

NOTES

THIS DRAWING IS THE COPYRIGHT OF THE ARCHITECTS AND MAY NOT BE REPRODUCED WITHOUT PERMISSION

THE CONTRACTOR IS RESPONSIBLE FOR CHECKING DIMENSIONS, TOLERANCES AND REFERENCE. ANY DISCREPANCIES TO BE CHECKED WITH THE ARCHITECT BEFORE PROCEEDING WITH THE WORKS

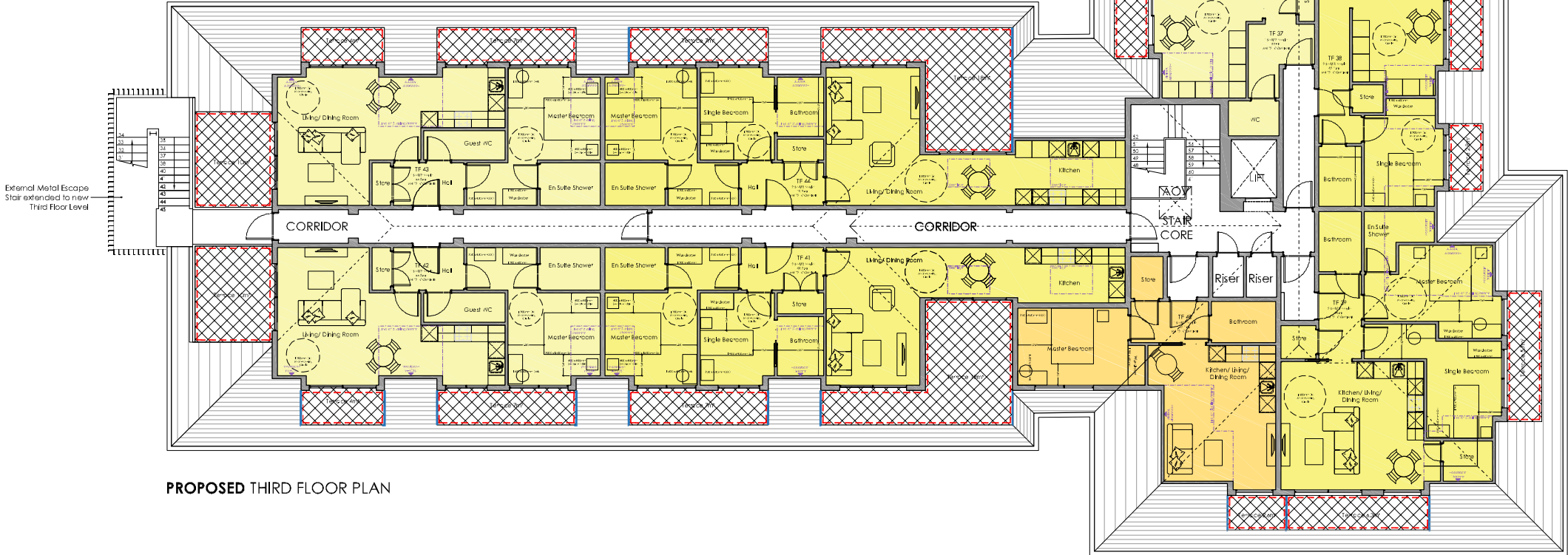
WHERE AN ITEM IS COVERED BY DRAWINGS TO DIFFERENT SCALES, THE LARGER SCALE DRAWING IS TO BE WORKED TO

