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North point:

Notes:
ALL DIMENSIONS ARE IN MILLIMETRES (MM) UNLESS NOTED OTHERWISE. ALL LEVELS ARE IN METRES (M) A.O.D.
ALL PROPRIETARY PRODUCTS TO BE INSTALLED IN ACCORDANCE TO MANUFACTURERS RECOMMENDATIONS

PRIOR TO THE COMMENCEMENT OF WORK, THE CONTRACTOR AND CLIENT ARE TO CHECK ON-SITE ALL EXTERIOR DIMENSIONS, SETTING OUT POSITIONS, BOUNDARY POSITIONS AND DETAILS TO VERIFY AND AGREE UPON ANY ERRORS, OMISSIONS OR DESIGN CHANGES SHOULD BE REPORTED IMMEDIATELY TO ENABLE AMENDED PLANS TO BE PREPARED AND SUBMITTED FOR APPROVAL. IF THE PROPOSED WORKS AFFECT THE PARTY WALL ACT 1996, IT WILL APPLY TO CERTAIN SCHEMES. THE 'ADJOINING OWNER' WILL IN WRITING INFORM AND AGREE WITH THE 'ADJOINING OWNER'S' IF THE PROPOSED WORK AFFECTS THE PARTY WALL OR IS WITHIN THE 3 METERS AND DEPENDS ON THE PLACEMENT OF THE WORKS. IF A DISPUTE IS MADE, THEN PROFESSIONAL ADVICE SHOULD BE SOUGHT PRIOR TO COMMENCEMENT OF WORK ON SITE. BY A PARTY WALL SURVEYOR. THE ARCHITECTURAL TECHNICIAN TAKES NO RESPONSIBILITY FOR THE CONTRACTOR OR OWNER'S RESPONSIBILITY FOR LOCATING ALL HIDDEN SERVICES THAT MAY AFFECT THE PROPOSED WORKS. STOPPING OFF OR DIVERTING AS NECESSARY, DRAINAGE RUNS SHOWN ARE ASSUMED AND MUST BE CHECKED ON SITE BEFORE WORK COMMENCES. ANY PROPOSED BUILDING WORKS WITHIN 3 METERS OF A PUBLIC SURVEY WILL BE MONITORED BY THE WATER AUTHORITY. THE DRAWING MUST BE SUBMITTED AND APPROVED BY THE WATER AUTHORITY PRIOR TO WORK COMMENCING. ALL WORK TO COMPLY WITH CDM 2015. THE PRINCIPAL CONTRACTOR, FOR PROJECTS WITH MORE THAN ONE CONTRACTOR, MUST TAKE LEGAL DUTIES OF THE CONTRACTOR AND OWNER'S OWN PRINCIPAL CONTRACTOR. IF THE DEVELOPING CLIENT HAS NOT APPOINTED A PRINCIPAL CONTRACTOR, THE CLIENT DUTIES MUST BE CARRIED OUT BY THE CONTRACTOR IN CONTROL OF THE CONSTRUCTION WORKS.

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE STRUCTURAL ENGINEERS DRAWINGS AND DETAILS.

REFERENCE TO THIS DRAWING IS SUBJECT TO ACCEPTANCE OF THE FOLLOWING CONDITIONS AND STATEMENTS:

THIS DRAWING IS INTENDED TO SHOW THE DESIGN INTENT PROPOSAL ONLY, FOR SUBMISSION OF THE PLANNING APPLICATION ONLY TO THE LOCAL PLANNING AUTHORITY.

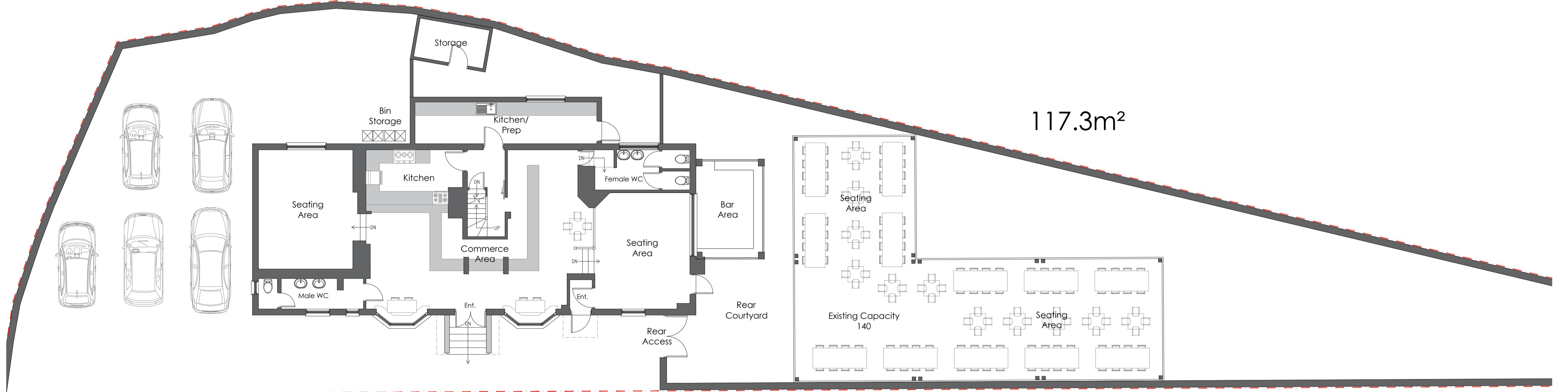
THIS DRAWING IS FOR PLANNING PURPOSES ONLY, AND NOT FOR CONSTRUCTION.

THIS DRAWING IS BASED ON AN INITIAL ARCHITECTURAL MEASURED SURVEY, AND IS NOT A FULL MEASURED BUILDING SURVEY WHICH MAY BE REQUIRED FOR SUBSEQUENT DETAIL COORDINATION AND CONSTRUCTION. ALL DIMENSIONS, LINES, LEVELS AND INFORMATION SHOWN ARE INDICATIVE ONLY, SUFFICIENT FOR PLANNING, AND ARE TO BE VERIFIED ON SITE AND UPDATED WHERE NECESSARY.

NOT ALL AREAS OR DRAWN LINES HAVE BEEN MEASURED, AND MEASUREMENTS MAY HAVE BEEN ROUNDED OR ADJUSTED TO BEST FIT. SOME LINES AND DETAILS MAY HAVE BEEN ASSUMED OR OMITTED FOR CLARITY. SOME AREAS WERE NOT ACCESSIBLE AT TIME OF MEASUREMENT AND MAY HAVE BEEN REPRODUCED FROM PHOTOGRAPHS, OR FROM SUBSEQUENT PLANS. DIMENSIONS, ELEVATIONS AND LEVELS DRAWN FROM PHOTOGRAPHS, AND NEIGHBOURS PROPERTIES HAVE NOT BEEN MEASURED AT ALL.

THIS DRAWING HAS NOT BEEN APPROVED FOR CONSTRUCTION AND NO PROCUREMENT OR CONSTRUCTION IS TO TAKE PLACE UNTIL THE DRAWING HAS BEEN RE-ISSUED "FOR CONSTRUCTION".

117.3m²



Revision Log:			
Rev:	Description:	By:	Date:
Project:	Development At 207 Melton Rd, Leicester, LE4 6QT		
Client:	Mr. N. Kumar		
Scale:			1:50
Drawn by:	DWC	Checked:	MKT
Date:	AUG 25	Paper Size:	A1
Drawing Title: FLOORPLANS FOR DEVELOPMENT			
Drawing Status: PLANNING ISSUE			
Drawing Number:	207/MEL/100	Revision Number:	P1

