

KIRK HOUSE, 97-109 HIGH STREET, WEST DRAYTON, UB7 7GJ

CONSTRUCTION MANAGEMENT PLAN

TO SATISFY PLANNING CONDITION 4 (PRE-COMMENCEMENT CONDITION)
FOR PLANNING DECISION REFERENCE: 32928/APP/2023/753

CONSTRUCTION MANAGEMENT PLAN BY QUAD ADAPT LTD
JUNE 2024
Revision / – 05.06.24

CONSTRUCTION MANAGEMENT PLAN

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1. ABSTRACT

This Construction Management Plan for the proposed development at Kirk House, 97-109 High Street, West Drayton, UB7 7QR includes the following details:

1. A construction programme can be found in Appendix G, with detailed roles and responsibilities listed within the document.
2. Site operatives use the public transports network where possible. Any vehicles of site operatives and visitors will be parked in nearby pay and display bays to ensure satisfactory access and movement for existing occupiers of the building and neighbouring properties.
3. Loading/ unloading of plant and materials used in constructing the development will occur to the side of Kirk House, on St Stephen's Road. Plans/ materials will then be transferred immediately to the storage area within the site boundary as indicated in the site set-up drawings located in Appendix E.
4. Security hoarding will be erected and maintained throughout the duration of the works as indicated on the site set up drawings (Appendix E). Clear signage and good lighting will also be in place throughout the works.
5. No vehicles will be driving in and out of the working area, hence there will be no requirement for wheel washing facilities. As the working area is contained within the rear end of the parking space boundary, there is no special requirement over and above the normal procedures for dust and dirt control. The site will be kept tidy during the day and the main road will regularly be inspected and if required thoroughly swept and washed down, to ensure it is always kept presentable and safe.
6. Quad Adapt Ltd Waste Management Policy can be seen in Appendix G, detailing the recycling/ disposing of waste resulting from the demolition and construction works.
7. When deliveries are being unloaded to the site, we will have at least two traffic controllers directing the traffic from both sides of the vehicle. Should a neighbour's drive be blocked by a large delivery vehicle and the neighbour wishes to leave or enter the drive we will ensure the vehicle is moved straight away.
8. Communications and regular dialogue will be set up with neighbours. Quad Adapt Ltd will report on a fortnightly basis to the direct neighbours on works to be carried out, programme and deliveries.
9. Throughout the works Quad Adapt Ltd will ensure that all public pathways and access ways will always remain clear of all obstructions to prevent inconvenience and ensure access for all, including those using wheelchairs or perambulators.

2. INTRODUCTION AND SITE DESCRIPTION

This document covers the routing of construction site traffic, access arrangements to the site, details of the vehicles expected, the required license and suspensions, a description of Quad Adapt Ltd procedures, construction methodology, and a waste and management policy.

- Kirk House is a substantial brick-built building with 36 residential flats and will remain occupied for the duration of the loft conversion works.
- The property has a spacious ground floor parking space to the ground floor accessible from the side of the building by St. Stephen's Road.
- The property is located on the Main high street in a commercial and residential area with two-way traffic.
- The proposed works involves conversion of the existing loft space into 8 residential flats.
- Access to the property will be required throughout the works by the existing fire escape located on the rear side of the building by the car park area and 1 number hoarding and skip license will be necessary for the site set up. Together with scaffolding by the fire escape staircase with a hoist.
- An 8-yard skip will be located directly opposite the fire escape staircase and the hoarded area is as shown in the site set-up drawings (Appendix E).
- Deliveries will be made to the side of the property and materials will immediately be transferred into the material storage area within the site boundary, as indicated on the site set-up drawings (Appendix E).
- All construction equipment and machinery will be contained within the hoarding to the rear of the property, as shown in the site set-up drawings (Appendix E).
- Access to the site will only be via the side of the property. While access to the loft will be through the fire escape staircase from the rear of the building.
- The works will be contained within the boundary of the property to control the emission of dust during construction.
- Quad Adapt Ltd will make every effort to minimise noise, vibration and dust as shown in our Mitigation of dust, noise & Vibration Policy (Appendix H).
- The project has an appointed permanent site manager, and all temporary support works for the project will be designed by an appointed temporary support works engineer. Refer to Appendix F for construction methodology.

