London

DRAWING TITLE

Existing and Proposed roof plan

SCALE

1:100 / A3

DATE

January - 2022

DRAWING NO. REV.

01RP1

DRAWN

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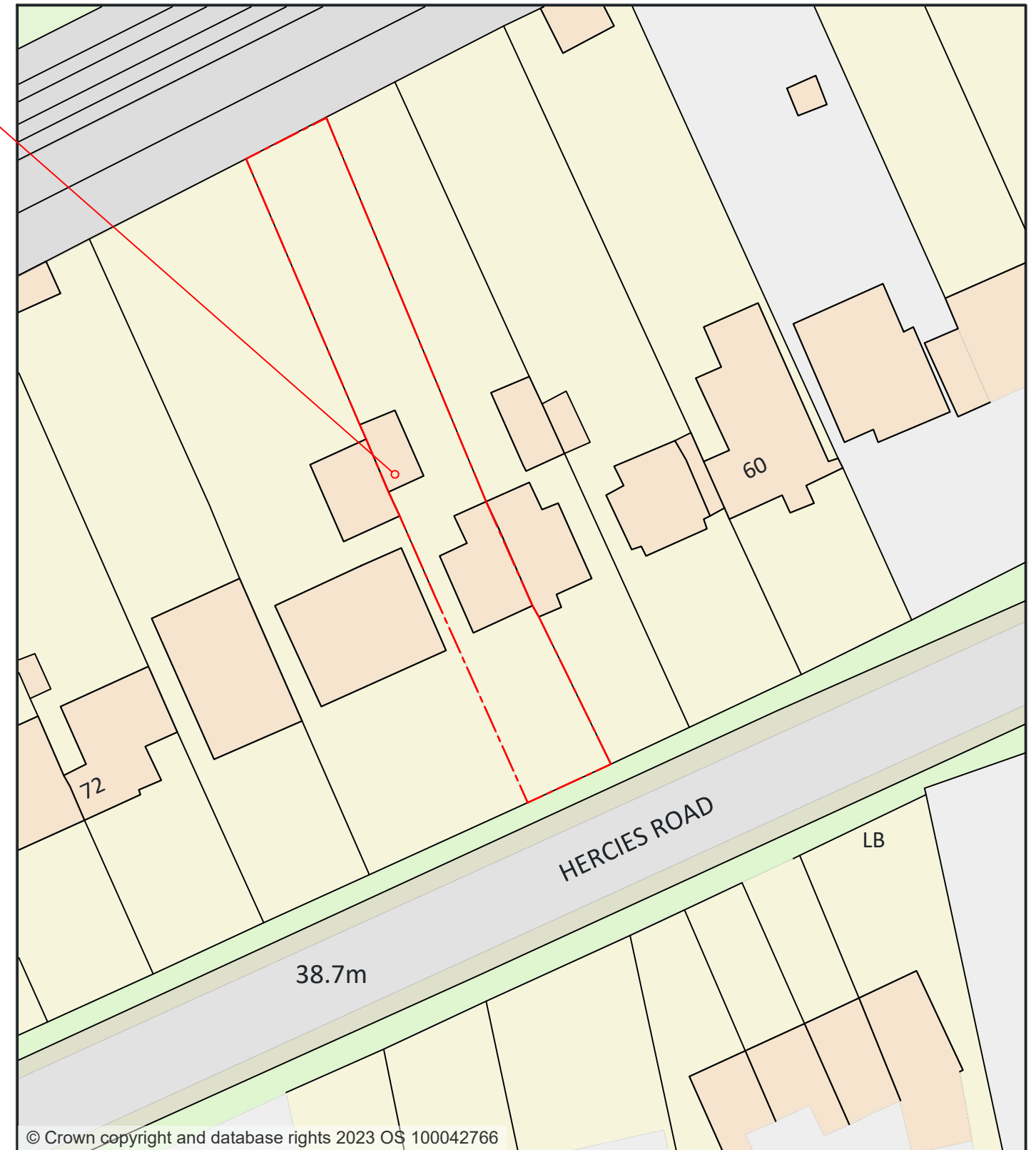
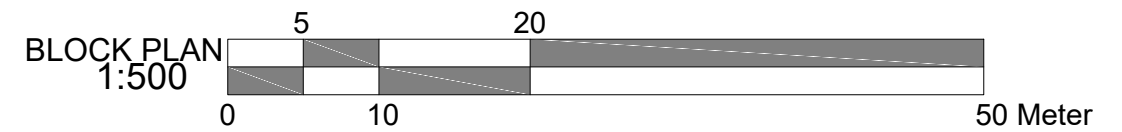
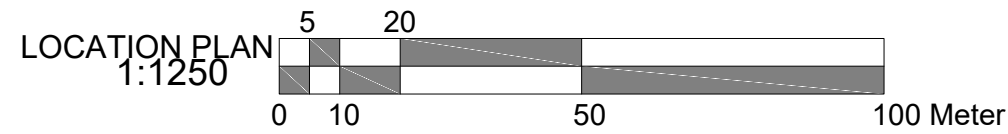
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NOTE: ALL PROPOSED  
MATERIALS TO MATCH  
EXISTING