DO NOT SCALE FROM DRAWING. FIGURED DIMENSIONS TO BE WORKED TO AT ALL TIMES

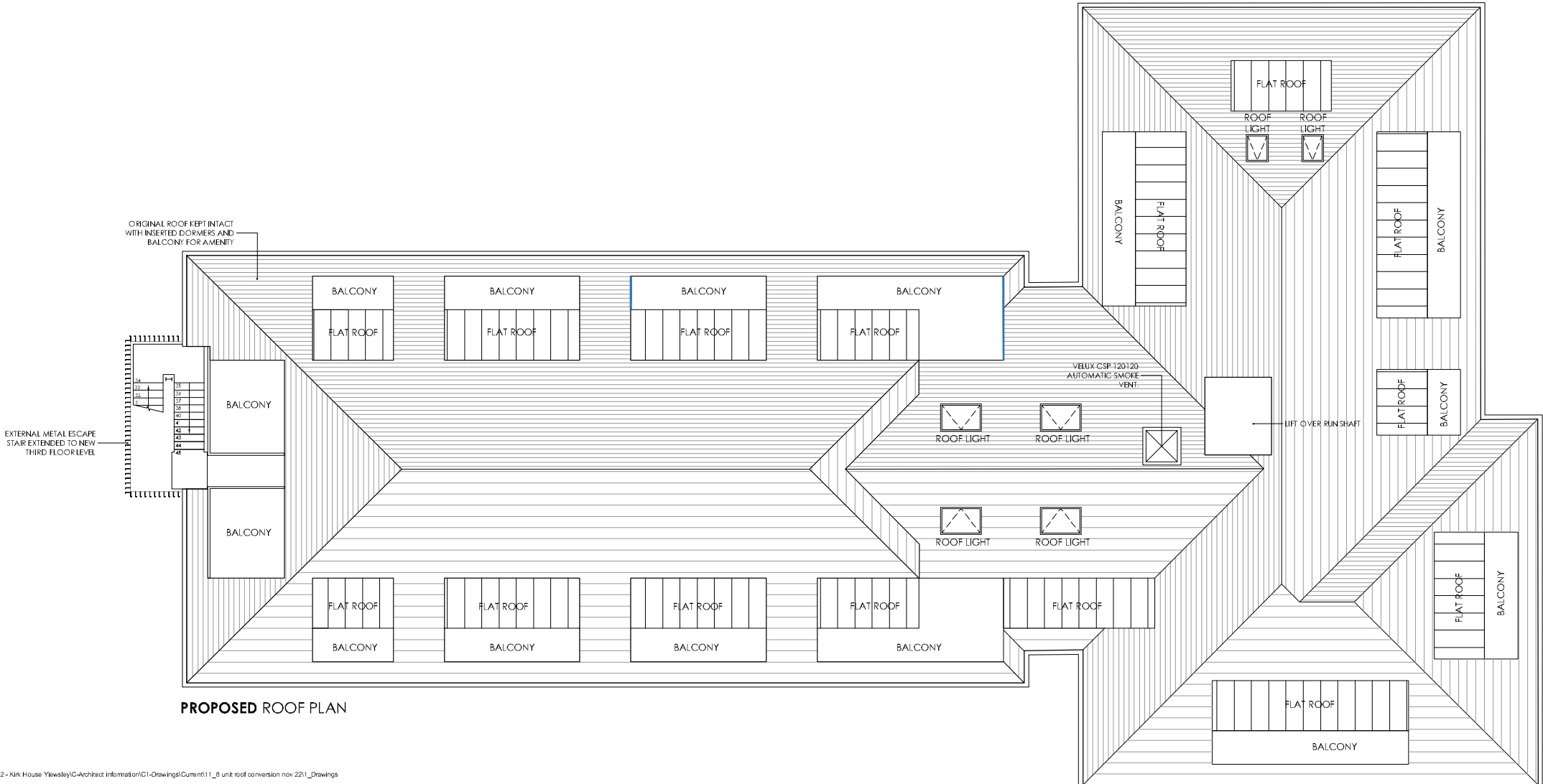
ALL WORK AND MATERIALS TO BE IN ACCORDANCE WITH THE BUILDING REGULATIONS AND TO COMPLY WITH THE RELEVANT CODES OF PRACTICE AND BRITISH STANDARDS

SCHEDULE A ACCOMMODATION

UNIT	BEDS (B)	PEOPLE (P)	MINIMUM AREA LONDON PLAN	PROPOSED AREA	AMENITY AREA
TF 37	1 BEDS	2 PEOPLE	50m ²	55m ²	7.4m ²
TF 38	2 BEDS	3 PEOPLE	61m ²	62.7m ²	11.2m ²
TF 39	2 BEDS	3 PEOPLE	61m ²	68m ²	12m ²
TF 40	1 BEDS	1 PEOPLE	39/ 37m ²	42.7m ²	2.6m ²
TF 41	2 BEDS	3 PEOPLE	61m ²	68.2m ²	25m ²
TF 42	1 BEDS	2 PEOPLE	50m ²	55.3m ²	21m ²
TF 43	1 BEDS	2 PEOPLE	50m ²	55.3m ²	21m ²
TF 44	2 BEDS	3 PEOPLE	61m ²	70.9m ²	25m ²



PROPOSED THIRD FLOOR PLAN



PROPOSED ROOF PLAN

References to ground floor amenity space removed and schedule adjusted	17.08.23	D
Obscured glass note removed from flat TF40 bedroom	02.08.23	C
South facing balustrades reduced to 1100mm O/A height	06.07.23	B
1.7m high privacy screens added to flat 44 terraces	16.06.23	A
Issue for PLANNING	18.01.23	/
DETAILS	DATE	REVISION

PLANNING

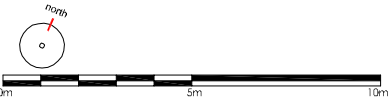
PROPOSED GA
THIRD FLOOR & ROOF PLAN

Revision:	D	712-P-200 D
1:100@A1		JAN 2023
Drawn by:	LB	Checked by: NL

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