3. ROLES AND RESPONSIBILITES

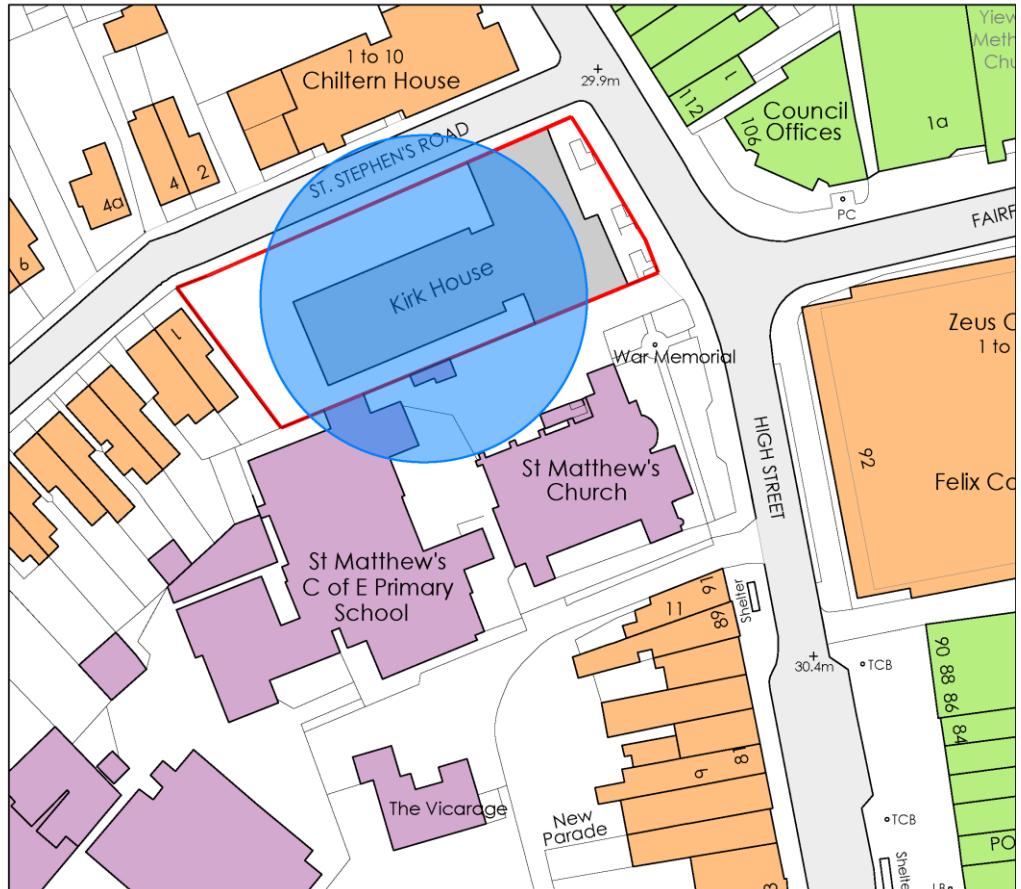
ROLES	RESPONSIBILITES
<u>Principle Contractor Details</u>	Quad Adapt Limited 92-98 Lower Mortlake Road, Richmond-Upon-Thames Surrey, TW9 2JG
<u>Site Manager</u> Robert Jones – robertjones@quadprojects.com 92-98 Lower Mortlake Road, Richmond-Upon-Thames Surrey, TW9 2JG	<ul style="list-style-type: none"> ▪ Ensure work is carried out in accordance with the CMS. ▪ Ensure workers are aware of the requirements of environmental plans and procedures. ▪ Ensure that BPM implemented and maintained on site. ▪ Ensure site documentation (method statement and environmental risk assessments) includes noise, vibration, and dust mitigation. ▪ Respond to alerts and complaints and maintain the site diary. ▪ To act as the first and point of contact for the residents contact site.
<u>All Site Personnel</u>	<ul style="list-style-type: none"> ▪ Carry out the works in accordance with agreed construction management document. ▪ Report anything that deviated from agreed processes to site management. ▪ Report all incidents and examples of best Practice to site manager. ▪ Attend environmental Training and Induction.
<u>Client</u>	Quad Architects Limited 92-98 Lower Mortlake Road, Richmond-Upon-Thames Surrey, TW9 2JG
<u>Contract Administrator</u>	Quad Adapt Limited 92-98 Lower Mortlake Road, Richmond-Upon-Thames Surrey, TW9 2JG
<u>Principle Designer</u>	Quad Architects Limited 92-98 Lower Mortlake Road, Richmond-Upon-Thames Surrey, TW9 2JG
<u>Architect and Structural Engineer</u>	Quad Architects Limited 92-98 Lower Mortlake Road, Richmond-Upon-Thames Surrey, TW9 2JG Zussmanbear 121 Gloucester Place London W1U 6JY

4. LOCATION OF ANY POTENTIAL SENSITIVE RECEPTORS MAP

MAP KEY:

- RESIDENTIAL
- COMMERCIAL
- OTHER
- PLOT
- PLOT BOUNDARY LINE
- 50m BUFFER ZONE

0m 10m 30m 50m



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5. HIGHWAYS AND RESIDENTS' LIAISON

Procedure for communication with the Kirk House residents and utilisation of public highway, are as follow:

- Prior to commencement onsite Quad Adapt Ltd will notify by letter all Kirk House residents detailing the anticipated duration of the project, agreed working hours and the contact details of Head Office, supervisory staff and health and safety officers.
- If our works should cause any complaints the site foreman cannot deal with, then site manager can be contacted 24 hours directly or the office can be informed. All concerns and complaints are taken very seriously and Quad Adapt Ltd does all in its power to resolve them appropriately and as soon as possible.
- Contact details will also be clearly displayed on the site hoarding area within the rear car park area.
- Safe pedestrian access will be maintained at all times and the public right of way will be regularly cleaned down and inspected for hazards.
- Clear signage and good lighting for pedestrian will be in place during the works and Quad Adapt Ltd operatives are to maintain courteous relations and be helpful to neighbours and passers-by all times.
- Any visitors that drive to the site will park in nearby pay and display bays to ensure satisfactory access and movement for others during construction. Site operatives will use public transport to get to and from the site.
- The works are contained within the property boundary so there is no special requirement over and above the normal for dust and dirt control.
- Traffic routeing has been carefully considered to minimise disruption to residents and details of the vehicle routeing can be found in Appendix D.
- The site working hours are between 08:00 – 18:00 Monday to Friday and 08:00 to 13:00 on Saturday in accordance with the Local Authority regulations. Quad Adapt Ltd excavation works will only take place on Monday to Friday between 08:00 to 18:00. No work will be carried out on Sunday or public holidays.
- A copy of this construction traffic management plan is held on-site, and all contractors and suppliers are sent a copy to ensure they are aware of the requirements and parameters of this document.

6. PROCEDURE – DELIVERY OF MATERIALS

Steps that will be taken to reduce the potential for traffic congestion when there are deliveries to site and to maintain the local amenity whilst the Contract Programme is executed.