CLIENT

Mr. Wiji Gorwara

PROJECT LOCATION

66 Hercies Road, UB10 9NB  
Hillingdon, London

DRAWING TITLE

Existing block & location plan

SCALE

1:100 / A3

DATE

January - 2022

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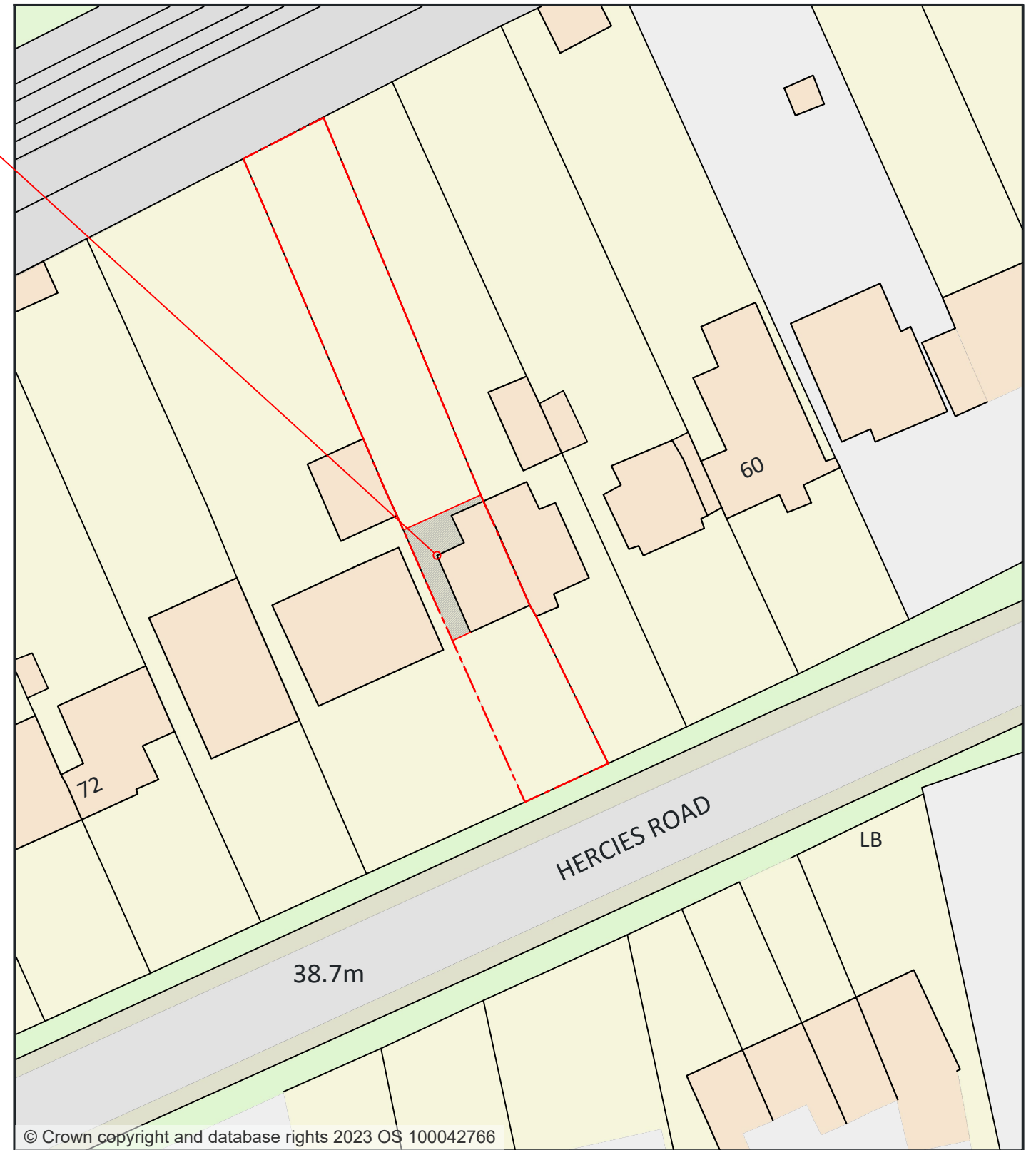
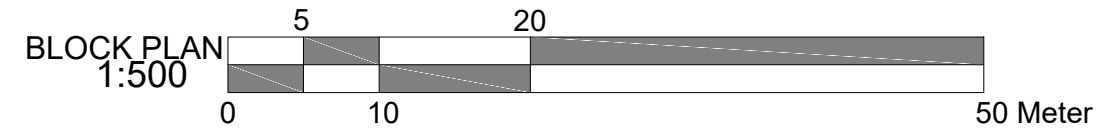
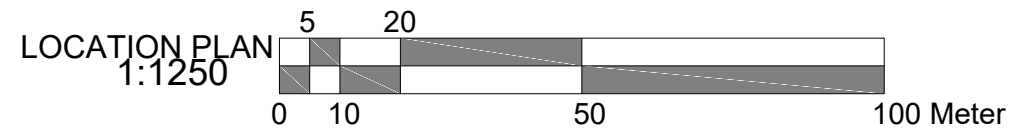


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NOTE: ALL PROPOSED  
MATERIALS TO MATCH  
EXISTING



CLIENT

Mr. Wiji Gorwara

PROJECT LOCATION

66 Hercies Road, UB10 9NB  
Hillingdon, London

SCALE

1:100 / A3

DRAWING NO. REV

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DATE

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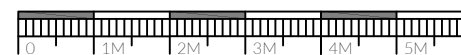
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MATERIALS TO MATCH  
EXISTING