- Materials will be delivered to site by numerous subcontractor suppliers. Delivery drivers will park their vehicles outside St. Stephen's Road, to the side of Kirk house prior to offloading materials.
- Materials will then immediately be transferred into the materials storage area within the boundary of the site.
- The site set up will ensure that the full usual road width of maintained throughout the works.
- To minimise any disruption, we will restrict all large vehicle deliveries/ collections to between the hours of 10:00 and 15:00.
- Traffic management will be employed as necessary by trained banksmen's with priority at all times for emergency vehicle.
- When deliveries are being unloaded to the site, we will have trained banksmen/ traffic controllers directing the traffic from both sides of the vehicle in attendance as necessary.
- Should one of the neighbours' drives be blocked by the large delivery lorry and the neighbours wishes to leave or enter the drive we will move the vehicle straight away.
- Refuse is collected Tuesdays and Fridays 07:00 – 12:00 along St. Stephen's Road. Recycling is collected on Fridays 08:00 – 14:00 along St. Stephen's Road. Care will be taken to prevent congestion when calling off deliveries by avoiding these times.
- All materials will be contained within the site boundary, and materials will only be ordered when required.

CALL OF PRECEDURE

1. Materials will be ordered through the Head Office Purchase Department at least 48 hours prior to their requirement onsite. Site foremen will be instructed to ensure orders are to be kept to a minimum to avoid delays in off load and double handling after being stored in our compound.
2. We use licensed contractors for the removal of materials, which will be requested by site staff and scheduled by the head office contracts administrator a minimum of 24 hours prior to their being needed onsite.
3. Delivery drives will be required to notify the site manager at least 20 minutes before arrival.
4. Delivery which does not fall within the specified time constraints will be refused.
- Materials will be unloaded by driver and site staff, temporary traffic management will be supplied by suitable qualified site staff.
- Traffic management will consist of temporary signage and cones as required to sufficiently warn all pedestrians and passing traffic of our operations.

7. REMOVAL WASTE MANAGEMENT

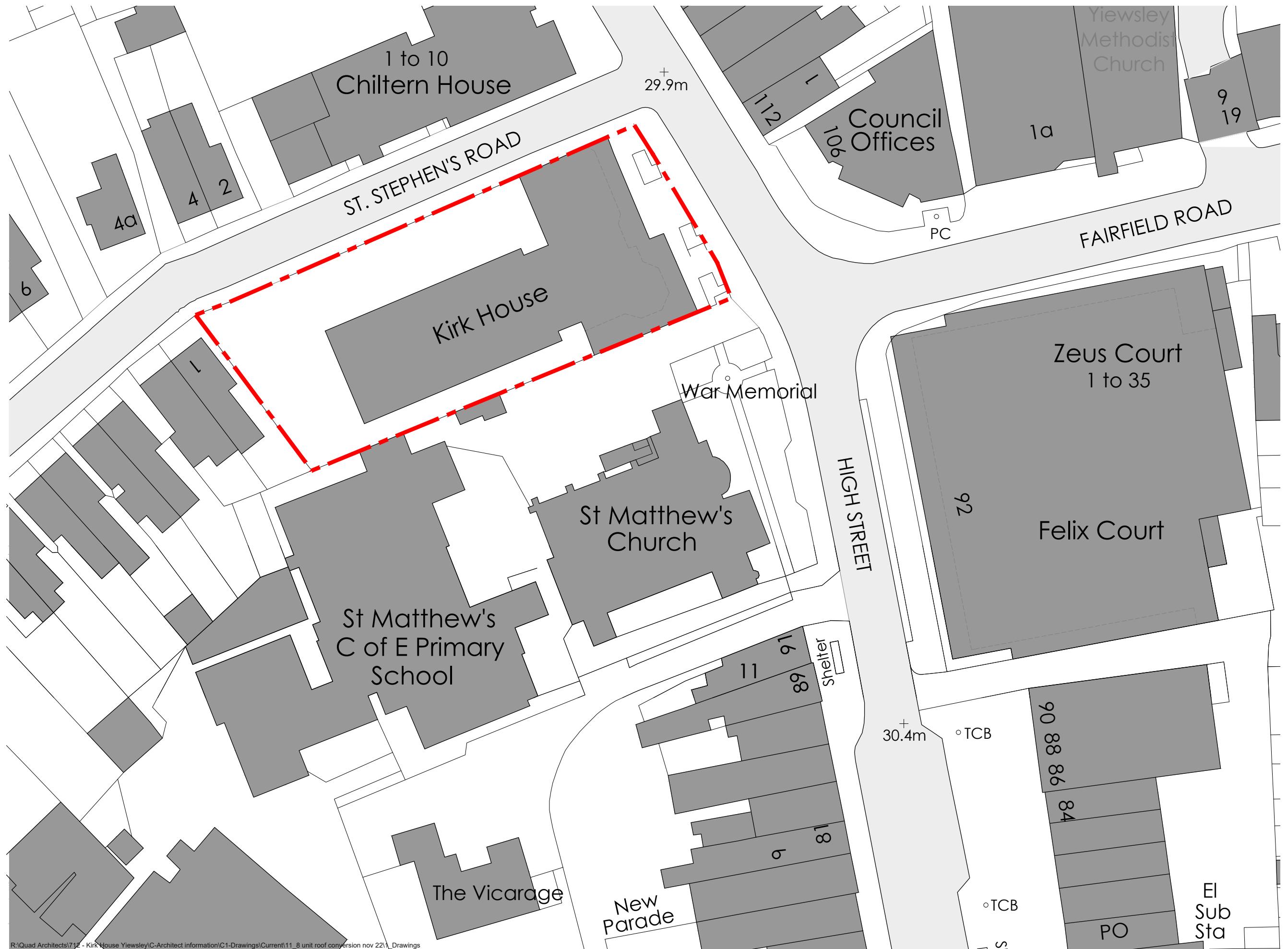
Removal of the spoils from the site, general building debris and site refuse will be dealt with by our approved site manager.