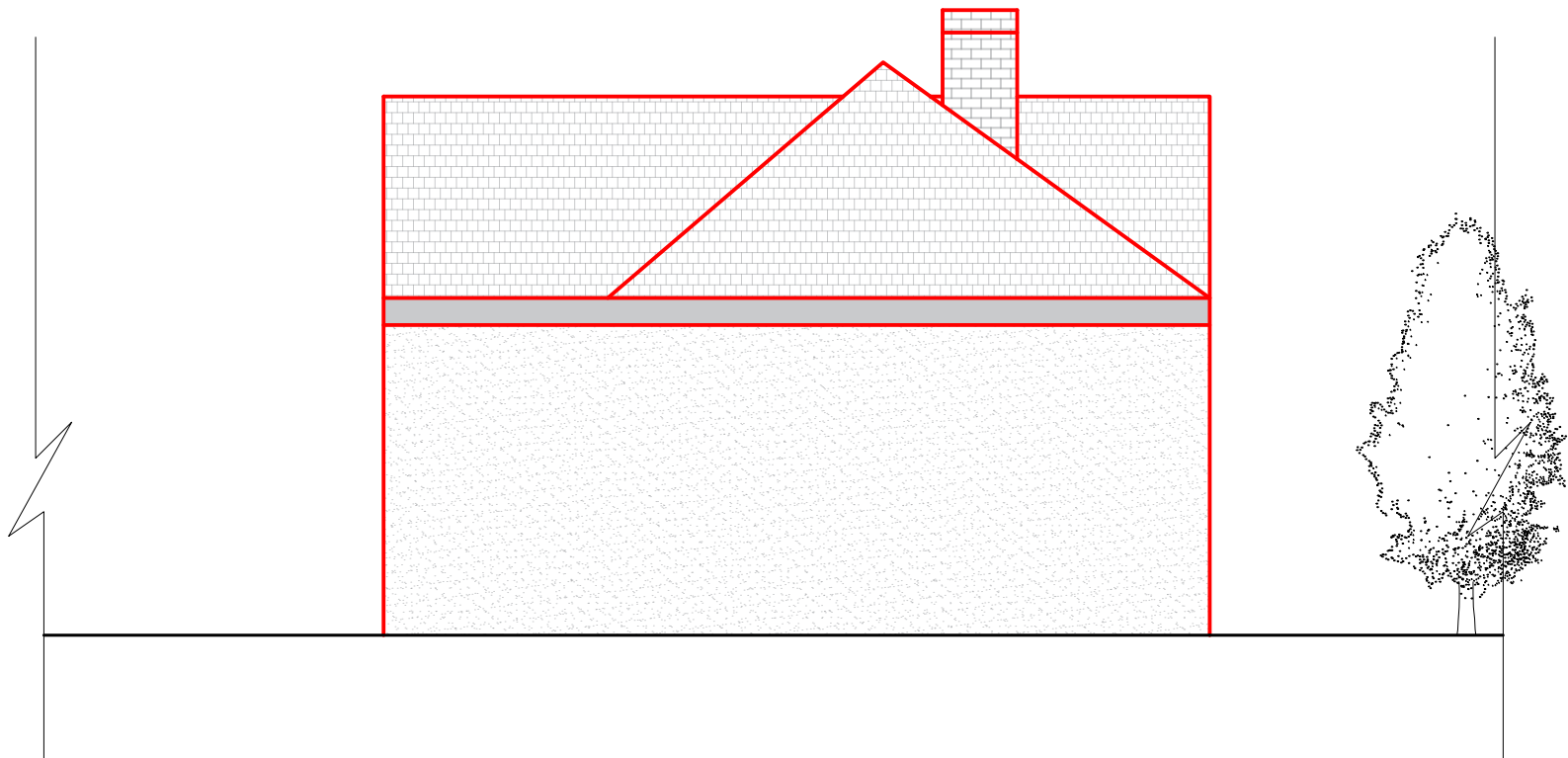
DRAWING TITLE

Proposed block & location plan



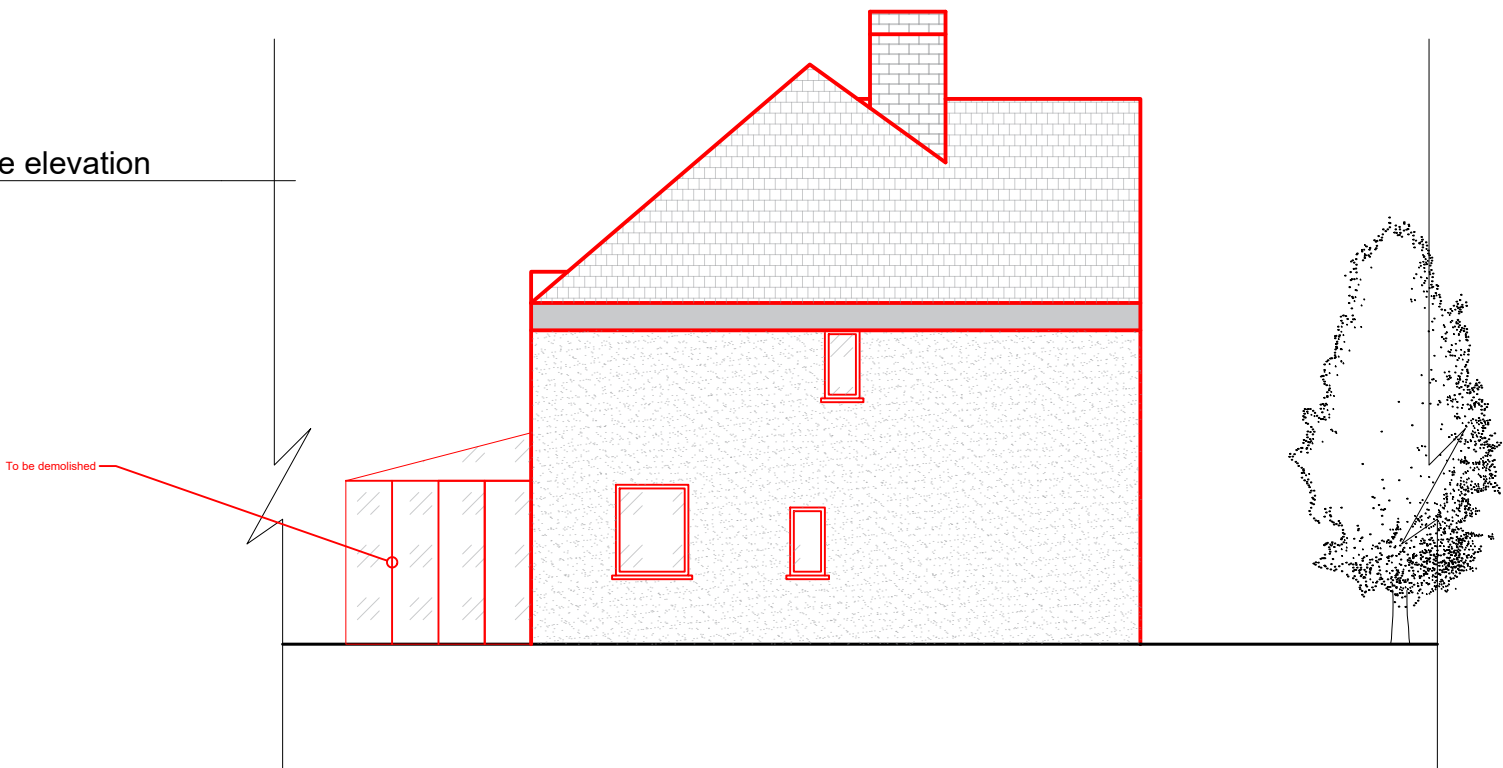
Proposed West facing Side elevation

scale 1:100



Existing West facing Side elevation

scale 1:100



CLIENT

Mr. Wiji Gorwara

PROJECT LOCATION

66 Hercies Road, UB10 9NB  
Hillingdon, London

SCALE

1:100 / A3

DRAWING NO. REV.