- A skip will be located within our boundary car park area.
- The skip will be unloaded by grab lorry once full. The lorry will pull up to the side of the property prior to grabbing the spoil. At least two trained banksmen from site will implement traffic control along St. Stephen's Road as necessary throughout this process.
- Whilst the skip is being emptied members of the site staff are present and will notify other drivers of the approximate time the operation will take.
- If residents need to access or exit the area and our vehicles are in the way, every effort will be made by the banksmen to re-position these immediately to allow these vehicles can drive past.
- Once the grab lorry has left the site banksmen will ensure that the road is completely clear of debris, immediately following the collection of waste.
- Periodically during the day and at the end of every working day the main road will be thoroughly swept and washed down, so it is always kept presentable and safe.
- A copy of Quad Adapt Ltd Waste Management Policy can be found in Appendix F.

CONSTRUCTION MANAGEMENT PLAN

APPENDIX A – SITE LOCATION PLAN

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NOTES

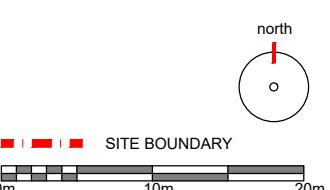
THIS DRAWING IS THE COPYRIGHT OF THE ARCHITECTS AND MAY NOT BE REPRODUCED WITHOUT PERMISSION

THE CONTRACTOR IS RESPONSIBLE FOR CHECKING DIMENSIONS, TOLERANCES AND REFERENCE. ANY DISCREPANCIES TO BE CHECKED WITH THE ARCHITECT BEFORE PROCEEDING WITH THE WORKS

WHERE AN ITEM IS COVERED BY DRAWINGS TO DIFFERENT SCALES, THE LARGER SCALE DRAWING IS TO BE WORKED TO

DO NOT SCALE FROM DRAWING, FIGURED DIMENSIONS TO BE WORKED TO AT ALL TIMES

ALL WORK AND MATERIALS TO BE IN ACCORDANCE WITH THE BUILDING REGULATIONS AND TO COMPLY WITH THE RELEVANT CODES OF PRACTICE AND BRITISH STANDARDS



Issue for PLANNING 18.01.23 /
DETAILS DATE REVISION

PLANNING

SITE LOCATION PLAN

Revision: / 712-P-100
1:500@A3 JAN 2023
Drawn by: LB Checked by: NL

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97 HIGH STREET
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CONSTRUCTION MANAGEMENT PLAN

APPENDIX B – SITE TRAFFIC TYPE AND DIMENSION

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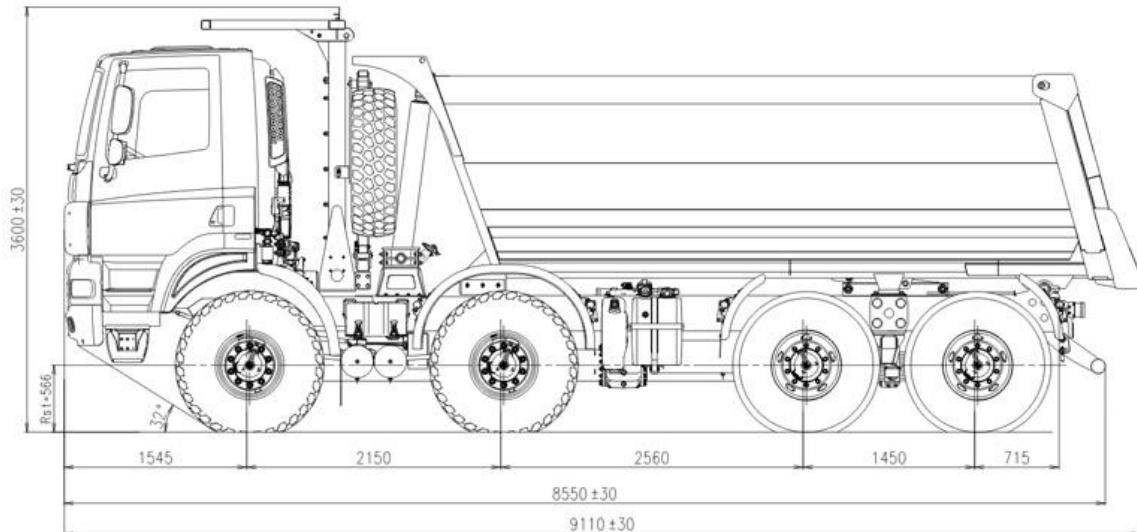
SITE TRAFFIC, FREQUENCY, TYPE AND DIMENSION

As this is a domestic contract, the site traffic will be relatively low. We consider that the likely vehicle movements will be as follow:

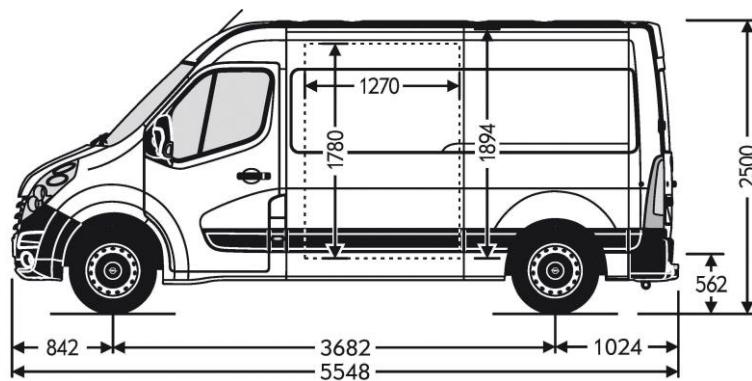
VEHICLE TYPE/ NUMBER OF VISITS PER DAY	DIMENSIONS
1 grab lorry/ day maximum	9.1m x 2.6m
1 material delivery/ day maximum	7.7m x 2.45m

Deliveries garb/ lorries will be restricted to after 10:00 and before 15:00 to avoid rush hour/ school times.

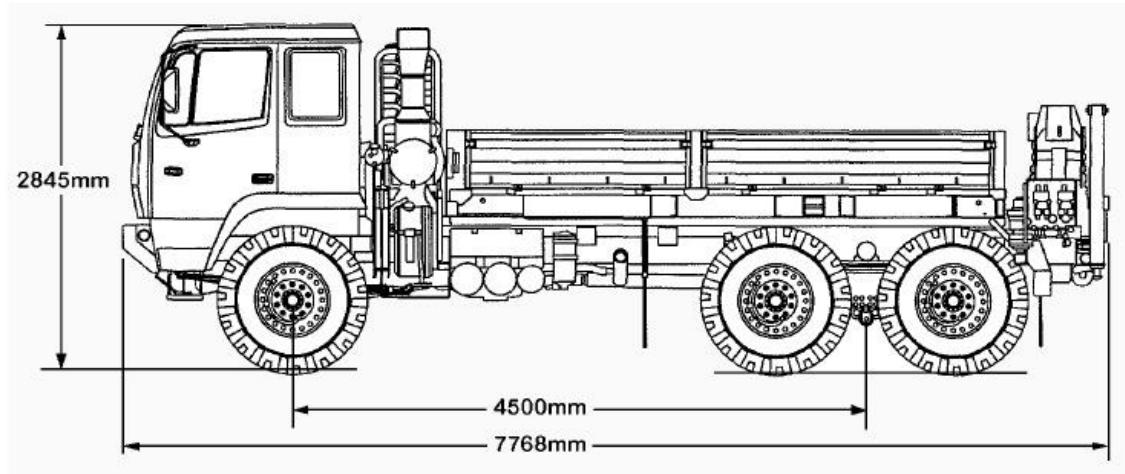
A – 8 Wheel grab lorry



B – Delivery van



C – Delivery lorry



CONSTRUCTION MANAGEMENT PLAN

APPENDIX C – SITE PHOTOS

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SITE PHOTOGRAPHS

FRONTAGE OF KIRK HOUSE



KIRK HOUSE SIDE VIEW



KIRK HOUSE VIEW FROM ST. STEPHEN'S ROAD



KIRK HOUSE VIEW FROM THE HIGH STREET