01RP1

DATE

January - 2022

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DRAWING TITLE

Existing & Proposed Side elevation



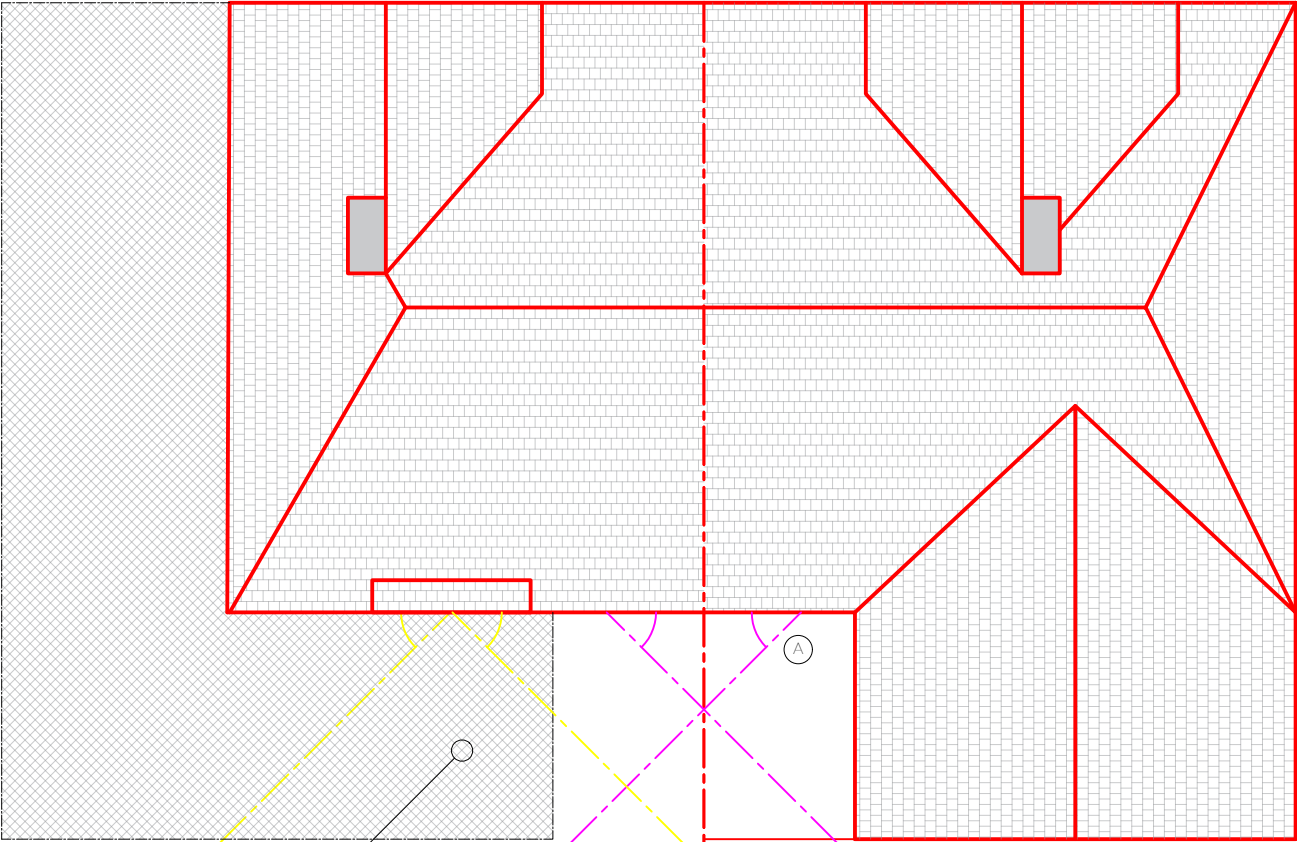
NOTE: ALL PROPOSED  
MATERIALS TO MATCH  
EXISTING