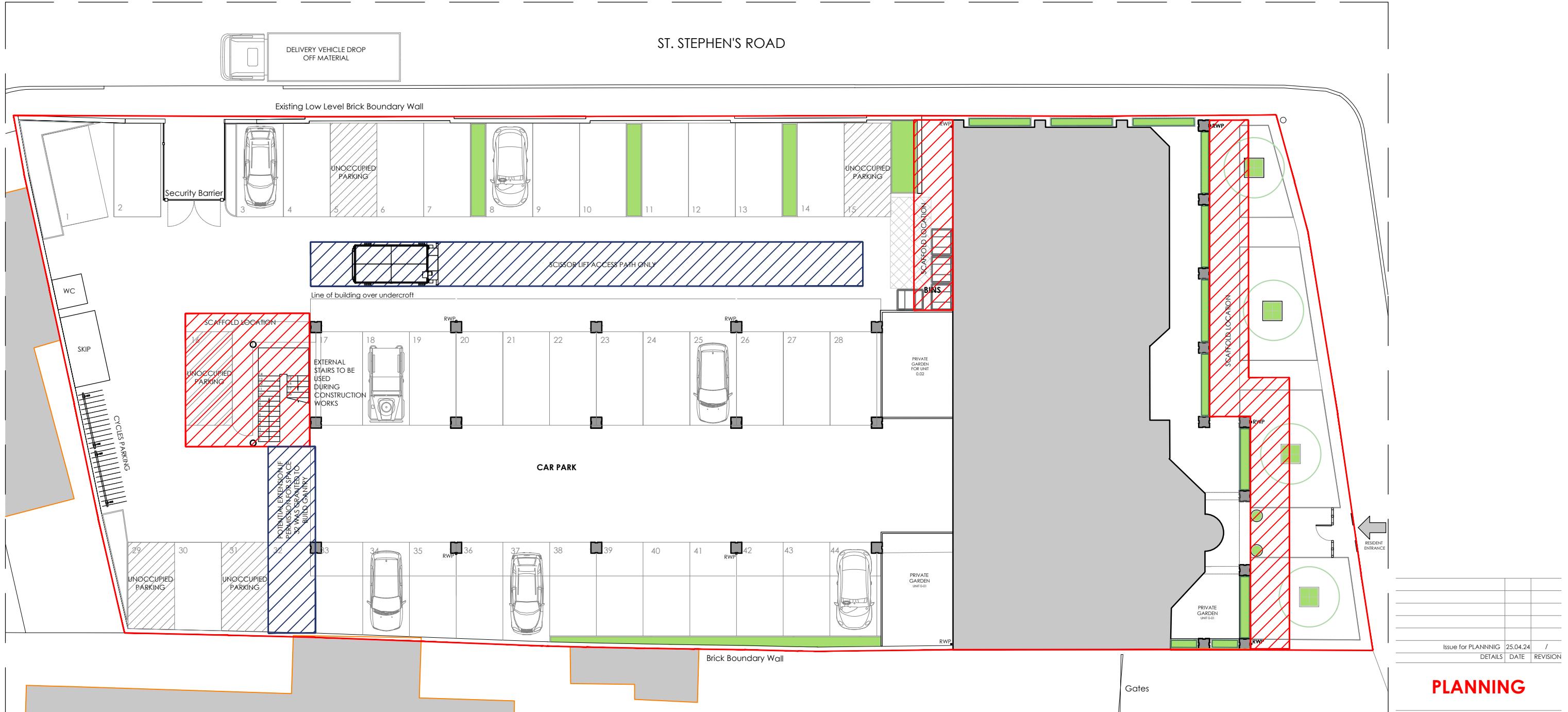


CONSTRUCTION MANAGEMENT PLAN

APPENDIX D – SITE SET-UP PLAN

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ST. STEPHEN'S ROAD



CONSTRUCTION SITE PLAN - SCAFFOLD LOCATION

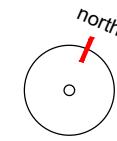
Issue for PLANNING 25.04.24

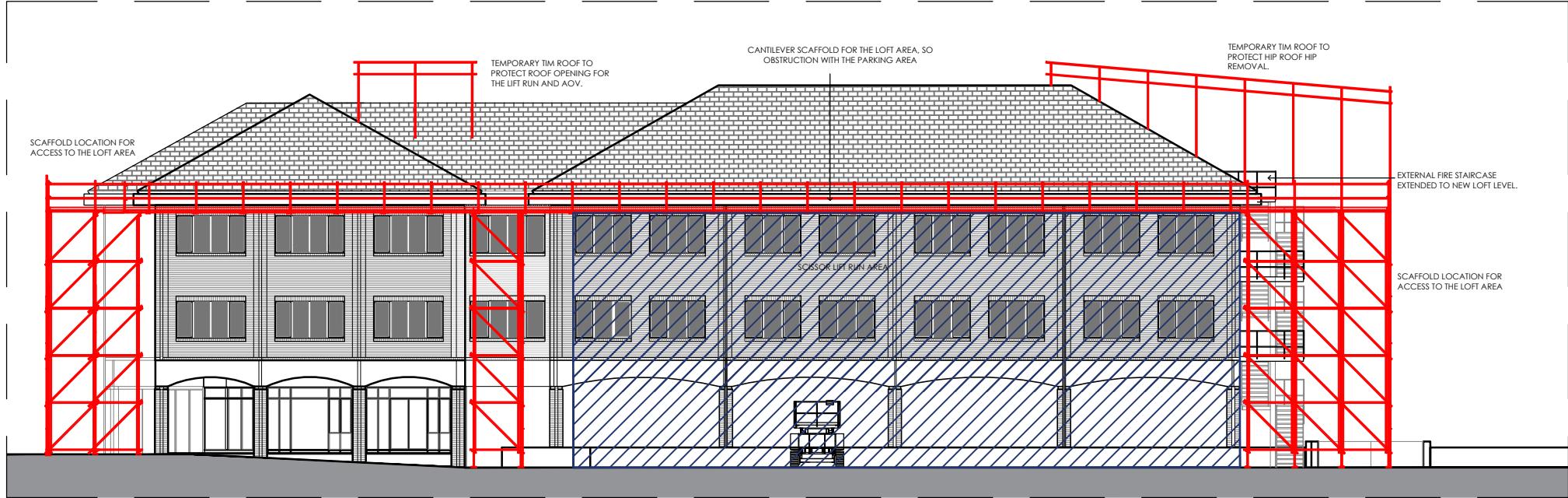
PROPOSED SITE LOGISTIC PLAN SCAFFOLD LOCATION

/	754-P-002
0@A3	APRIL 2024
W:	Checked by: LB

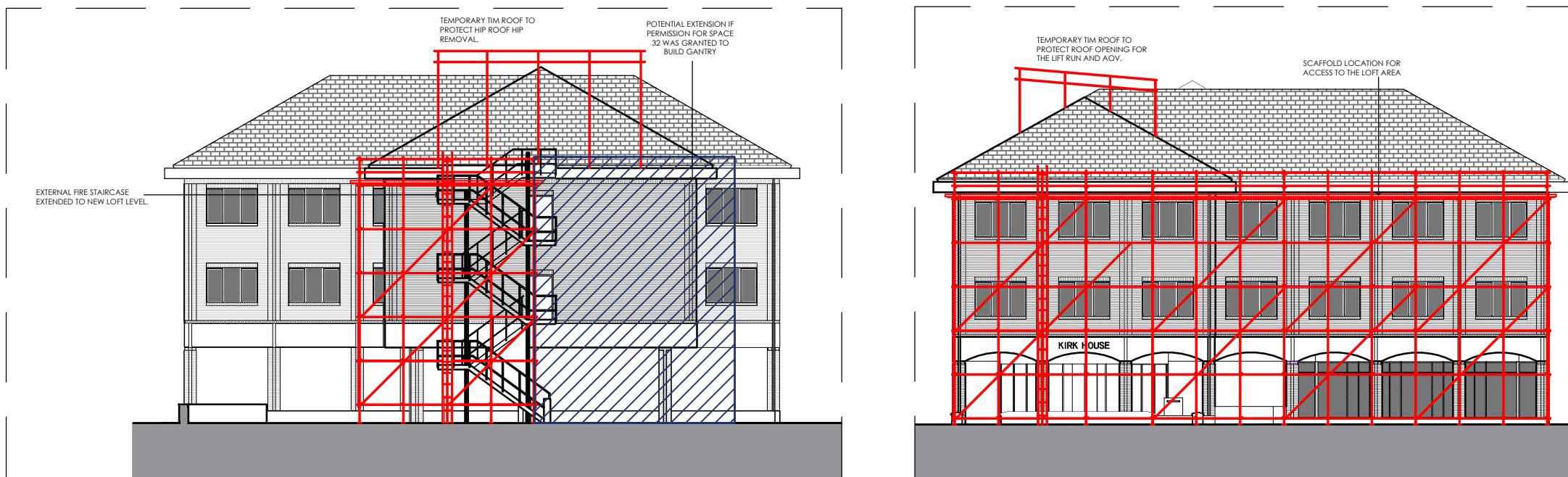
KIRK HOUSE
HIGH STREET
UB7 7QR

8 LOWER MORTLAKE ROAD
RICHMOND UPON THAMES
TW9 2JG





CONSTRUCTION SIDE (ST. STEPHEN'S ROAD) ELEVATION - SCAFFOLD LOCATION



CONSTRUCTION REAR ELEVATION - SCAFFOLD LOCATION

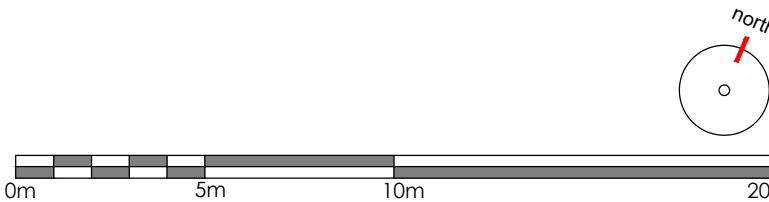
CONSTRUCTION FRONT ELEVATION - SCAFFOLD LOCATION

Issue for PLANNING 25.04.24 /
DETAILS DATE REVISION

PLANNING

PROPOSED
SITE LOGISTIC ELEVATIONS
SCAFFOLD LOCATION

Revision: / 754-P-003
1:250@A3 APRIL 2024
Drawn by: NL Checked by: LB



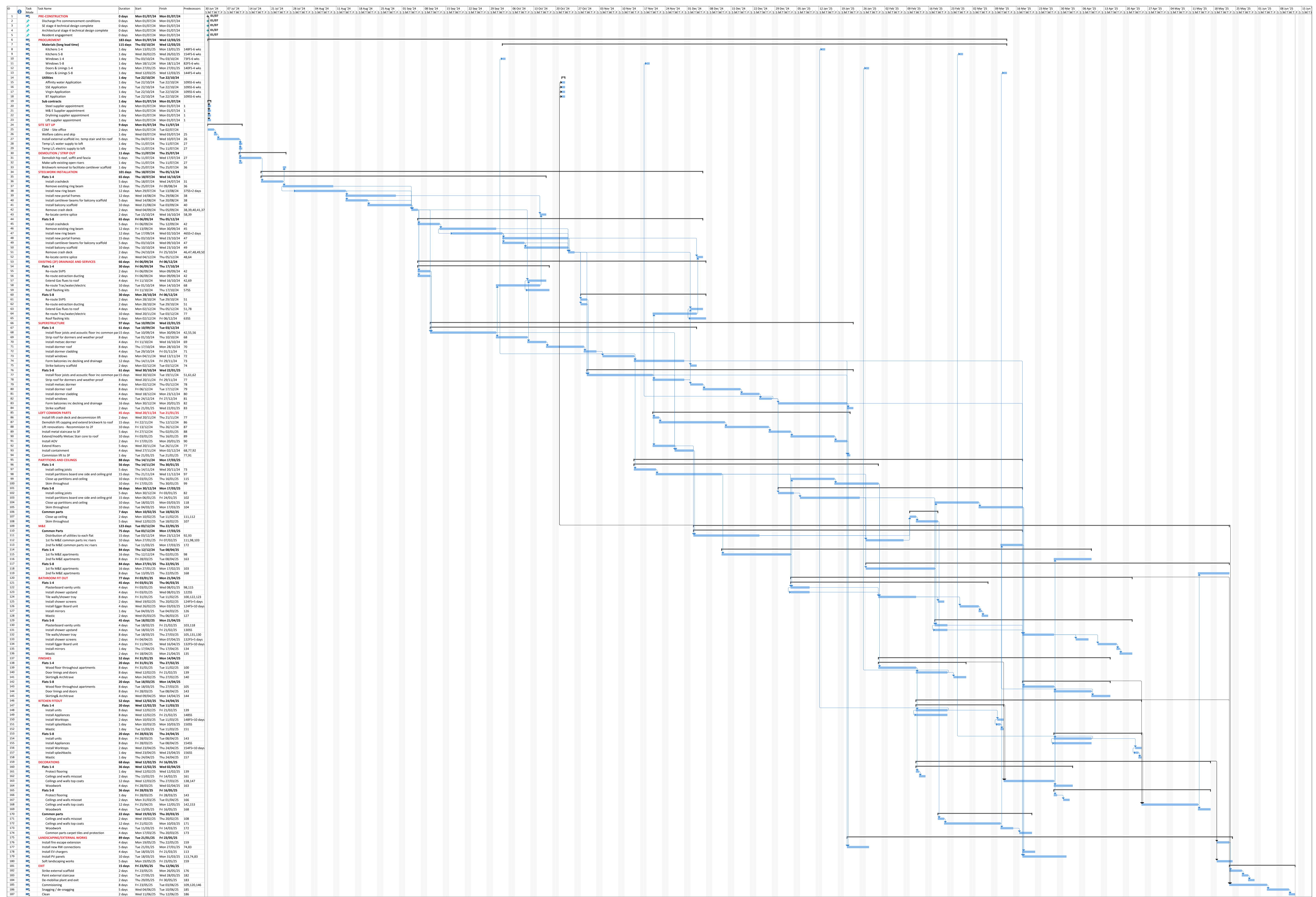
KIRK HOUSE
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APPENDIX E – WORK PROGRAMME

NOTE: This preliminary work programme is subject to changes.