Outline future Proposal 64 Hercies Scaled 1:100

scale 1:100

64 66

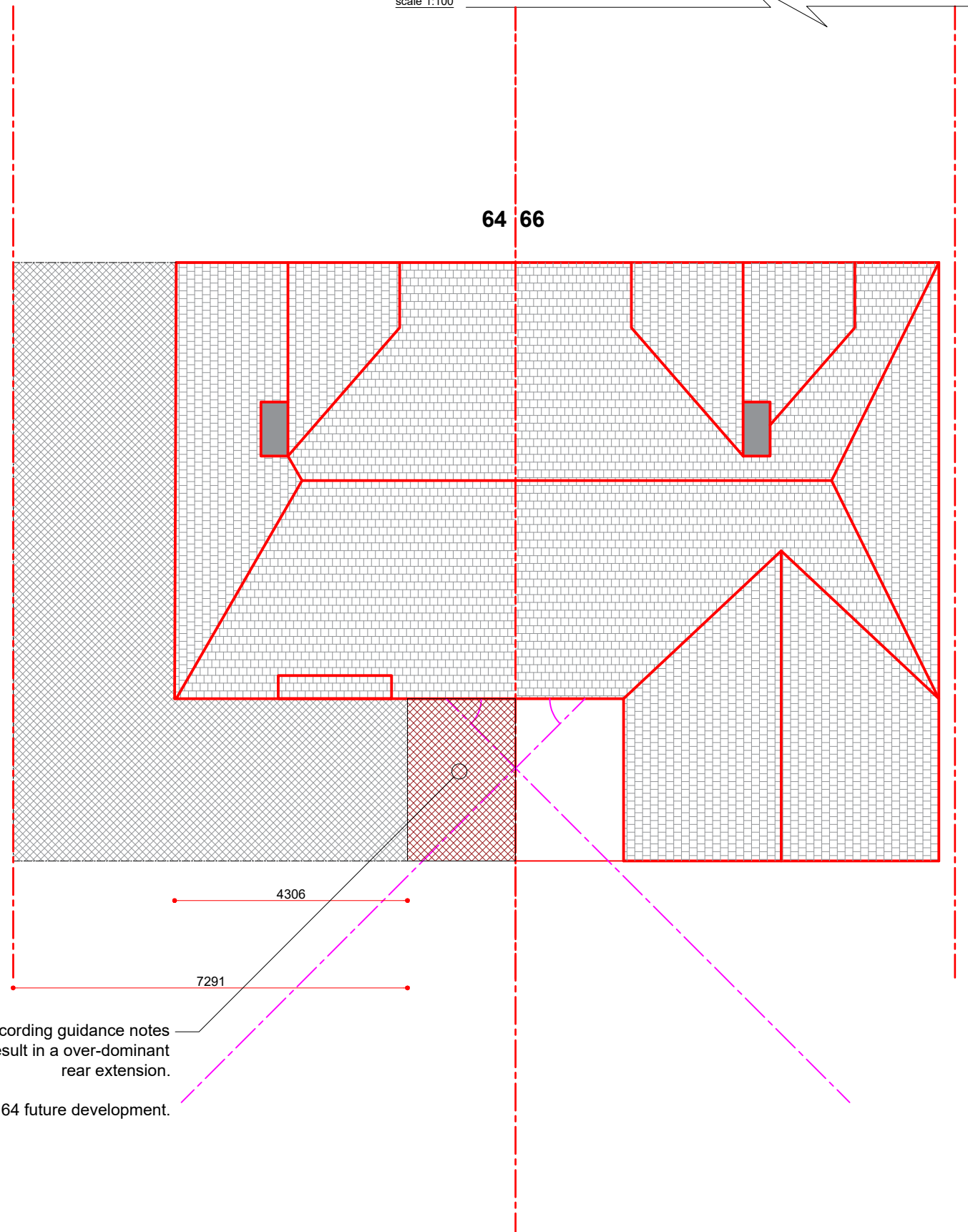


No. 64 Future development will not  
be hindered by the placement of No 66 window A  
The view lines are mirrored and prove the same  
development opportunities for no 64. as no 66. has.

Therefore no 64. future development rights are kept intact.

Offset from boundary scaled 1:100  
scale 1:100

64 66



The area hatches in red is the minimum distance required according guidance notes for first floor rear extensions, encroaching any further would result in a over-dominant rear extension.

Therefore the Proposal of no 66 poses no restrictions on no 64 future development.

scale 1:100

[illegible]

Therefore the Proposal of no 66 poses no restrictions on no 64 future development. They can make a larger application for their first floor with a depth of up to 3.3-meters.