Project: msrp011
Date: Tue 04/06/24

Task

Split

Milestone

Summary

Project Summary

External Tasks

External Milestone

Inactive Task

CONSTRUCTION MANAGEMENT PLAN

APPENDIX F – WASTE MANAGEMENT POLICY STATEMENT

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QUAD ADAPT LTD WASTE MANAGEMENT POLICY STATEMENT

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Quad Adapt Ltd. is actively committed to sustainable waste management on several fronts.

Firstly, we aim to reduce the Company's overall consumption and usage of raw materials. Aligned to this we encourage and favour whenever possible the reuse of materials in all areas of the business, in addition we promote the concept of recycling and the benefit of utilising recycled materials. However, when disposal is the only option, we will seek to dispose of materials in an environmentally sensitive and responsible manner. To accomplish this, aim we:

- Develop Site Waste Management Plans (SWMP) for each site to accommodate effective waste management and minimise the risk of pollution.
- Receive regular reports from Waste Management Companies identifying percentage of wastes recycled.
- Take actions to reduce waste streams of high volume and high cost.
- Give guidance and information to staff to facilitate their participation in the recycling of their waste.
- Favour, when possible, suppliers who remove packaging as part of their contract.
- Encourage the purchase of recycling materials and those which are suitable for disposal by recycling.
- Minimise waste by encouraging the exchange, and re-use of equipment and materials amongst departments.

Quad Adapt Ltd understands that the correct handling, storage, and disposal of waste materials is vital to ensure compliance with environmental legislation and pollution prevention. We fully comply with our Duty of Care responsibilities – we ensure that our waste does not escape from our control and is passed only to an authorised person or waste contractor which is accompanied by a full written description in the form of Waste Transfer Notes.

We promote co-operation and co-ordination between our employees, subcontractors, and clients toward the shared goals of reducing waste at its source, re-using and recycling waste wherever possible.

We will acknowledge, respond appropriately, and consider the views of the public and any other interest parties with respect to our operations. In addition, this policy statement will be communicated to all persons working for and on behalf of Quad Adapt Ltd.

Nuggy Lianos

Director of Quad Adapt Ltd

CONSTRUCTION MANAGEMENT PLAN

APPENDIX G – MITIGATION OF DUST NOISE AND VIBRATION POLICY

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QUAD ADAPT LTD MITIGATION OF DUST, NOISE AND VIBRATION POLICY

DUST

The following measures will be considered as appropriate to mitigate the impact of dust due to the construction activities:

- Through Quad Adapt Ltd experience, the method of construction used will minimise dust generating activities as much as possible.
- Existing roof enclose will be kept intact while the internal works are under construction particularly to protect the neighbouring buildings and boundaries from any dust.
- No waste materials will be burnt on site.
- Site set-up is planned to ensure where possible dust creating activities are located away from the sensitive areas.
- No site run-off of water/ mud will be allowed.
- Adjacent road surface will be frequently swept and washed down to keep them clean together with the parking space area.
- No vehicles will entre the site itself and all loads/materials entering and leaving the site will be covered where appropriate.
- All non-road mobile machinery will utilise ultra-low sulphur tax exempt diesel, where available.
- All road vehicles will be requested to comply with set emission standards.
- Effective traffic management and well organised vehicle logistics will be applied resulting in less dust being produced.
- All vehicles will switch off engines whilst in attendance – no idling vehicles.
- The Drop height from the skip loader will also be minimised as much as possible to minimise dust.
- Quad Adapt Ltd structural managers and site workers will visually assess any dust emission on site and take further actions to mitigate this if necessary.

NOISE

We are fully aware of the sensitivities of those occupying the adjacent properties and the residents of Kirk House to noise. All reasonable steps will be taken to minimise any disruption to those occupiers by noisy activities on site:

- Where possible Quad Adapt Ltd will employ construction methods to avoid the amount of noise generated in the first instance.
- Where it is necessary to carry out noisy activities, these will be identified well in advance and the timing agreed prior to commencement with neighbours. These activities will be carried out

in accordance with the Local Authorities requirements and in consultation with any affected residents,

- Noisy works will be restricted to between 09:00 – 18:00 Monday to Friday.
- Quad Adapt Ltd will screen the noise where possible through a combination of hoarding, screens, materials storage and existing structures.
- Where possible any noisy stationary equipment will be located away from sensitive areas. Materials handling areas will also be kept away from sensitive receptors.
- Drop heights of materials will also be kept to a minimum to avoid unnecessary extra noise.
- Where possible Quad Adapt Ltd uses quiet or low noise equipment. Electrically operated plant will be used where practical. We will ensure all plants used on the site will be effectively silenced.
- All Quad Adapt Ltd employees receive good practice guides through regular toolbox talks. Operatives working in noisy areas will also be monitored to ensure they are wearing the necessary protective equipment and that they are not exceeding their permitted exposure periods.
- No radios or other audio equipment will be allowed on site.
- Efficient vehicle logistic ensure that vehicles arrive promptly, are off-loaded quickly, and departed quickly meaning that there is less time when noise is generated, and it will also prevent traffic build up noise being generated.
- All vehicles will switch off engines whilst in attendance. Vehicle routes are also planned to avoid the need for the vehicles to reverse, therefore ensuring no extra noise.
- Deliveries will also only be made between the hours of 10:00 to 15:00.

VIBRATION

There will not be any vibration within the construction of the loft conversion within Kirk House.

Nuggy Lianos

Director of Quad Adapt Ltd